

NVCD - B3
3040 KILPATRICK AVE

COURTENAY, B.C.

June 13, 2022
July 29, 2022

NEWPORT VILLAGE COURTENAY
DEVELOPMENTS LTD.

OWNER:
Att: NEWPORT VILLAGE COURTENAY
DEVELOPMENTS LTD.
251- 255 Newport Dr. Port Moody V3H5H1
PH 604-519-0003
FX 604-519-0005

Brad Humphrey Architect

ARCHITECT
Att: Brad Humphrey
1325 Thomas Avenue, Coquitlam, B.C. V3K 2L4
780-817-1578
parkplan@telusplanet.net

Jensen Hughes

CODE CONSULTANT
Att: Wesley Lim
500 - 1901 Rosser Ave, Burnaby, BC V5C 6R4
778-792-8918
wesley.lim@jensenhughes.com

Wedler Engineering Ltd

CIVIL ENGINEER
Att: Greg Merchant
#211 - 2459 Cousins Ave, Courtenay, BC V9N 3N6
250-334-3263
gmerchant@wedler.com

RDH Building Science Inc.

ENVELOPE CONSULTANT
Att: Harvey Goodman
#280 - 730 Grant Avenue, Courtenay B.C. V9N 2T3
250-703-6066
HGoodman@rdh.com

Read Jones Christoffersen Ltd (RJC)

STRUCTURAL ENGINEER
Att: Leon Plett
#220 - 645 Tyee Road, Victoria V9A6X5
250-386-7794
lplett@rjc.ca

SRC Engineering Consultants Ltd

MECHANICAL ENGINEER/ ENERGY MODELLING
Att: George Ghattas
#205 - 4180 Lougheed Hwy, Burnaby, B.C. V5C 4B3
604-268-9091 Ext. 111
george@src-eng.com

SRC Engineering Consultants Ltd

ELECTRICAL ENGINEER
Att: Abelito Camacho
#205 - 4180 Lougheed Hwy, Burnaby, B.C. V5C 4B3
604-268-9091 Ext. 123
abelito@src-eng.com

EXP Engineering Ltd.

GEOTECHNICAL ENGINEER
Att: Derek Chan
Suite 275, 3001 Wayburne Drive, Burnaby, B.C. V5G 4W3
604-874-1245
derek.chan@exp.com

Bruce Lewis Land Surveying Inc.

SURVEYOR
Att: Bruce Lewis
811 Highridge Court, Comox B.C. V9M3R4
250-890-0334
bcls705@telus.net

Allison Mewett Landscape Architect

LANDSCAPE ARCHITECT
Att: Allison Mewett
766 Lazo Road, Comox, B.C. V9M 3V6
236-255-1055
amewett@gmail.com

Watt Consulting Group Ltd

PARKING & TRAFFIC ENGINEER
Att: Tim Shah
#501 - 740 Hillside Avenue, Victoria, B.C. V8T1Z4
250-388-9877 Ext. 430
tshah@wattconsultinggroup.com

Cardinal Engineering Ltd.

SPRINKLER ENGINEER
Att: Ryan Pavey
#709 - 610 Granville Street, Vancouver, B.C. V6C 3T3
604-605-0606
pavey@cardinalfire.ca

ARCHITECTURAL DRAWING LIST

- A0-00 COVER SHEET/CONSULTANTS
- A1-00 PROJECT DATA
- A1-01 SITE PLAN
- A2-00 PARKING LEVEL P2
- A2-01 PARKING LEVEL P1
- A2-02 MAIN FLOOR PLAN
- A2-03 2ND FLOOR PLAN
- A2-04 3RD FLOOR PLAN
- A2-05 4TH FLOOR PLAN
- A2-06 5TH FLOOR PLAN
- A2-07 ROOF PLAN
- A3-01 ELEVATIONS WEST & SOUTH
- A3-02 ELEVATIONS EAST & NORTH
- A3-03 SECTIONS A & B
- A3-04 SECTION C

15 DRAWINGS: 29 JULY 2022

D.P. PRIOR TO CONDITIONS	29 JULY 2022
B.P. COORDINATION	13 JUNE 2022
D.P. SUBMISSION	20 APRIL 2022
ISSUE	DATE

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Brad Humphrey Architect

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Tel 780.817.1578

PROJECT TITLE
NVCD
3040 KILPATRICK AVENUE

DRAWING TITLE
COVER SHEET
CONSULTANT LIST

DRAWN BGJH/BKH	SCALE N/A	FILE / DATE 20413 cover 07-29
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NEWPORT BUILDING 3 UNIT SUMMARY - 2022-04-20

Unit Type	A1	A2	A3	A4	A5	B	B1	B2	B3	B4	C1	C2	TOTALS	SF/FLOOR
1ST	1	1				4	1	1	1				9	6,084.01
2ND			1	1	1	5	1			1			10	6,932.94
3RD			1	1	1	5	1			1			10	6,932.94
4TH			1	1	1	5	1			1			10	6,932.94
5TH											1	1	2	2,955.98
TOTAL UNITS	1	1	3	3	3	19	4	1	1	3	1	1	41	29,838.81
SF/UNIT	909.37	706.36	971.15	769.31	869.47	630.74	546.58	624.17	774.57	622.73	1,510.74	1,445.24		
TOTAL SF	909.37	706.36	2,913.45	2,307.93	2,608.41	11,984.06	2,186.32	624.17	774.57	1,868.19	1,510.74	1,445.24	29,838.81	
BED/UNIT	2	2	2	2	2	1	1	1	1	1	2	2	1.32/unit	
TOTAL BEDS	2	2	6	6	6	19	4	1	1	3	2	2	54	
BATH/UNIT	1	1	2	1	1	1	1	1	1	1	2	2	1.15/unit	
TOTAL BATH	1	1	6	3	3	19	4	1	1	3	2	2	46	

UNIT MIX SCHEDULE

	1 BED	2 BED	TOTAL
1ST	7	2	9
2ND	7	3	10
3RD	7	3	10
4TH	7	3	10
5TH	0	2	2
TOTAL	28	13	41

AREA CALCULATIONS

			FAR EXCLUSION		
LEVEL	UNITS	EXIT	VERTICAL	TOTAL	FAR
	SF	SF	SF	SF	SF
1ST	6084.01	967.31	532.01	7583.33	7051.32
2ND	6932.94	696.96	430.51	8060.41	7629.9
3RD	6932.94	696.96	430.51	8060.41	7629.9
4TH	6932.94	696.96	430.51	8060.41	7629.9
5TH	2955.98	103.95	407.09	3467.02	3059.93
TOTAL	29838.81	3162.14	2230.63	35231.58	33000.95

VEHICLE STALLS

PARKING SUMMARY		PROPOSED			PERCENTAGE
		PARKADE	SURFACE	TOTAL	
REGULAR	2.60m x 5.5m	31	9	39	75%
SMALL	2.50m x 4.6m	13	0	13	25%
H/C	2.8m x 5.5m	-	0	-	0%
SUBTOTAL		44	9	53	100%

BICYCLE STALLS

PROPOSED	BIKE STALLS
HORIZONTAL	29
VERTICAL	12
TOTAL	41
REQUIRED	BIKE STALLS
HORIZONTAL	24
VERTICAL	17
TOTAL	41

FAR SUMMARY

SITE AREA	40,401
COVERAGE	7629.9
PERCENTAGE	19%
SITE AREA	40,401
FAR AREA	33,001
FAR	0.82

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REVIEW	17 NOV 2021
OCP & REZONING APPLICATION	21 OCT 2021
ISSUE	DATE

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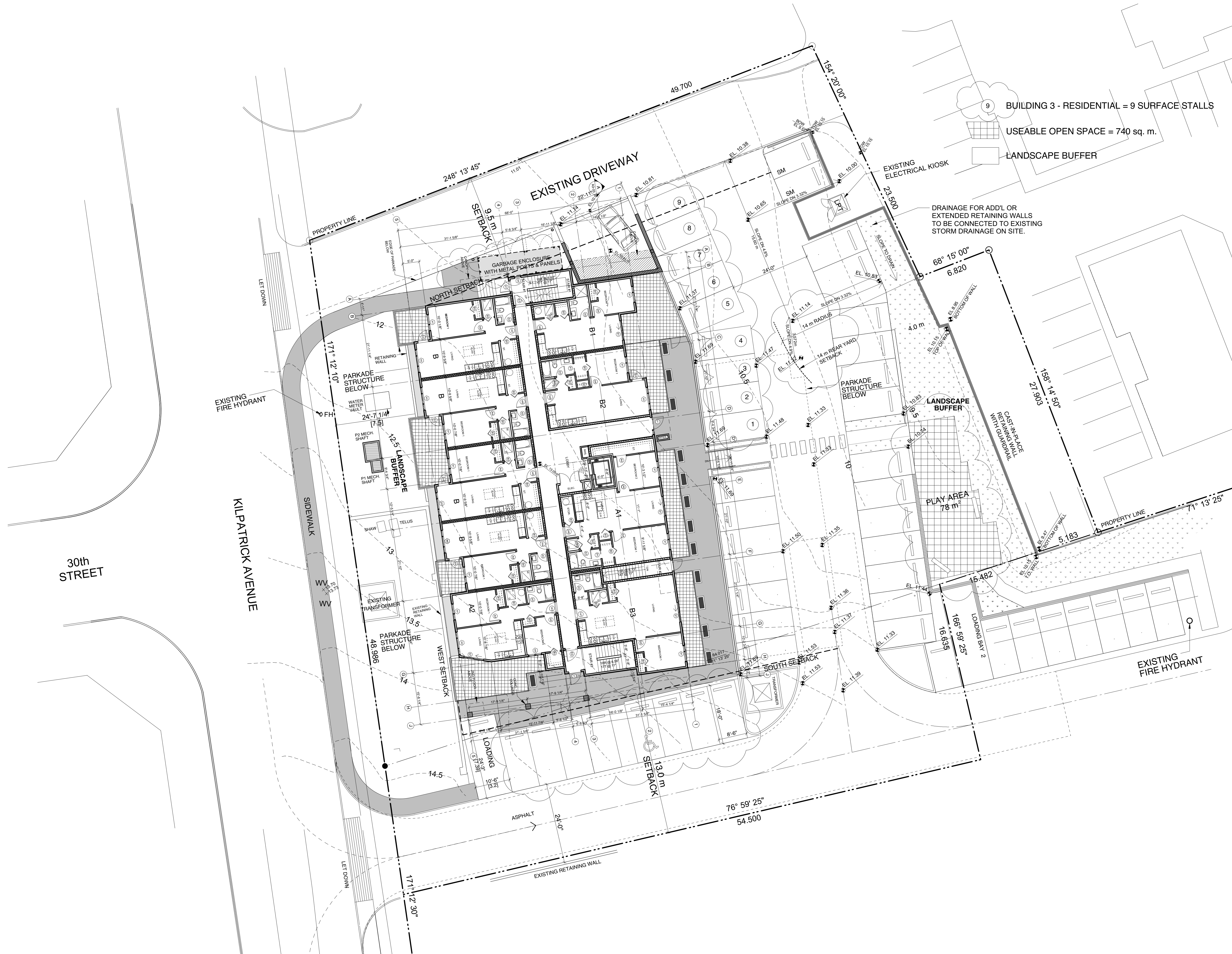
Brad Humphrey Architect
1325 Thomas Avenue,
Coquitlam, B.C.
V3K 2L4
Tel 780.817.1578

PROJECT TITLE
NVCD
3040 KILPATRICK AVENUE

DRAWING TITLE
PROJECT DATA

DRAWN BGJH/BKH	SCALE N/A	FILE / DATE 20413 data 07-29
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BUILDING 3 - RESIDENTIAL = 9 SURFACE STALLS

USEABLE OPEN SPACE = 740 sq. m.

LANDSCAPE BUFFER

DRAINAGE FOR ADD'L OR
EXTENDED RETAINING WALLS
TO BE CONNECTED TO EXISTING
STORM DRAINAGE ON SITE.

PLAY AREA
78 m²

LOADING BAY 2

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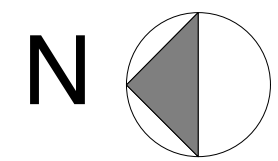
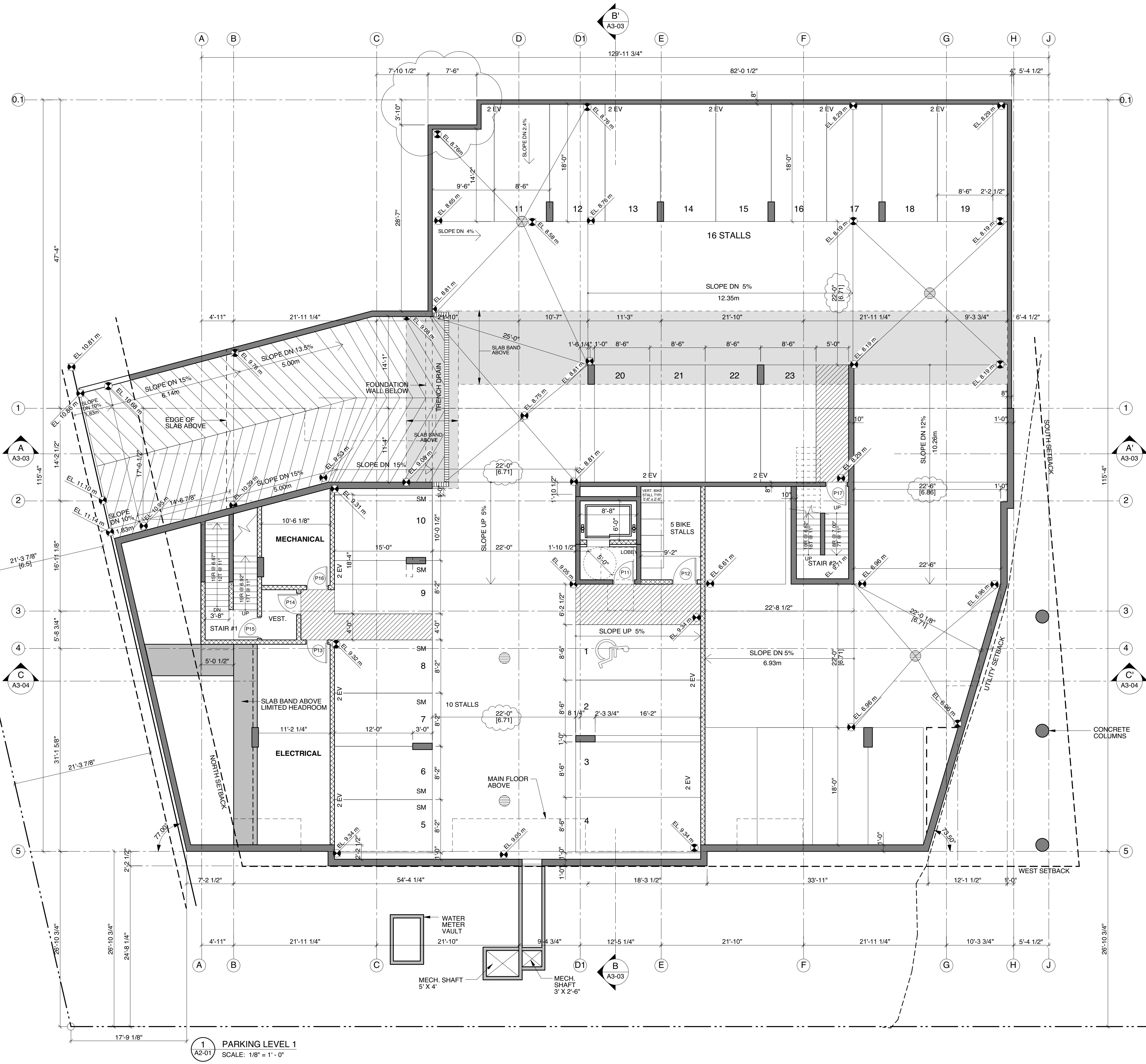
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3040 KILPATRICK AVENUE**

DRAWING TITLE
SITE PLAN

DRAWN BGJH/BKH	SCALE 1 : 150	FILE / DATE 20413 site plan 07-29
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A1-01



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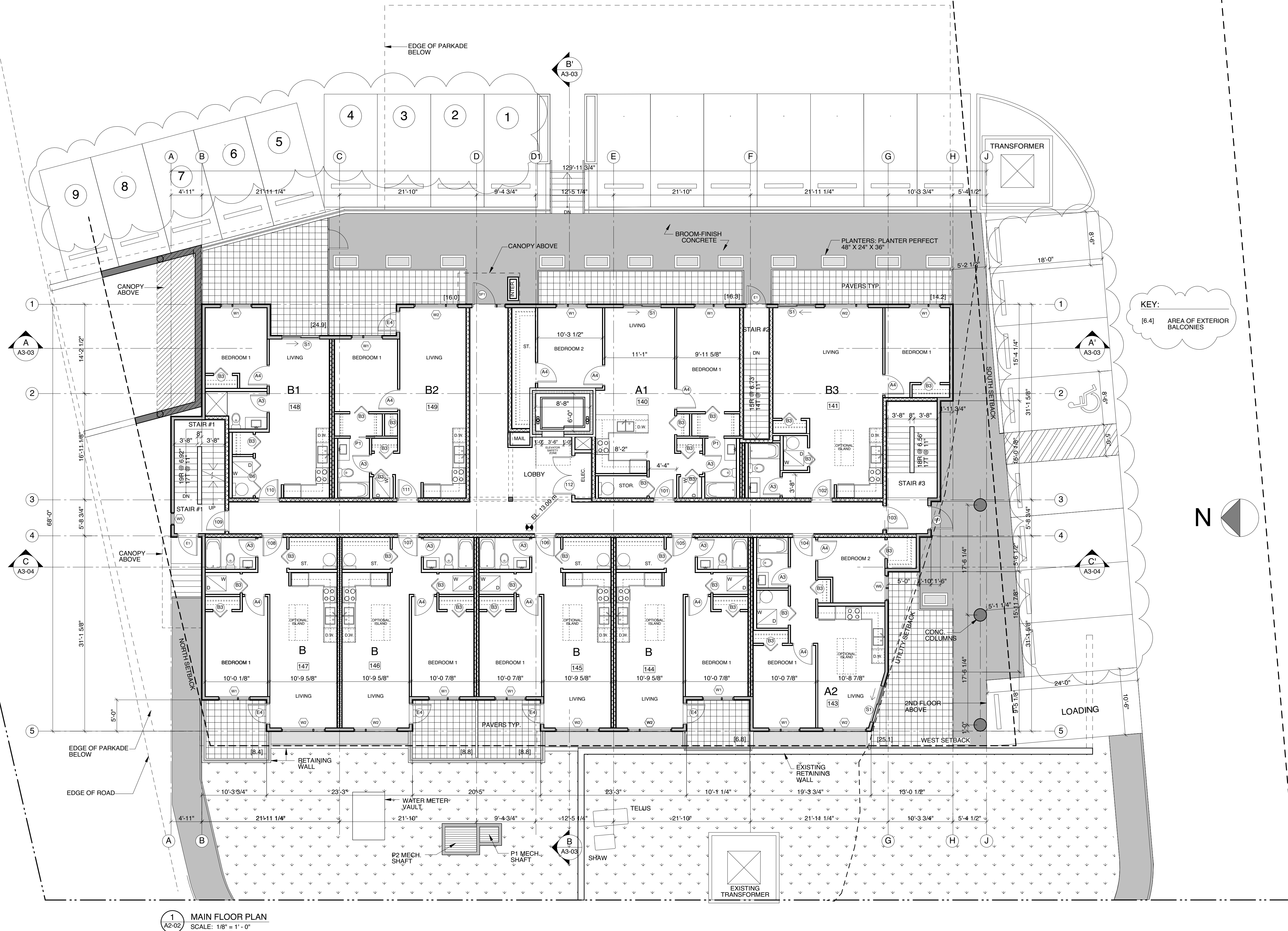
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DRAWING TITLE
PARKING LEVEL 1

DRAWN BGJH/BKH	SCALE 1/8" = 1'-0"	FILE / DATE 20413 pl parking 1 07-29
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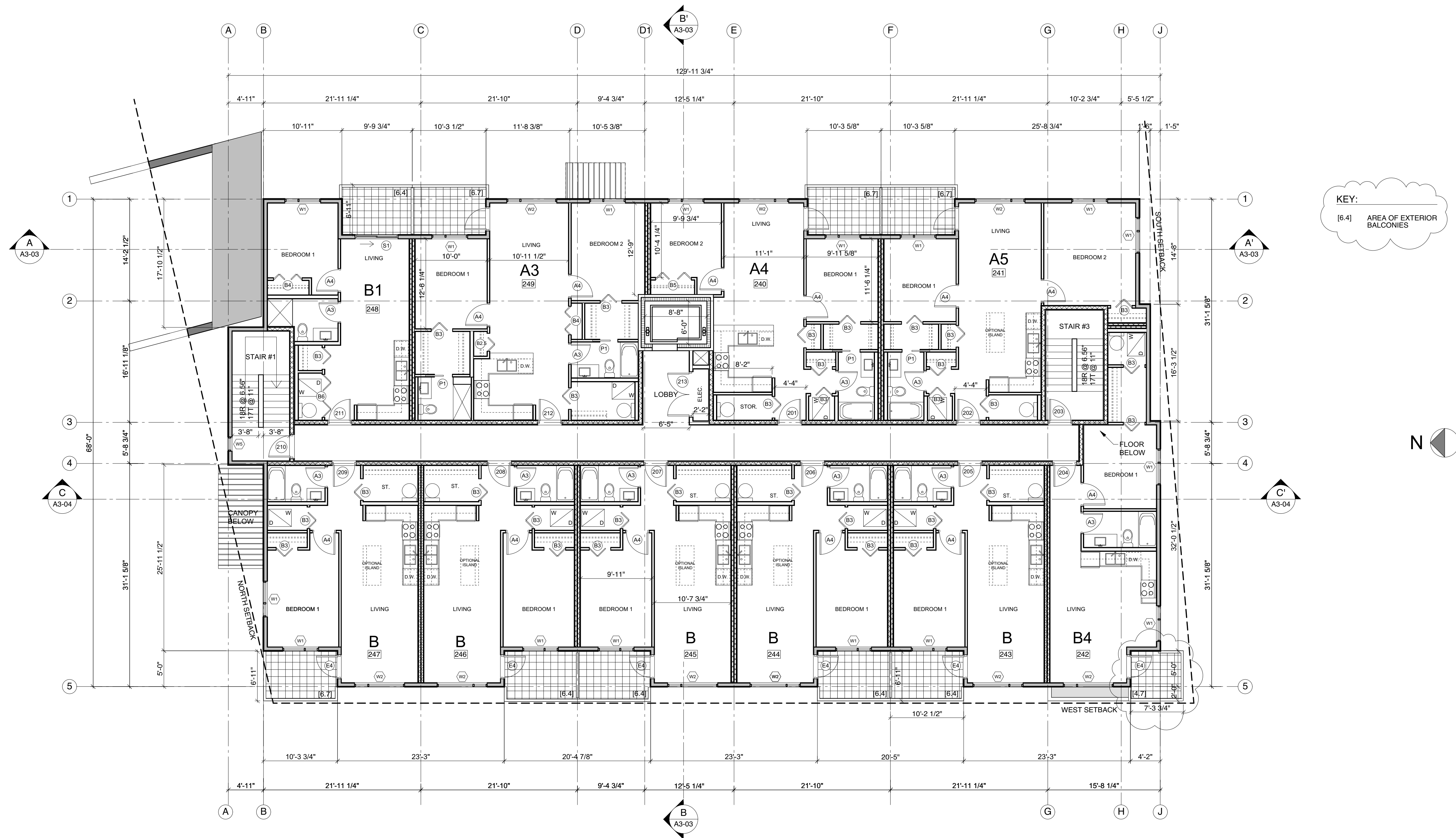
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PROJECT TITLE
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DRAWING TITLE
MAIN FLOOR PLAN

DRAWN BGJH/BKH	SCALE 1/8" = 1'-0"	FILE / DATE 20413 pl main floor 07-29
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1 2ND FLOOR PLAN
A2-03 SCALE: 1/8" = 1'-0"

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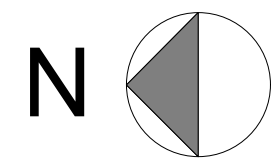
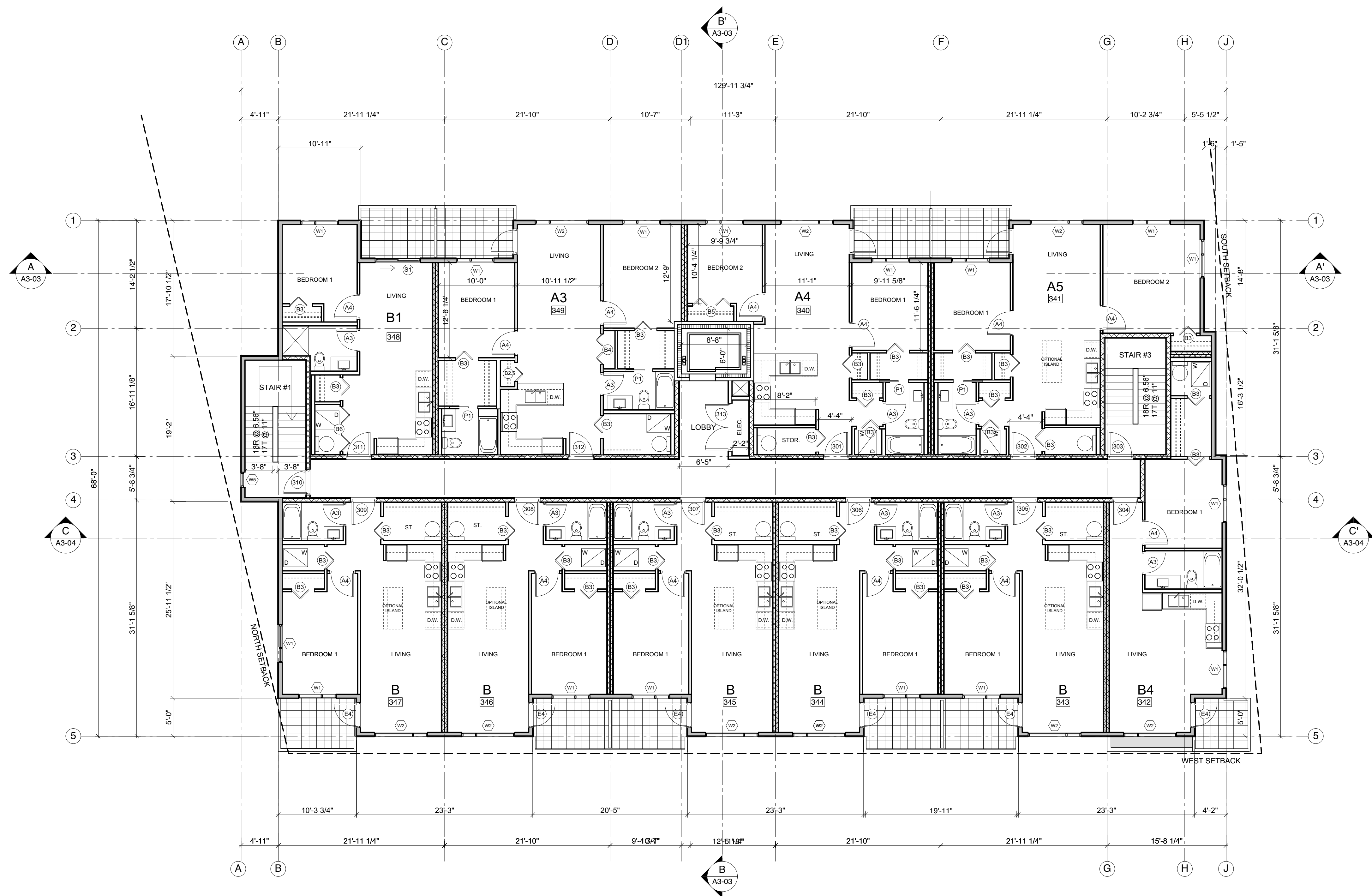
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DRAWING TITLE
2ND FLOOR PLAN

DRAWN BGJH/BKH	SCALE 1/8" = 1'-0"	FILE / DATE 20413 pl 2nd floor 07-29
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1
A2-04
3rd - 4th FLOOR PLAN
SCALE: 1/8" = 1' - 0"

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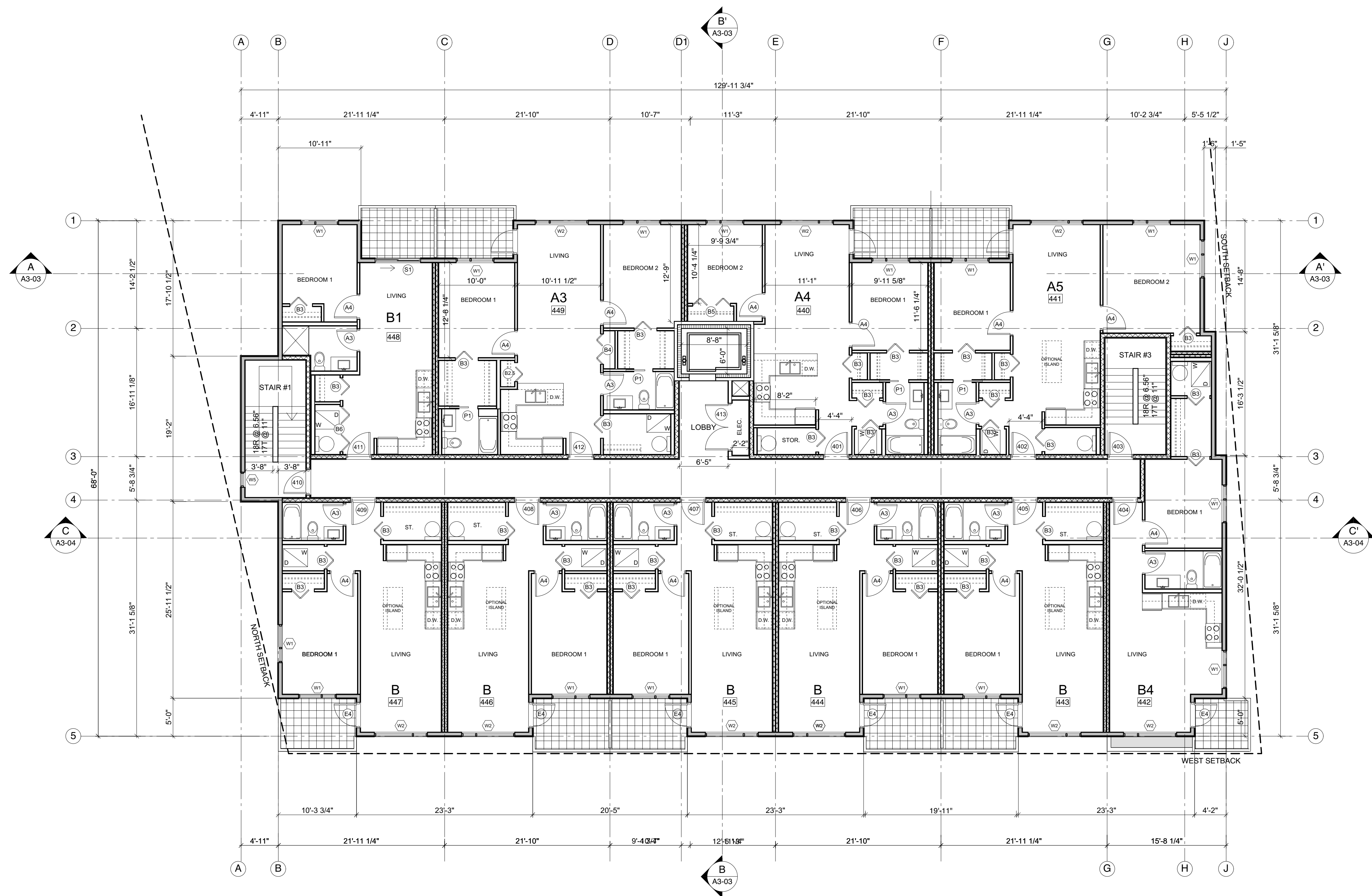
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DRAWING TITLE
3RD FLOOR PLAN

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1 3rd - 4th FLOOR PLAN
A2-04 SCALE: 1/8" = 1' - 0"

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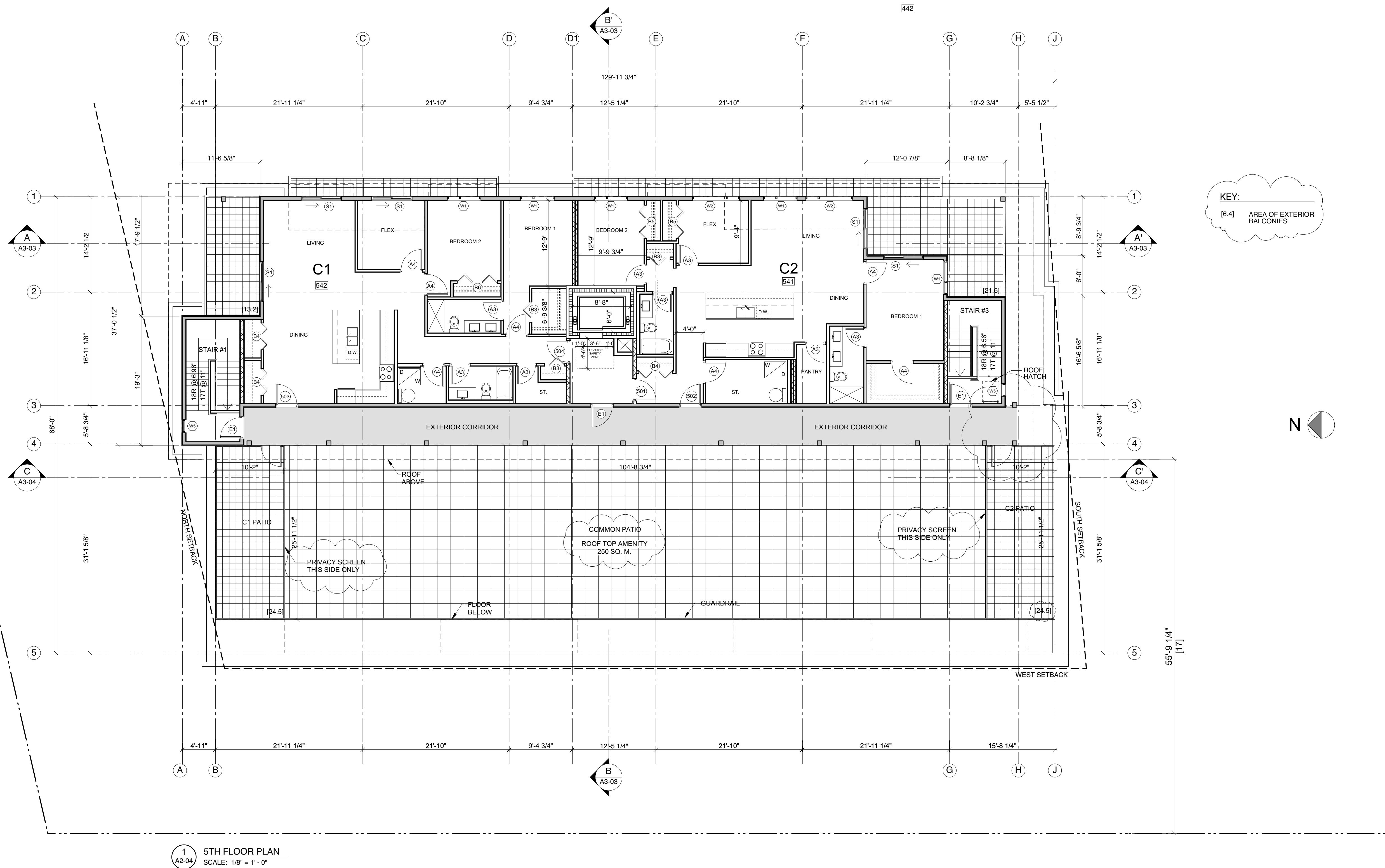
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DRAWING TITLE
4TH FLOOR PLAN

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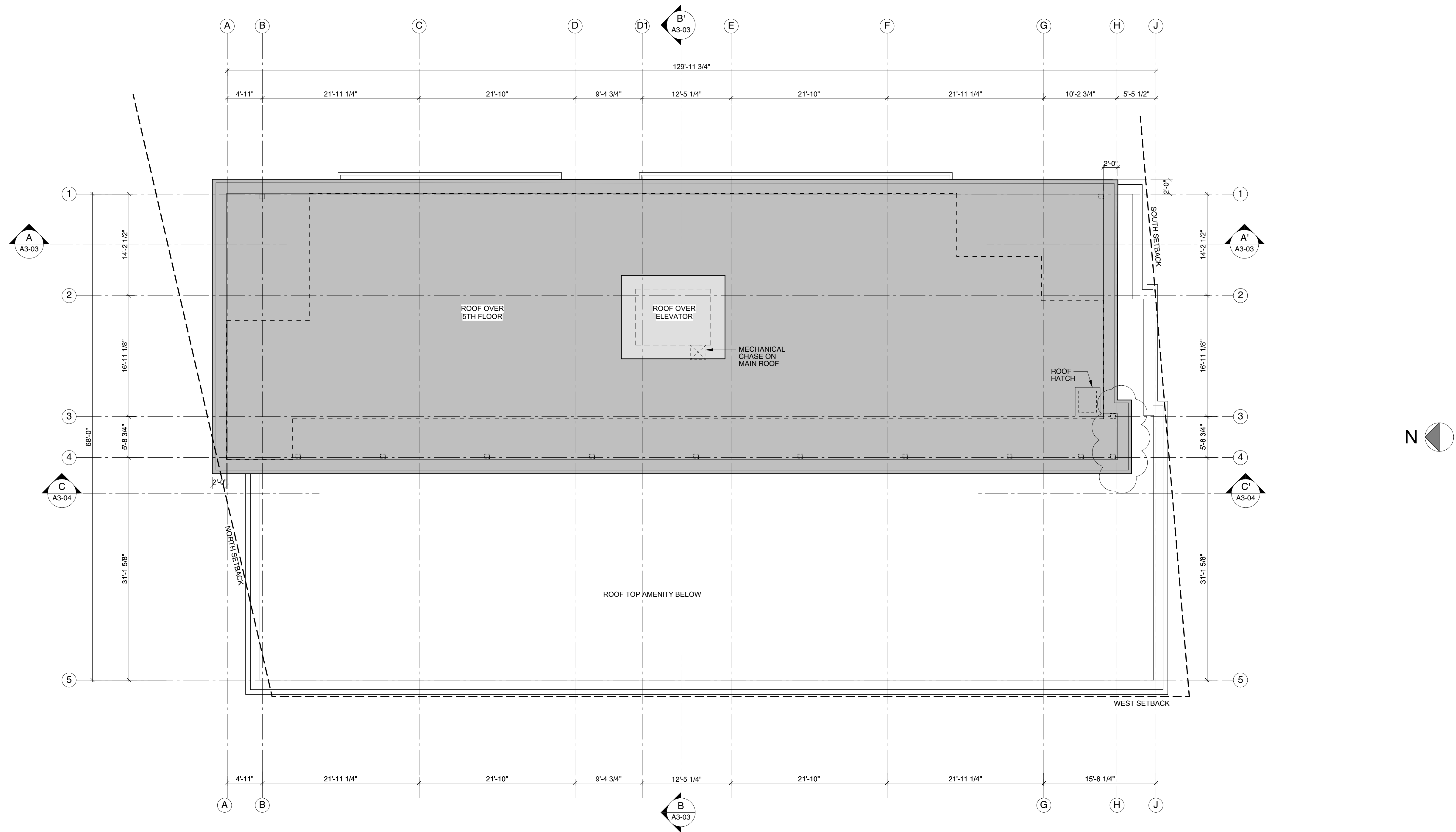
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DRAWING TITLE
5TH FLOOR PLAN

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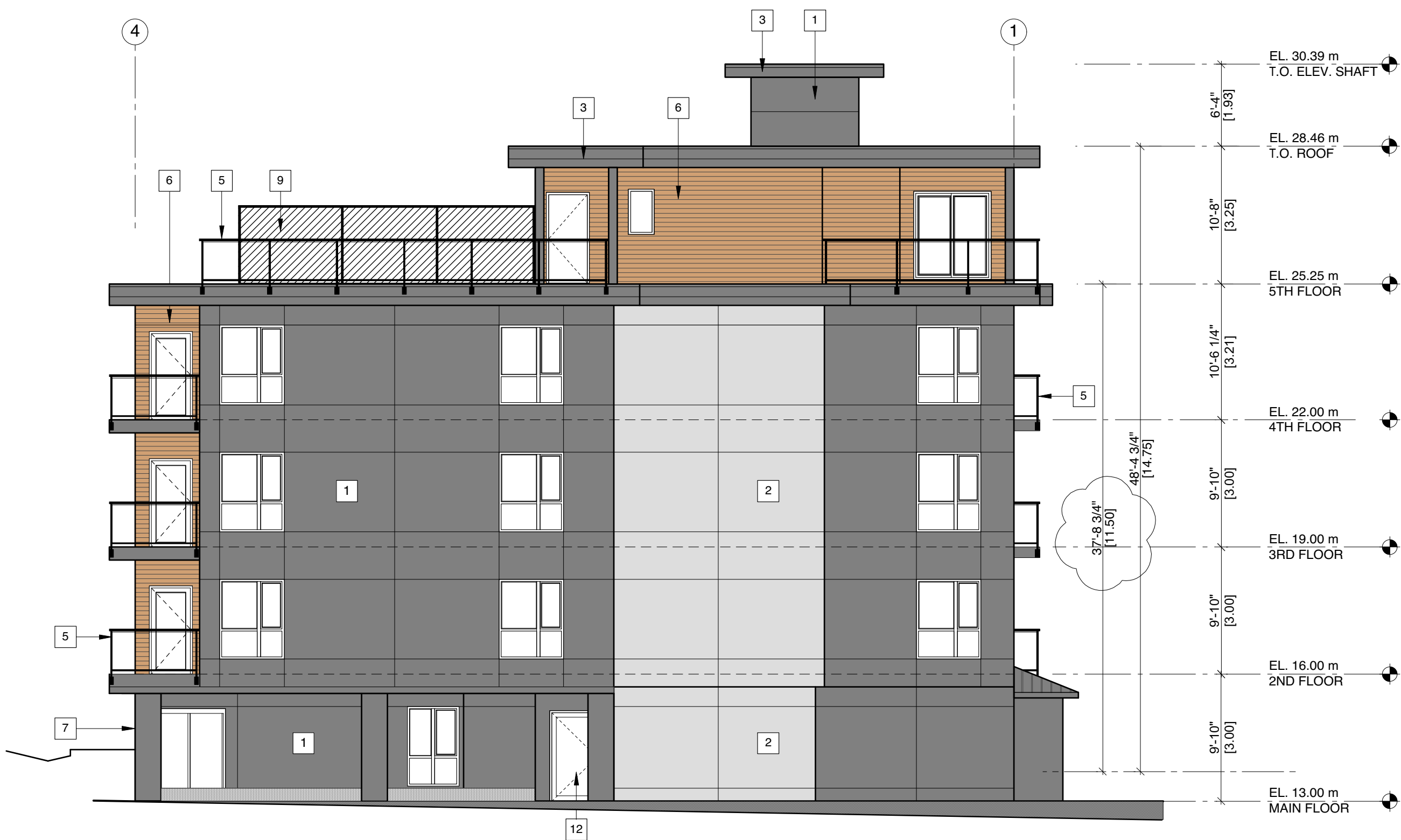
DRAWING TITLE
ROOF PLAN

DRAWN BGJH/BKH	SCALE 1/8" = 1'-0"	FILE / DATE 20413 pl roof 07-29
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1 WEST ELEVATION
SCALE: 1/8" = 1' - 0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1' - 0"

FINISHES SCHEDULE:

- 1 HARDIE FIBRE CEMENT SIDING
COLOR - NIGHT GRAY
- 2 HARDIE FIBRE CEMENT SIDING
COLOR - ARCTIC WHITE
- 3 PREFINISHED METAL
FLASHING
- 4 VINYL WINDOWS COLOR - WHITE
- 5 BALCONY RAILINGS / BLACK
ALUMINUM / CLEAR GLASS
- 6 HARDIE FIBRE CEMENT SIDING
(HORIZONTAL) KHAKI BROWN
- 7 CULTURED STONE (SPACCO
BLACK STONE OR SIMILAR)
- 8 STEEL ENTRY DOORS / COLOR -
TBD / CLEAR GLAZING
- 9 TRANSLUCENT GLAZED PANEL
- 10 ALLAN BLOCK RETAINING WALL
- 11 ALUMINUM SOFFIT - KAYCAN
SANDALWOOD 05 ALL LOCATIONS
EXCEPT 5TH FLOOR AND LOBBY
ENTRY
- 12 ALUMINUM ENTRY DOORS /
COLOR - SILVER / CLEAR GLAZING
- 13 CONCRETE FINISHED

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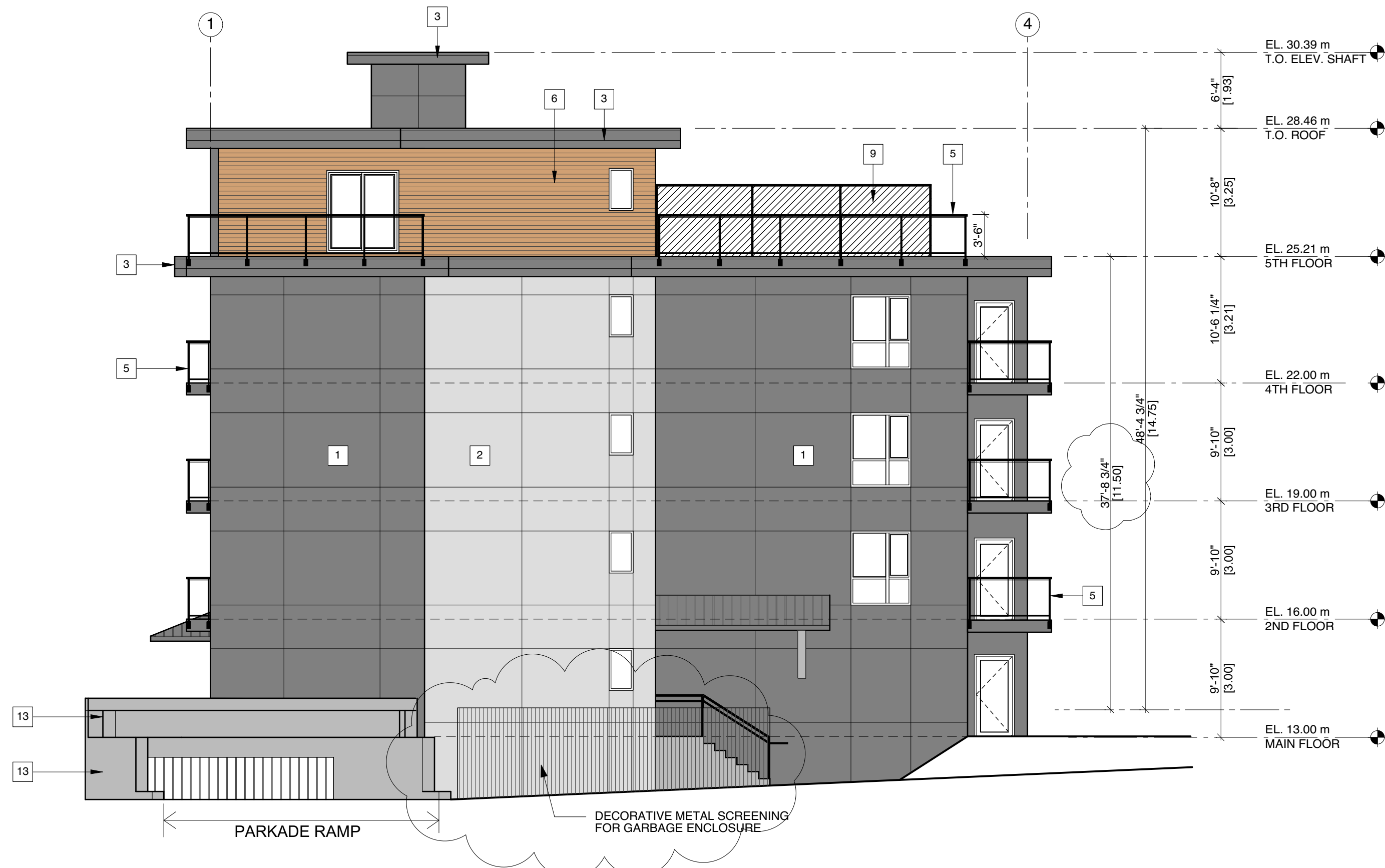
DRAWING TITLE
**ELEVATIONS:
WEST & SOUTH**

DRAWN BGJH/BKH	SCALE 1/8" = 1'-0"	FILE / DATE 20413 elev W & S 07-29
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1 EAST ELEVATION
SCALE: 1/8" = 1' - 0"



2 NORTH ELEVATION
SCALE: 1/8" = 1' - 0"

FINISHES SCHEDULE:

- 1 HARDIE FIBRE CEMENT SIDING
COLOR - NIGHT GRAY
- 2 HARDIE FIBRE CEMENT SIDING
COLOR - ARCTIC WHITE
- 3 PREFINISHED METAL
FLASHING
- 4 VINYL WINDOWS COLOR - WHITE
- 5 BALCONY RAILINGS / BLACK
ALUMINUM / CLEAR GLASS
- 6 HARDIE FIBRE CEMENT SIDING
(HORIZONTAL) KHAKI BROWN
- 7 CULTURED STONE (SPACCO
BLACK STONE OR SIMILAR)
- 8 STEEL ENTRY DOORS / COLOR -
TBD / CLEAR GLAZING
- 9 GLAZED PANEL
- 10 ALLAN BLOCK RETAINING WALL
- 11 ALUMINUM SOFFIT - KAYCAN
SANDALWOOD 05 ALL LOCATIONS
EXCEPT 5TH FLOOR AND LOBBY
ENTRY
- 12 ALUMINUM ENTRY DOORS /
COLOR - SILVER / CLEAR GLAZING
- 13 CONCRETE FINISHED

D.P. PRIOR TO CONDITIONS	29 JULY 2022
B.P. COORDINATION	13 JUNE 2022
D.P. SUBMISSION	20 APRIL 2022
COORDINATION	18 FEB 2022
PRELIMINARY GRADING	08 FEB 2022
ISSUED FOR REVISION TO COORDINATION DRAWINGS	02 FEB 2022
ISSUED FOR REVIEW	31 JAN 2022
DRAFT FOR REVIEW	13 JAN 2022
REVIEW	17 NOV 2021
OCP & REZONING APPLICATION	21 OCT 2021
ISSUE	DATE

CLIENT
**NEWPORT VILLAGE
COURTENAY
DEVELOPMENTS LTD.**

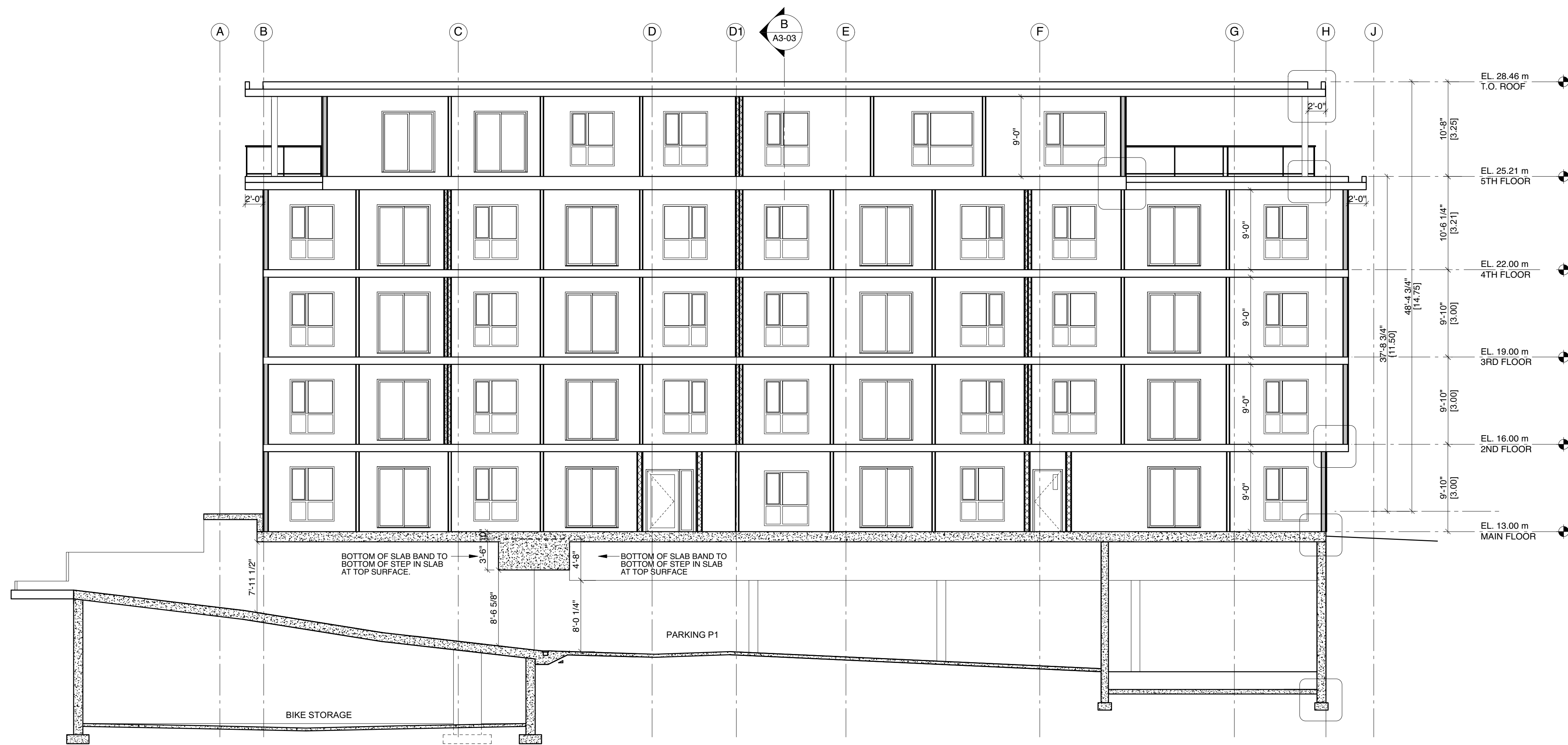
Brad Humphrey Architect
1325 Thomas Avenue,
Coquitlam, B.C.
V3K 2L4
Tel 780.817.1578

PROJECT TITLE
**NVCD
3040 KILPATRICK AVENUE**

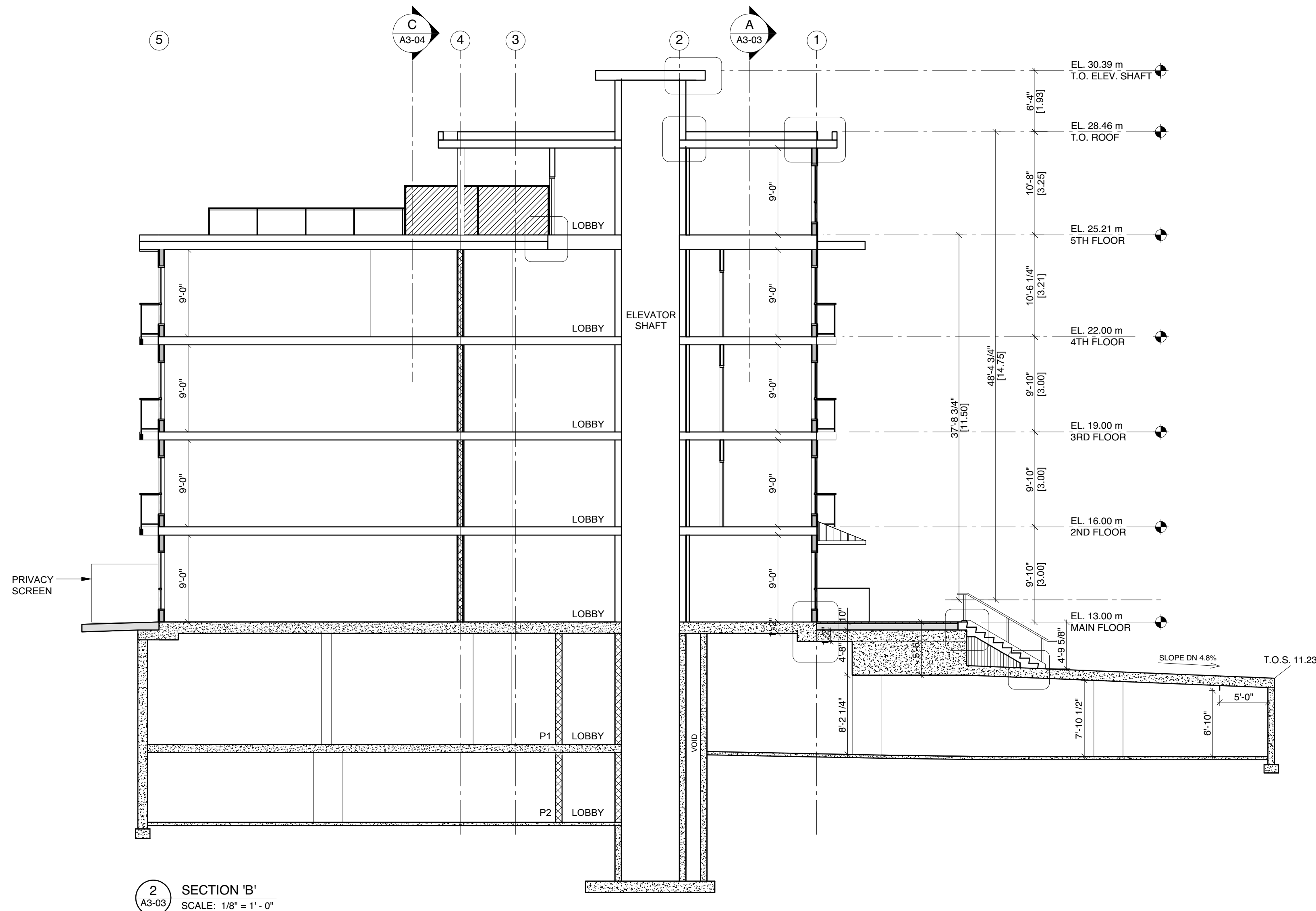
DRAWING TITLE
**ELEVATIONS:
EAST & NORTH**

DRAWN BGJH/BKH	SCALE 1/8" = 1'-0"	FILE / DATE 20413 elev E & N 07-29
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1
A3-03
SECTION 'A'
SCALE: 1/8" = 1' - 0"



2
A3-03
SECTION 'B'
SCALE: 1/8" = 1' - 0"

D.P. PRIOR TO CONDITIONS	29 JULY 2022
B.P. COORDINATION	13 JUNE 2022
REVIEW	17 NOV 2021
ISSUE	DATE

CLIENT
**NEWPORT VILLAGE
COURTENAY
DEVELOPMENTS LTD.**

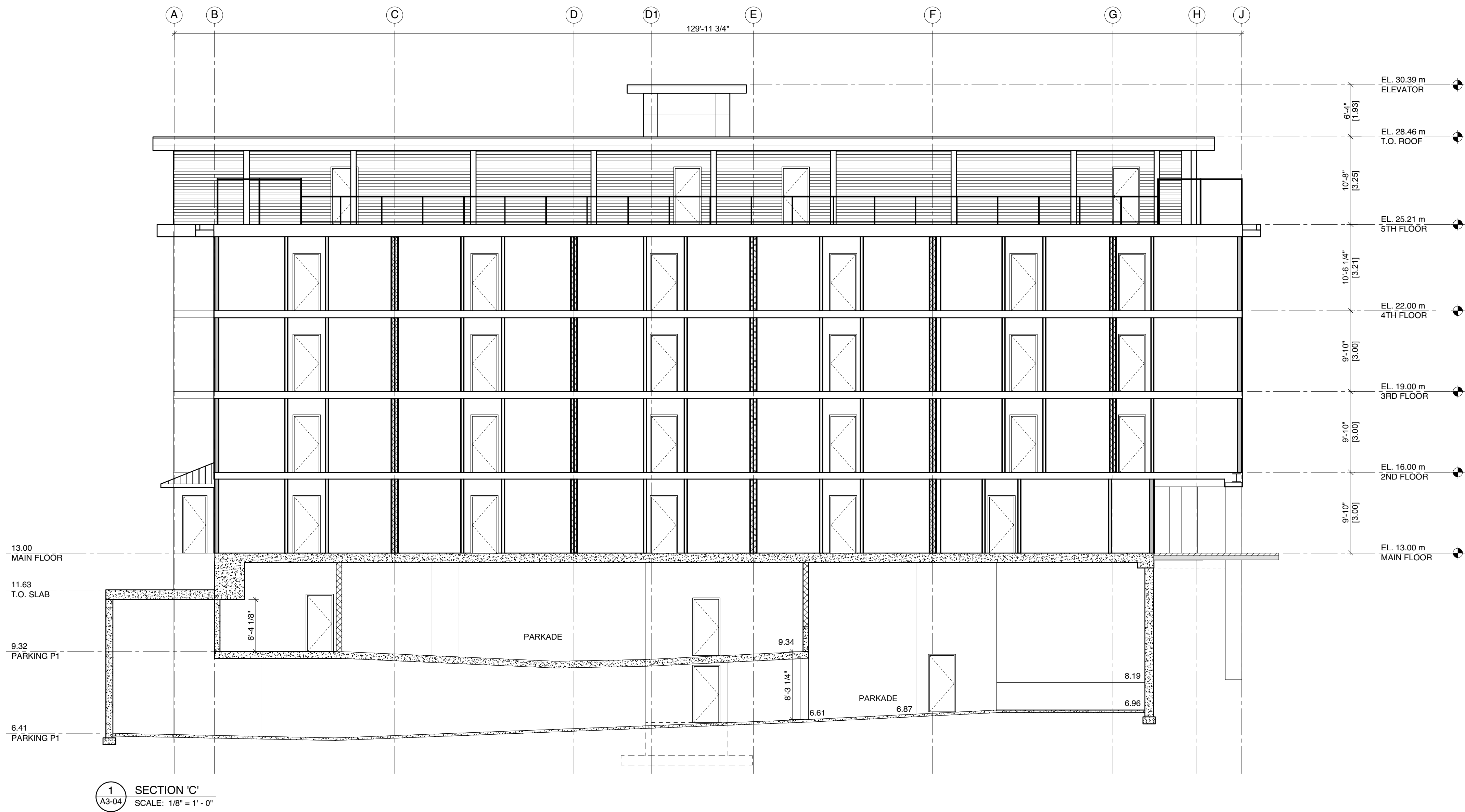
Brad Humphrey Architect
1325 Thomas Avenue,
Coquitlam, B.C.
V3K 2L4
Tel 780.817.1578

PROJECT TITLE
**NVCD
3040 KILPATRICK AVENUE**

DRAWING TITLE
SECTIONS A & B

DRAWN BGJH/BKH	SCALE 1/8" = 1'-0"	FILE / DATE 20413 sections A & B 07-29
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DRAWING NO.
A3-03



D.P. PRIOR TO CONDITIONS	29 JULY 2022
B.P. COORDINATION	13 JUNE 2022
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NEWPORT VILLAGE COURTENAY DEVELOPMENTS LTD.	

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PROJECT TITLE
NVCD
3040 KILPATRICK AVENUE

DRAWING TITLE
SECTION C

DRAWN BGJH/BKH	SCALE 1/8" = 1'-0"	FILE / DATE 20413 section C 07-29
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DRAWING NO.

A3-04