



THE CORPORATION OF THE CITY OF COURTENAY

MEMORANDUM

To: Rob Roycroft, Interim Director of Development Services
From: Mike Grimsrud, Planner II
Subject: Application for Development Permit at 4625 Madrona Place

File No.: 3060-20-2208
Date: March 2, 2023

PURPOSE:

To consider the issuance of an Industrial development permit for a warehouse/wholesale building supply store.

BACKGROUND:

The subject property is 6,037 m² (1.5 ac.) in area and zoned Industrial Two Zone (I-2), legally described as Lot B, District Lot 236, Comox District, Plan VIP85381. It is currently used as an equipment storage yard and has no buildings and minimal landscaping including one tree in the eastern corner which is to be retained. It has street access on both Madrona Place and Waters Place. It borders light industrial uses to the northwest; single detached residential to the northeast; utility facilities to the southeast, mostly across Waters Place; and an undeveloped property to the southwest zoned Multi Use Five Zone that permits residential, commercial and industrial uses.

City statutory rights of way on the southeast and southwest property lines for water, sewer, and drainage are pictured below along with a BC Hydro SRW the southwest related to overhead power lines. On the southwest the City has signed to discharge the SRW and BC Hydro has approved the plan, and the 1 m City SRW strip on the southeast does not conflict with plans, including civil plans which are acceptable to Subdivision and Development Servicing.

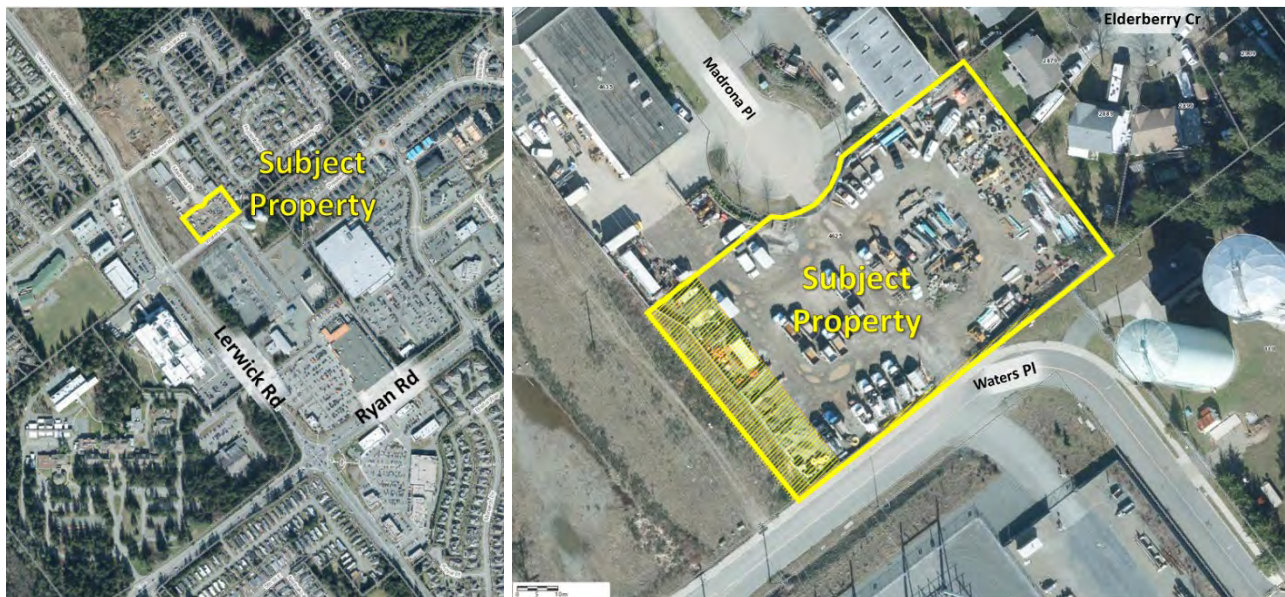


Figure 1: Subject Property Location and Context

The proposal is to construct a 1,581 m² (17,012 ft²) single-storey building that complies with all zoning requirements and is subject to Industrial Development Permit Area guidelines from OCP Bylaw No. 2387, 2005. These guidelines can be found in Schedule 3 of the attached permit. The application was made in April 2022, before the July 25th adoption of new Industrial Development Permit Area guidelines.

DISCUSSION:

Official Community Plan and Industrial Development Permit Area Guidelines

The subject property was designated as Industrial in the OCP at time of application. The Industrial land use designation supports the continuation of existing industrial areas within the City and encourages industrial development as a means of diversifying the economy (OCP Bylaw 2387, 2005, Policy 4.3.2). The intent of the Industrial Development Permit Area guidelines is to ensure that buildings are compatible with surrounding land uses and to ensure developments have attractive appearances and streetscapes. The development permit guidelines also address the siting of buildings, landscaping, lighting and parking.

The new OCP, Bylaw 3070, 2022, General Land Use Policy 7 further underscores the need to promote compatibility between land adjacent industrial and residential land uses and minimize negative impacts. The current land use designation, Town Centre, does not list industrial as a permitted class of use, though it does permit commercial, a class that could fit the proposed development. The application was made and was nearly completed under the previous OCP – delayed by new civil design requirements that came about while the application was in-stream – so it is considered primarily as such, but it is noted that it also fits within new OCP land use better than does the existing equipment storage yard.

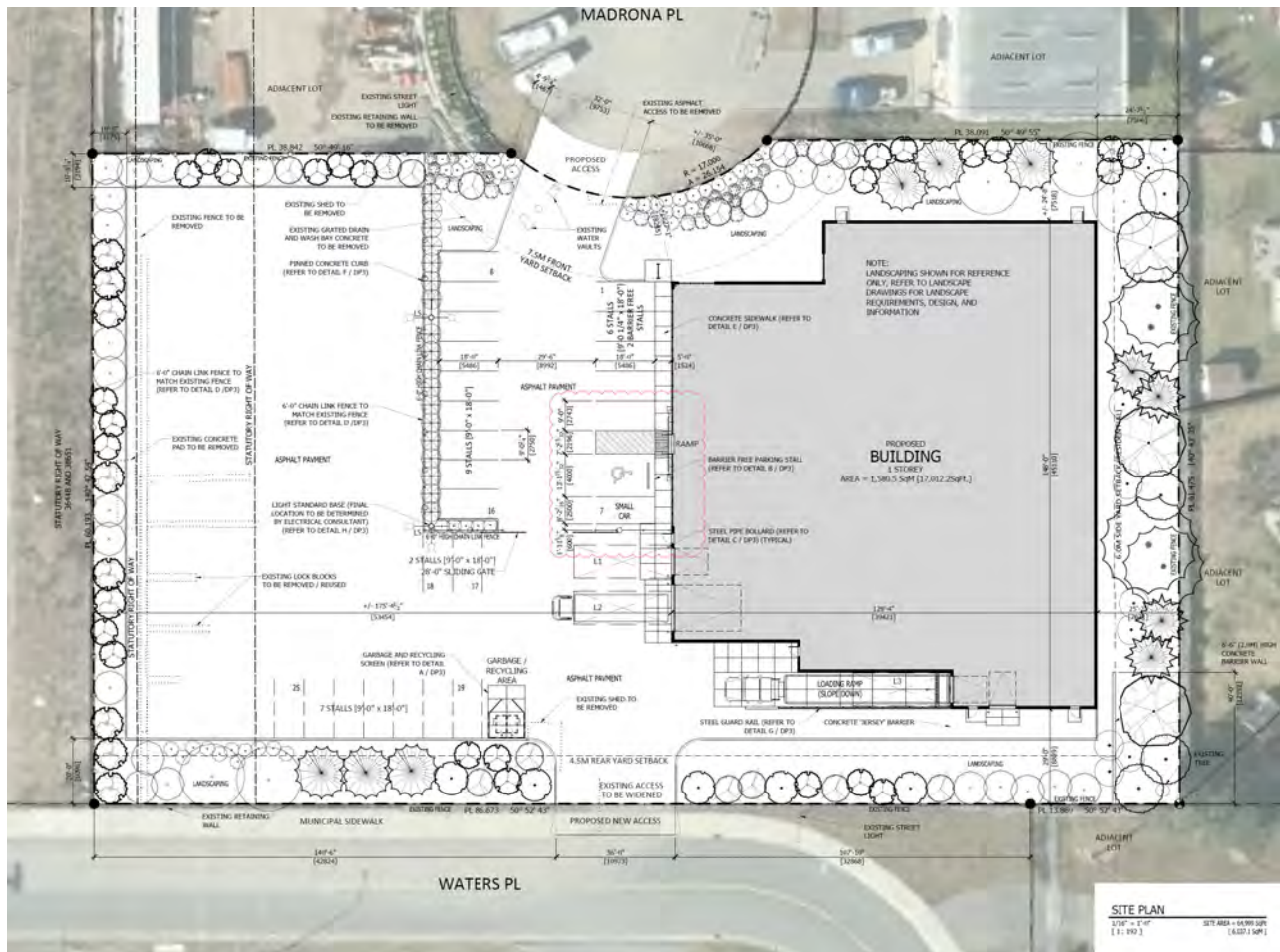


Figure 2: Site Plan

Form and Character and Compatibility with Surrounding Uses

The building form is boxy, though less so than other nearby industrial buildings through some front and rear horizontal articulation, for efficient use of space. It adds visual interest through graphics, most notably on the northeast side facing residences, and southwest side glazing. The roof is flat to minimize total height and massing and match other industrial buildings on Madrona Place. The building provides noise screening for residential neighbours from parking and loading, supplemented by a 2.0 m high concrete noise barrier wall near the property's western corner. The building is not stepped down toward neighbours but is only 2/3 the zone's permitted height. Fencing exists along all property lines and is not screened; the application would leave most fencing in place – aside from moving the southwest fence closer to the property line – but add landscaping on the subject property side, where it can be accessed more easily for maintenance, improving the overall look. Plans and elevations are included in **Attachment No. 1, Schedule No. 1**.



Figure 2: Elevations

Siting, Landscaping and Screening

A detailed landscape plan has been provided by Mystic Woods Landscape Design and approved by Alison Mewett, BCSLA March 31, 2022, detailing tree, shrub and groundcover planting species, size and location (**Attachment No. 1, Schedule No. 2**). Also in the same schedule is a January 24, 2023 email from Alison Mewett specifying additional groundcover to accommodate grade changes brought about through civil plan review. The building is sited to the northeast, with parking and loading to the southwest, shielding noise from residential neighbours. Perimeter landscaping provides screening and although no tree cutting is needed replanting exceeds the Tree Density Target. The southwest property line sees shrubs that can grow to over 2 m to balance screening and power line avoidance priorities. All required landscape buffers are met; a 7.5 m width requirement along a small portion of the rear property line will be supplemented with hard landscaping such as stamped concrete or pavers outside a warehouse door, parallel the institutional utility property at 110 Water Place. Underground irrigation will be provided.



Figure 3: Landscape Plan

Signage, Lighting and Parking

Any signage will be considered under a separate sign permit application. As a condition of the permit, and in alignment with the guideline and the City’s Dark Skies Policy, all outdoor lighting must be Full-Cut Off/Flat Lens. Parking provision is summarized on the zoning compliance table below. Parking areas are broken up in sections of 2-9 spaces with landscape screening. Vehicle movement is pictured in **Schedule No. 1** plans, with the main access off Madrona PI and a secondary access for loading off Waters PI; minimal foot or bicycle traffic is expected given the wholesale/warehousing use but 4 class I bicycle parking spaces are provided between the front door and the Madrona PI site entrance.

Zoning Compliance

The development permit submission complies with all I-2 requirements as well as parking specifications as summarized below:

Table 1: Zoning Compliance

	Industrial Two Zone (I-2)	Proposal
Use	Includes Building supply store	Building supply store
Lot Coverage	60%	26%
Front Yard Setback	7.5 m	8.3 m
Rear Yard Setback	4.5 m	8.8 m
Side Yard Setback	0 m except where adjoining residential zone: 6.0 m for 1-storey bldg.; 7.5 m for 2-storey bldg.	53.5 m SW side; 7.6 m NE side
Building Height	15.0 m	9.8 m
Parking Stalls	1 per 90 m ² warehouse area + 1 per 2 employees + 1 per 35 m ² retail area + 1 per company vehicle	14 for 1179.5 m ² warehouse area + 5 for 10 staff + 6 for 211.4 m ² retail area + 0 for 0 company vehicles = 25
Parking Min. W, L	2.75 m, 5.5 m	2.75 m, 5.5 m
Parking Aisle Min Width	7.2 m	8.9 m
Small Space Max.	10%	4%
Loading Stalls	1 per 1,850 m ² floor space	3 for 1,581 m ² floor space
H/C Parking	1 for 21-86 required or provided stalls	1 for 25 stalls
Bike Parking	No requirement for use type	4 class I
Landscape Buffer	3.0 m; 7.5 m adjoining residential / institutional use; 6.0 m adjoining street	3.0 m SW along undeveloped MU-5 property; 7.5 m NE adjoining residential, SE adjoining institutional; 7.5 m front, 6.1 m rear
Loading and Refuse Screening	2.0 m height fence and/or landscaping	2.0 m + screening for loading and refuse through landscape buffer trees (when grown); fenced gated refuse area within landscape buffer

Recommended Action:

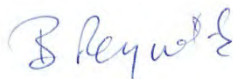
That DP 2208 be approved.

Prepared by:



Mike Grimsrud
 Planner 2

Reviewed by:



for Nancy Gothard, RPP, MCIP
 Acting Manager of Development
 Planning

Approved by:



Rob Roycroft, RPP, MCIP
 Interim Director of Development
 Services

Attachments:

1. *Attachment No. 1: Draft Development Permit No. 2208*
2. *Attachment No. 2: Applicant's Written Summary*
3. *Attachment No. 3: Additional Materials*

Attachment No. 1: Draft Development Permit No. 2208

THE CORPORATION OF THE CITY OF COURTENAY

Permit No. DP 2208

DEVELOPMENT PERMIT

March 2, 2023

To issue a Development Permit

To:

Name: Top of the Hill Holdings Ltd, Inc. No. BC0841027
Address: 4635A Madrona Place
Courtenay, BC
V9N 9E7

Property to which permit refers:

Legal: Lot B, Section 67, District Lot 236, Comox District, Plan VIP85381
Civic: 4625 Madrona Place

Conditions of Permit:

Permit issued to permit the development of a single-storey warehouse/wholesale building supply store subject to the following conditions:

1. The development shall be substantially consistent with plans and elevations as shown in *Schedule No. 1*, by Sash Developments, dated April 4, 2022, and parking revision dated July 6, 2022, including graphics pictured to break up large wall expanses and a 2.0 m high concrete noise barrier wall to dampen truck loading sound for neighbouring residential property;
2. The development shall be substantially consistent with the landscape architectural plans as shown in *Schedule No. 2*, by Mystic Woods Landscape Design and sealed by Alison Mewett, BCLSA March 31, 2022, as supplemented by the included January 24, 2023 Alison Mewett email and as annotated by City staff;
3. Submission of landscape security in the amount of \$103,231.25 (\$82,585 x 125%) is required to be paid at the time of building permit application, as contained in *Schedule No. 3*, by Mystic Woods Landscape Design and sealed by Alison Mewett, BCLSA, dated March 31, 2022;
4. Landscaping must be completed within one year of the date of issuance of the occupancy permit by the City;
5. The minimum depth of topsoil or amended organic soil on all landscaped areas is to be 450 mm for shrubs, 300 mm for groundcover and grass, and 300 mm around and below the root ball for trees;
6. All new street lighting in the proposed development must use Full Cut Off/Flat Lens (FCO/FL) luminaries to light roads, parking, loading and pedestrian areas;
7. A sign permit shall be obtained prior to any signage being installed on the property;
8. The development shall meet all other applicable requirements, standards and guidelines; and

9. No alterations or amendments shall be made without the City's permission. If any amendments are required, the applicant shall apply for either an amendment to the development permit or obtain a new development permit.

Time Schedule of Development and Lapse of Permit

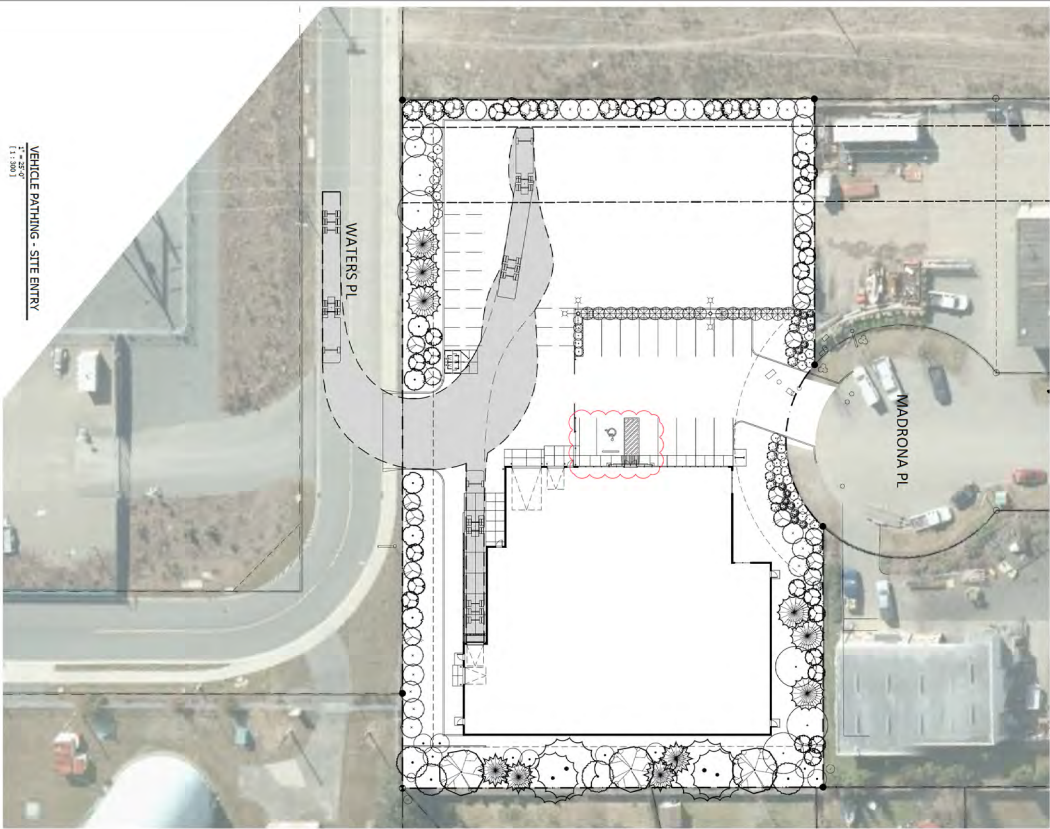
That if the permit holder has not substantially commenced the construction authorized by this permit within (12) months after the date it was issued, the permit lapses.

3/2/2023
Date

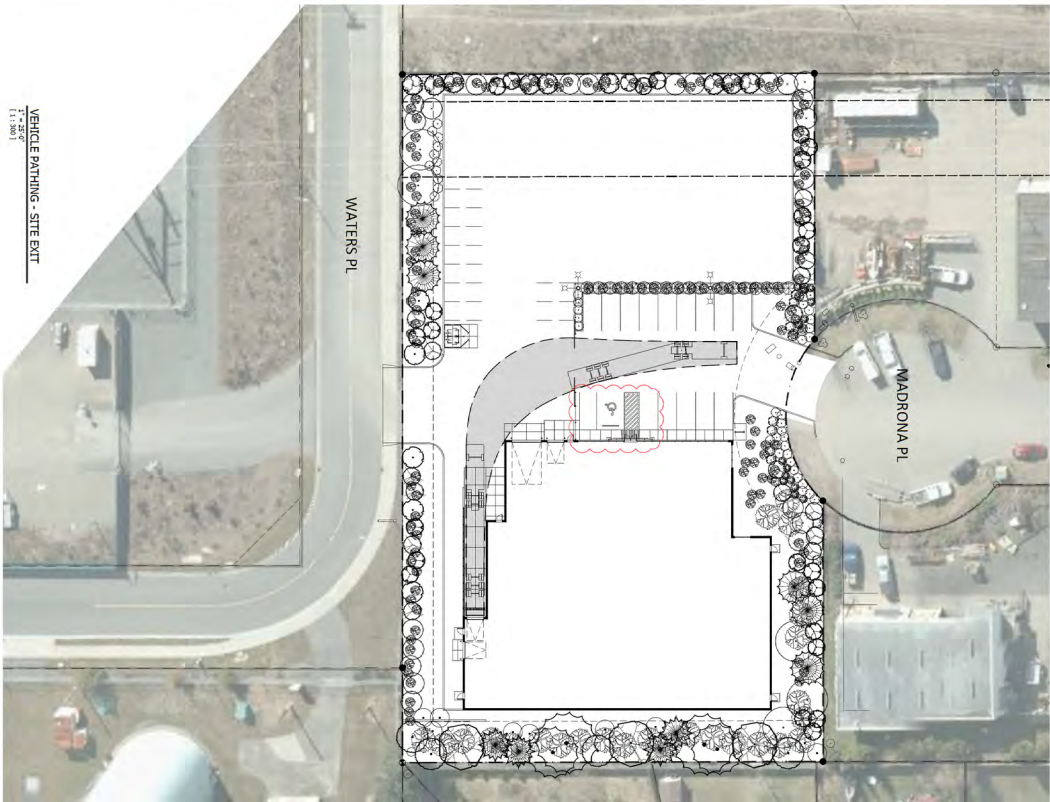


Interim Director of Development Services

Schedule No. 1 – Plans & Elevations



VEHICLE PATHING - SITE ENTRY
 1" = 30'-0"
 1:1 (200)



VEHICLE PATHING - SITE EXIT
 1" = 30'-0"
 1:1 (200)

DO NOT SCALE DRAWING
 THIS DRAWING IS THE PROPERTY OF THE CONSULTING ENGINEER AND ARCHITECT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE CONSULTING ENGINEER AND ARCHITECT IS STRICTLY PROHIBITED.

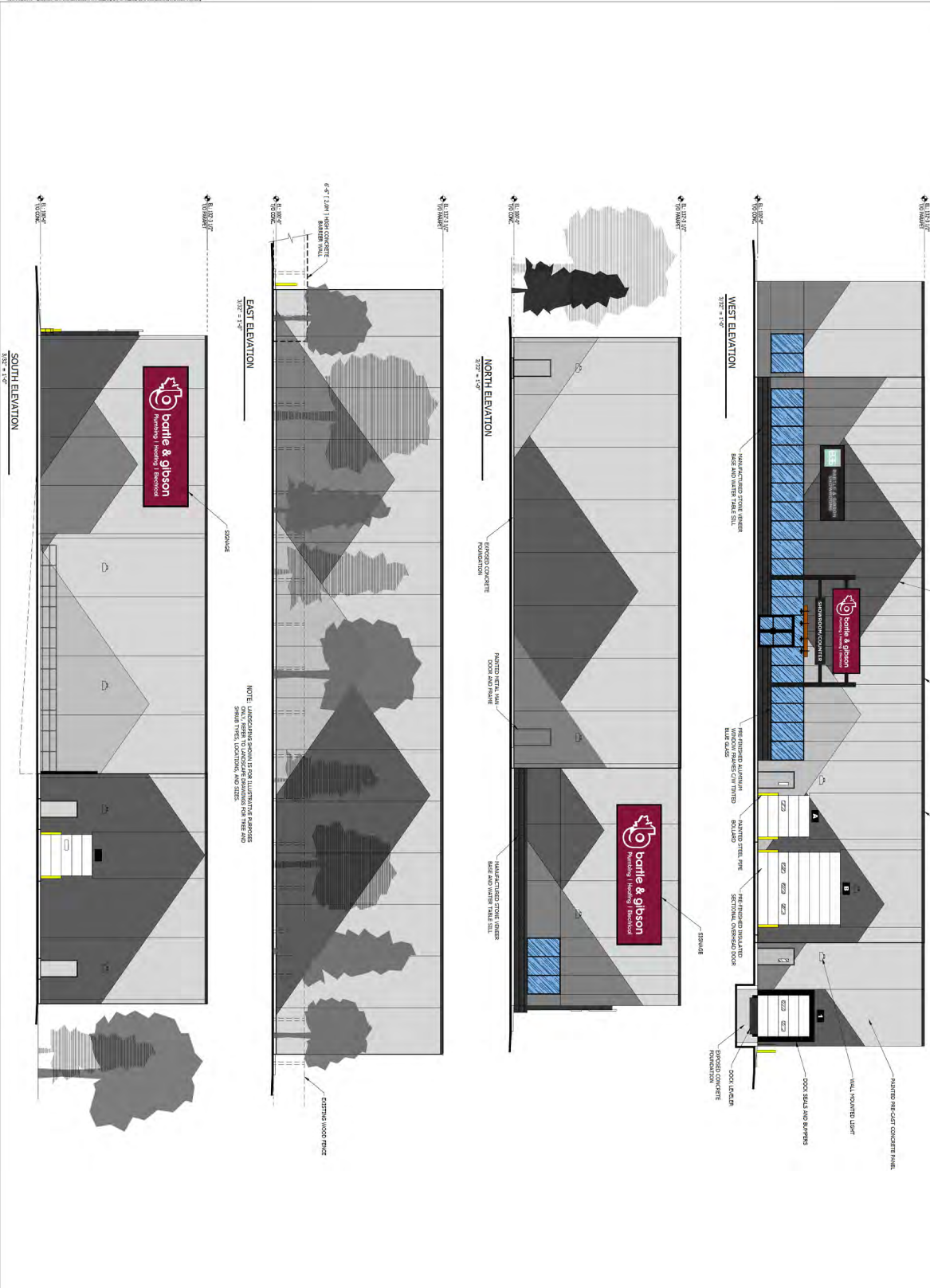


SAS-11
 CONSULTING ENGINEERS & ARCHITECTS
 10000 W. ALBERTA PL., SUITE 200
 DENVER, CO 80231
 TEL: 303.733.8800
 FAX: 303.733.8801
 WWW.SAS-11.COM

CLIENT: **BARTLE & GIBSON**
 SERVICE CENTER
 SERVICE CENTER
 ARCHITECT: **Scottie & Gibson**

DATE: 11/11/2011
 SCALE: AS SHOWN
 DRAWN BY: CH
 CHECKED BY: JH
 DATE: 11/11/2011
DP2
 210 3 INCHES

DO NOT SCALE DRAWING
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SAS 11 SOLUTION PROVIDER	
5210 COLUMBIA AVENUE COLUMBIA, MISSOURI 65203	660-888-8400
bartle & gibson PARTLE & GIBSON SERVICE CENTER 9 BARTLE & GIBSON BUILDING ELEVATIONS	
SCALE: AS SHOWN DATE: 01/14/16 DRAWN BY: JLM/ML CHECKED BY: JLM/ML	PROJECT NO.: 15-000000 SHEET NO.: 15-000000

DPS 518 518 518

Schedule No. 2 – Landscape Plans



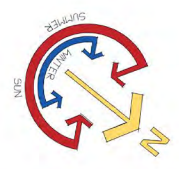
- Pseudotsuga menziesii DOUGLAS FIR
- Tsuga heterophylla WESTERN HEMLOCK
- Chamaecyparis nootkatensis PENNELL
- Acer macrophyllum NATIVE BIGLEAF MAPLE

- Cornus nuttallii PACIFIC DOGWOOD
- Prunus emarginata BITTER CHERRY
- Malus fusca PACIFIC CRABAPPLE
- Acer circinatum VINE MAPLE

- Amelanchier alnifolia SASKATOON BERRY
- Hibiscus discolor NATIVE OCEANSPRAY
- Ribes sanguineum RED FLOWERING CURRANT
- Sambucus racemosa NATIVE RED ELDERBERRY

- Myrica aquifolium OREGON GRAPE HOLLY
- Rosa nutkana NODDYKA ROSE
- Symphoricarpos albus NATIVE SNOWBERRY
- Vaccinium ovatum EVERGREEN HUCKLEBERRY BUSH
- Prunus lusitanica (Hedge) PORTUGUESE LAUREL

Staff Note: Hard landscaping such as stamped concrete or pavers in dashed area



BY LANDSCAPE STANDARDS
 The City of Vancouver has adopted the following standards for landscape design and construction. These standards are intended to ensure that all landscape projects meet the highest quality standards and are consistent with the City's goals for sustainable and resilient communities. For more information, please contact the City's Parks and Recreation Department.

NOT FOR CONSTRUCTION!
 This plan is for informational purposes only and is not intended for construction. It is subject to change without notice. For more information, please contact the City's Parks and Recreation Department.

DATE: Feb 2, 2022
DESIGNED BY: [Name]
CHECKED BY: [Name]
SCALE: 1" = 20'

LANDSCAPE ARCHITECT:
 [Firm Name]
 106 East 1st Avenue, Suite 200
 Vancouver, BC V6A 1E1
 Phone: 604-255-1234
 Fax: 604-255-1235
 Email: info@landscape.com

CLIENT:
 [Client Name]
 [Address]
 [City, BC]

PROJECT / SITE DESIGN:
 [Project Name]
 [Address]
 [City, BC]

LANDSCAPE DESIGNER:
 [Name]
 [Firm Name]

DATE: [Date]

SCALE: 1" = 20'

NOT FOR CONSTRUCTION!

From: [Alison Mewett](#)
To: [Grimsrud, Michael](#)
Cc: [Angus Neufeld](#)
Subject: Re: 4625 Madrona Place Civil Changes and Landscaping
Date: Tuesday, January 24, 2023 6:34:10 PM

Mike

Further to our discussion today please note the following:

The planting scheme as shown on the Landscape Plans issued for Development Permit, dated and sealed March 31, 2022, is compatible with the removal of the proposed retaining wall, as shown on the Civil Engineering plans dated December 2022.

The (new) slope will be augmented with groundcovers along the entire western property line at the density as shown below.

Qty	Botanical Name	Common Name	Size	Spacing
126	Arctostaphylos uva-ursi	Kinnikinnick	4" pot	4'0" O.C.

I trust this resolves your concerns regarding the Development Permit application.

Alison Mewett,
BCSLA

From: "Grimsrud, Michael" <mgrimsrud@courtenay.ca>
Date: January 23, 2023 at 4:25:20 PM MST
To: Angus Neufeld <angus@sashdevelopments.ca>
Cc: "Law, Connie" <claw@courtenay.ca>, "Croin, Devin" <dcroin@courtenay.ca>
Subject: 4625 Madrona Place Civil Changes and Landscaping

Hi Angus,

I understand that you have satisfied Development Engineering requirements for development permit and that some changes were required to the site plan, most of which should not impact the development's ability to be in substantial compliance with the submitted site and landscape plans that would be attached to the permit. However, retaining walls that were pictured along portions of SW, SE and NE property lines on the Wedler Engineering V22-0552 / A-02 Site Servicing plan re-issue from September 1st 2022 have been removed on the current December 13th 2022 re-issue. This would affect grade and may impact appropriate species selection or planting requirements. Please have your landscape architect review these plans with an eye on grade changes and confirm landscaping acceptability or revise the landscape plan as needed.

I have copied Devin Croin, another planner at the City. It appears that this file is nearly ready for report and permit drafting and Devin might take over the file if he is able to write sooner than I am.

Regards,

Mike Grimsrud

Planner II - Development

Phone: 250-334-4441 | mgrimsrud@courtenay.ca | www.courtenay.ca

The City of Courtenay wishes to advise residents and businesses who work with our Development Services Branches that we are experiencing a significant but temporary shortage of professional staff. We want to reassure users of these services that we are working to fill these roles with skilled people and resume a high level of prompt service; in the meantime there may be some additional time taken to respond to and process various applications and we apologize for any inconvenience.

OUR CORE VALUES: People Matter | Be Accountable | Depend on Each Other | Pursue Excellence | Celebrate Success

Schedule No. 3 – Landscape Cost Estimate

March 31, 2022

LANDSCAPE ARCHITECT

Alison Mewett, BCSLA
766 Lazo Road
Comox, BC V9M 3V6
(236) 255-1055
amewett@gmail.com

PROJECT

Bartle & Gibson
4625 Madrona Place
Courtenay, BC

Planting beds: 1,487.6 m² (16,012 ft²)

Sod lawn: 62.2 m² (670 ft²)

Fescue lawn: 197.8 m² (2,130 ft²)

Plant material	\$ 7,595.00
Topsoil delivered (shrubs) @ 18" – 890 cu yds @ \$35	31,150.00
Sandy topsoil delivered (lawn) @ 12" – 104 cu yds @ \$30	3,120.00
Fine mulch delivered @ 4" – 164 cu yds @ \$55	9,020.00
Hydroseed fescue – 7,143sqft @ 0.20 /sqft	1,430.00
Sod – 670sqft @ 0.40 /sqft	270.00
Fertilizers, landscape fabric and miscellaneous	500.00
Machine work to grade and move materials	7,000.00
Labour to install plant materials and other work to complete	14,500.00
Irrigation system installed	<u>8,000.00</u>
Planting Sub-total (not including taxes)	\$ 82,585.00

Materials estimated at cost.

This estimate is approximate and may not reflect actual cost to install.

Alison Mewett, BCSLA
Landscape Architect

Corinne Matheson, CLD, QP
Mystic Woods Landscape Design



2022-03-31

Attachment No. 2: Applicant's Written Summary



April 1, 2022

Mike Grimsrud
Planner II - Development
City of Courtenay
830 Cliffe Avenue
Courtenay, BC V9N 2J7

Email: mgrimsrud@courtenay.ca

Re: Proposed Development Description
4625 Madrona Place
Courtenay

Mike:

The proposed development at 4625 Madrona Place is for a building supply store with the purpose of providing retail sales and wholesale products of building materials to existing customers and the public.

The rationale behind locating on this site is that it is centrally located and will service customers in the area. By locating at Madrona Place Bartle & Gibson's customers will have shorter driving times from their homes and job sites meaning reduced demand on existing roads and infrastructure.

The new project is a clean and quiet operation that will not generate any offensive odors or noise which could offend adjacent properties. We have provided significant landscaping as well as a sound wall at the South East corner of our site as a means to address any potential sound migration from our site to the adjacent neighbors. The new Bartle & Gibson facility will enhance the area by converting an existing construction storage yard into a clean new building supply store and yard.

The submitted building meets the criteria for an industrial building as described in the City of Courtenay land use bylaw. The project will meet current City requirements but will also be contextually aligned with the other buildings and uses along Madrona Place.

Bartle & Gibson looks forward to relocating to this new location and being a positive contributor to the street, the neighborhood and business community.

Attachment No. 3: Additional Materials



CITY OF COURTENAY
Development Services
 830 Cliffe Avenue
 Courtenay, BC, V9N 2J7
 Tel: 250-703-4839 Fax: 250-334-4241
 Email: planning@courtenay.ca

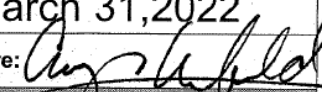
SUSTAINABILITY EVALUATION

COMPLIANCE CHECKLIST

The following checklist provides a quick reference list of required sustainability criteria that, where applicable, shall be satisfied for all development applications including Official Community Plan (OCP) and Zoning Bylaw amendments, Development Permits, Development Variance Permits, Tree Cutting and Soil Removal Permits, Agricultural Land Reserve and Subdivision applications. These criteria are established to ensure that the goals and objectives of the OCP are satisfied. **Please briefly state in the "Description" column how the application achieves the stated criterion.** Where an element of the development proposal does not comply with a sustainability criterion, a justification stating the divergence and the reason shall be made. A separate sheet may be used to provide comment. **Incomplete forms will result in application delays.**

- The Sustainability Evaluation Checklist Policy states: *Proposed developments will be considered where a development:*
- provides substantial benefits to the City;*
 - will not negatively impact on the City's infrastructure, neighborhood or environment;*
 - new development that supports destination uses such as the downtown, Riverway Corridor or a Comprehensive Planned Community;*
 - Meets applicable criteria set out in the OCP.*

The complete Sustainability Evaluation Checklist policy is contained within the City of Courtenay Official Community Plan No. 2387, 2005.

Project Address: 4625 Madrona Place	Date: March 31, 2022
Applicant: Angus Neufeld	Signature: 

APPLICATION REQUIREMENTS To be filled out by applicant

Land Use. <i>The application:</i>	Description of how the criteria are met
a) Provides a mix of housing types and sizes;	NA
b) Balances the scale and massing of buildings in relation to adjoining properties;	Yes, we are maintaining a similar massing as the adjacent neighbors on the street. Our proposed landscaping and street scape are a significant improvement when compared to existing buildings on the street.
c) Complements neighboring uses and site topography;	Yes, we are working with existing topography and site grades.
d) Provides or supports mixed used developments or neighborhoods;	NA
e) Promotes walking to daily activities and recreational opportunities;	Yes, the new facility will enhance the neighborhood.
f) Supports a range of incomes;	NA
g) Is a positive impact on views and scenery;	Yes, we are changing what is currently a construction storage yard into a productive, quiet, finished yard and building.
h) Preserves and provides greenspace, trails and landscaping;	Yes, please see landscaping plans.

Building Design. <i>The application:</i>	Description of how the criteria are met
a) Exhibits high standard of design, landscaping and environmental sensitivity;	Yes, we are planning to use the best materials available for our building. The design is clean and straightforward using current technology for heating and cooling. The landscaping has been designed to screen the working yard and the building from adjacent properties creating a green buffer around the project.
b) Maintains a high standard of quality and appearance;	The entire project is going to be a significant improvement from the current use. The landscaping and building design will improve the business park.
c) Includes articulation of building faces and roof lines with features such as balconies, entrances, bay windows, dormers and vertical and horizontal setbacks with enhanced colors;	This is an industrial building and has been designed to be clean and efficient.
d) Avoids creating a strip development appearance;	Yes
e) Satisfies Leadership in Energy and Environmental Design (LEED) certification (or accepted green building best practices);	Yes
f) Uses environmentally sensitive materials which are energy sensitive or have accepted low pollution standards;	Yes
g) Builds and improves pedestrian amenities;	NA
h) Provides underground parking;	NA
i) Applies CPTED (Crime Prevention Through Environmental Design) principles;	Yes
Transportation. <i>The application:</i>	Description of how the criteria are met
a) Integrates into public transit and closeness to major destinations;	NA
b) Provides multi-functional street(s);	NA
c) Prioritizes pedestrian and cycling opportunities on the public street system and through the site location that can provide an alternative to public road;	NA
d) Provides or contributes towards trail system, sidewalks, transit facilities, recreation area or environmentally sensitive area;	NA
Infrastructure. <i>The application:</i>	Description of how the criteria are met
a) Includes stormwater techniques that are designed to reduce run-off, improve groundwater exchange and increase on-site retention;	Yes, please see landscaping plans and civil plans. The landscape will absorb a significant amount of water.
b) Utilizes renewable energy sources (i.e. solar, geothermal) within servable area to City standards;	This is to be determined.

Character & Identity. <i>The application:</i>	Description of how the criteria are met
a) Provides a positive image along waterfront areas and fronting road;	Yes, the building and the landscaped area are a positive image for the street.
b) Is designed with quality and variety of features within the project (i.e. street furniture, street lights, signs, curb treatments);	NA
c) Provides public and private amenity space;	A small green space is located to the North of our building for staff.
d) Preserves heritage fixtures;	NA
e) Orients to views, open space and street;	NA
Environmental Protection & Enhancement. <i>The application:</i>	Description of how the criteria are met
a) Protects riparian areas and other designated environmentally sensitive areas;	NA
b) Provides for native species, habitat restoration/improvement;	NA
c) Includes tree lined streetscapes.	The yard and parking area are completely screened by landscaping make the entrance are very attractive.



Staff Note: Referenced guidelines listed below

March 2, 2022

Mr. Michael Grimsrud
City Planner
City of Courtenay
830 Cliffe Avenue
Courtenay, BC
V9N 2J7

Email: mgrimsrud@courtenay.ca

Re: Industrial DP Compliance Checklist
4625 Madrona Place
Courtenay, BC

Michael:

As part of our DP submission, please find below our responses to your questions for our development permit for our new industrial building in Courtenay.

A. Form and Character:

1. Our new building is a warehouse/wholesale facility. We have placed the building on the east side of the site to create a sound separation from the work activities which will occur on the western yard and parking area. The Eastern side of our building will be articulated with graphics and an extensive amount of trees that will screen and buffer our facility from the neighboring property.
2. Based upon our discussion and with an acoustic consultant, the proposed building will act as a noise screen and separation from the adjacent property. The landscaping and absence of penetrations on the east side will mitigate any noise from the building.
3. We propose using a 6' chain link fence for our yard area which is on the west side of the site. Privacy slats will be provided for the yard fencing. The east property line has an existing 6' solid wood fence that will remain for the new facility.

B. Signage:

1. Building signage will be as shown on the drawing package.

C. Siting, Landscaping and Screening:

1. A Landscape Architect has submitted plans for the project.
2. See attached plans addressing screening etc.
3. A continuous perimeter of landscaping has been provided as per the City of Courtenay Landscaping requirements.
4. Done, see attached plans
5. Done, see attached plans
6. Done, see attached plans
7. Not applicable
8. Done, see attached plans
9. Done, see attached plans
10. Done, see attached plans
11. An outdoor area is available to employees. It is located at the north west corner of the building.
12. Not applicable
13. Not applicable

Sash Developments
Bartle & Gibson – DP Courtenay BC
March 2, 2022
Page 2 of 2

14. Please see storm water management plan by Wedler Engineering.
15. Not applicable
16. Not applicable
17. Not applicable
18. Not applicable
19. Done, see attached plans and requirements as per Landscape Architect.
20. Done, see attached plans

D. Lighting:

1. Done, see attached plans – lights to be LED with full cut off/flat lenses.
2. Not applicable

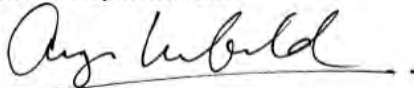
E. Parking:

1. Done, see attached plans
2. Parking area is landscaped and screened at the perimeter
3. Done, see attached plans
4. Done, see attached turning radius plans
5. Done, see attached plans
6. Bicycle parking located at the northwest corner of the building

If you have any questions, please do not hesitate to call me at (403) 608-8107.

Sincerely,

Sash Developments Ltd.



Angus Neufeld

8.4 Industrial

1. Category

The Industrial Development Permit Area is designated pursuant to Section 919.1(F) of the Local Government Act for the form and character of industrial development.

2. Justification

This designation is intended to ensure development occurs that is integrated and sensitive to adjoining land use features and environmental presents an attractive streetscape and building appearance.

3. Guidelines

Development permits will be

A. Form and Character

1. All buildings, structures and expansions or additions thereto, shall be architecturally coordinated and shall give consideration to the relationship between building and open areas, circulation systems, visual impact and design compatibility with the surrounding properties. In particular, it is recommended that the visibility of blank unarticulated walls and flat roofs be discouraged.
2. Acute noise sources shall be located as far from residential uses as possible. Buildings located on corner lots, lots adjacent to residential or institutional properties, or next to public open spaces should be stepped down toward the blanking street, adjacent building, or public open space.
3. Any fencing will have to be appropriately screened with landscaping from adjoining properties of a different zone or use, or from a transit corridor.

B. Signage

1. All signs shall conform to the City of Courtenay Sign Bylaw No. 2042, 1998 and all amendments thereto.
2. The size, location and design of freestanding signage shall be architecturally integrated with the overall design of the buildings and landscaping. The design of fascia signs containing individual business signage shall be integrated into the design of the building.
3. Exposed wood and flat stone are strongly encouraged as sign materials and raised or recessed letters or symbols are strongly encourage to give relief to signs.
4. Multi-tenant buildings shall provide combined tenant signage.
5. The use of indirect lighting methods to illuminate signage is required.
6. The illumination of all signs shall conform to the City of Courtenay Dark Skies Policy.
7. All freestanding signs on 29th Street, Cliffe Avenue, Crown Isle Boulevard, Island Highway, Kilpatrick Street, Lerwick Road and Ryan Road shall be ground oriented and no freestanding signs adjacent to any City street shall be supported by a single support.

C. Siting, Landscaping and Screening

1. A Landscape Architect or registered professional shall prepare a plan which will incorporate plant species, quantities and installation suitable for the project.
2. A detailed landscaping and screening plan, drawn to scale and showing the type, size and location of proposed landscaping, shall be submitted with the development permit application.
3. A continuous perimeter of landscaped area of at least 7.5 metres in width shall be provided along the inside of all property lines adjacent to 29th Street, Mission Road, Ryan Road, Lerwick Road, Atlas Road, Anderton Road, Comox Road and Cumberland Road. A continuous perimeter landscaped area of at least 6.0 metres in width shall be provided along the width of all property lines adjacent to all other roads. Landscaping shall be incorporated within all setback areas. Where a building is greater than 4500 sq.m, a continuous perimeter landscaped area of at least 15 metres shall be provided along the inside of the adjacent property lines.
4. Parking and outdoor storage shall not be permitted in the required landscape setback.
5. To separate parking, services or storage areas from adjacent properties, a landscaped buffer area of at least 3.0 metres in width and 2.0 metres in height, shall be provided along the inside of all property lines.
6. A minimum 7.5 metre continuous landscape buffer area shall be provided along all adjacent residential or institutional property boundaries and 3 metres adjacent all other uses.
7. If a property is adjacent to the Agricultural Land Reserve boundary, a fence and landscaped buffer area of at least 10 metres in width shall be provided along the inside of the property line.
8. On light industrial lots which back onto the residential buffer zones, light industrial buildings shall be placed parallel to the buffer in order to increase the screening effect of the buffer. Where this results in long, blank walls, additional planting, building articulation, or other means shall be used to break up the monotony of the surfaces.
9. Loading areas, garbage and recycling containers and storage areas shall be screened and gated to a minimum height of 2 metres by buildings, a landscaping screen, a solid decorative fence or a combination thereof.
10. Chain link fencing shall be used only when screened by landscaping. Decorative fences are encouraged.
11. Developments shall include installation of street trees and sidewalks along all adjacent streets. Boulevards of adjacent streets shall be landscaped, irrigated and maintained by adjacent developments. Distinct paved surfaces, benches and ornamental street lights are encouraged throughout the site. Outdoor patios or amenities areas for employees are encouraged.
12. Any development adjacent to or near stream or wetland areas shall adhere to the requirements of the Streamside Stewardship 1993 guidelines and the "Land Development Guidelines for the Protection of Aquatic Habitat 1992" prepared by the Department of Fisheries and Oceans and the Ministry of Water, Land and Air Protection along all streams and their tributaries.

13. The City may require an environmental analysis of site conditions in areas subject to natural hazards such as slope slippage, drainage, or high vegetation value, prior to development.
14. It is City policy to limit the peak run off from areas of new development to that which the same catchment areas would have generated under the pre-development land use. A storm water management plan will be required as part of any development and shall be prepared by a Professional Engineer to comply with the City's stormwater management policies and plans and the City's Water Balance Model.
15. Setback areas abutting stream areas shall be fenced prior to development occurring to prevent encroachment of equipment or material into the stream system.
16. A biophysical assessment of the site prepared by a professional biologist may be required outlining any environmental values to be protected during and after developments and the methods to achieve this to the satisfaction of the City and federal and provincial agencies.
17. Prior to the subdivision or development of land containing a stream, the natural watercourse and surrounding area shall be considered for dedication to the Crown, the Municipality or other public agencies committed to the protection and preservation of natural watercourses.
18. Undeveloped areas of the site shall be left in its natural state if there is substantial existing native vegetation. Otherwise, the owner will undertake vegetation control within 6 months of building occupancy satisfactory to the City.
19. The City will require the following minimum depth of topsoil or amended organic soils on all landscaped areas of a property:
 - shrubs – 450 mm
 - groundcover & grass – 300 mm
 - trees – 300 mm around and below the root ball
20. All landscaped areas shall be serviced by an underground irrigation system.

D. Lighting

1. Lighting should be designated for security and safety. However, there should not be glare on neighbouring properties, adjacent roads or the sky.
2. All new, replacement and upgraded street lighting in existing and proposed developments will be Full-Cut Off/Flat Lens (FCO/FL) luminaries to light roads, parking, loading and pedestrian areas. Exterior building lighting will also be required to have FCO lighting fixtures.

E. Parking

1. Parking areas shall be screened from adjacent properties and from direct view of large expanses or parked vehicles from the street. The screening may be achieved by landscaping and fencing where appropriate.

2. Parking areas shall include landscaped areas, defined by concrete curbs with landscaping, to provide visual breaks between clusters of approximately ten stalls, where practicable, given parking lot circulation and other site constraints. The termination of parking aisles shall be landscaped.
3. Parking lots shall be broken down into smaller parking areas evenly dispersed throughout the development integrated with planted landscape areas. Tree planting is required throughout all parking areas where practicable given parking lot circulation and other site constraints.
4. Vehicular and truck movement patterns shall be illustrated to ensure adequate circulation.
5. The site plan must demonstrate the capacity for the safe and efficient movement of people and traffic.
6. Bicycle parking facilities shall be provided at grade near the primary building entrances of all buildings.