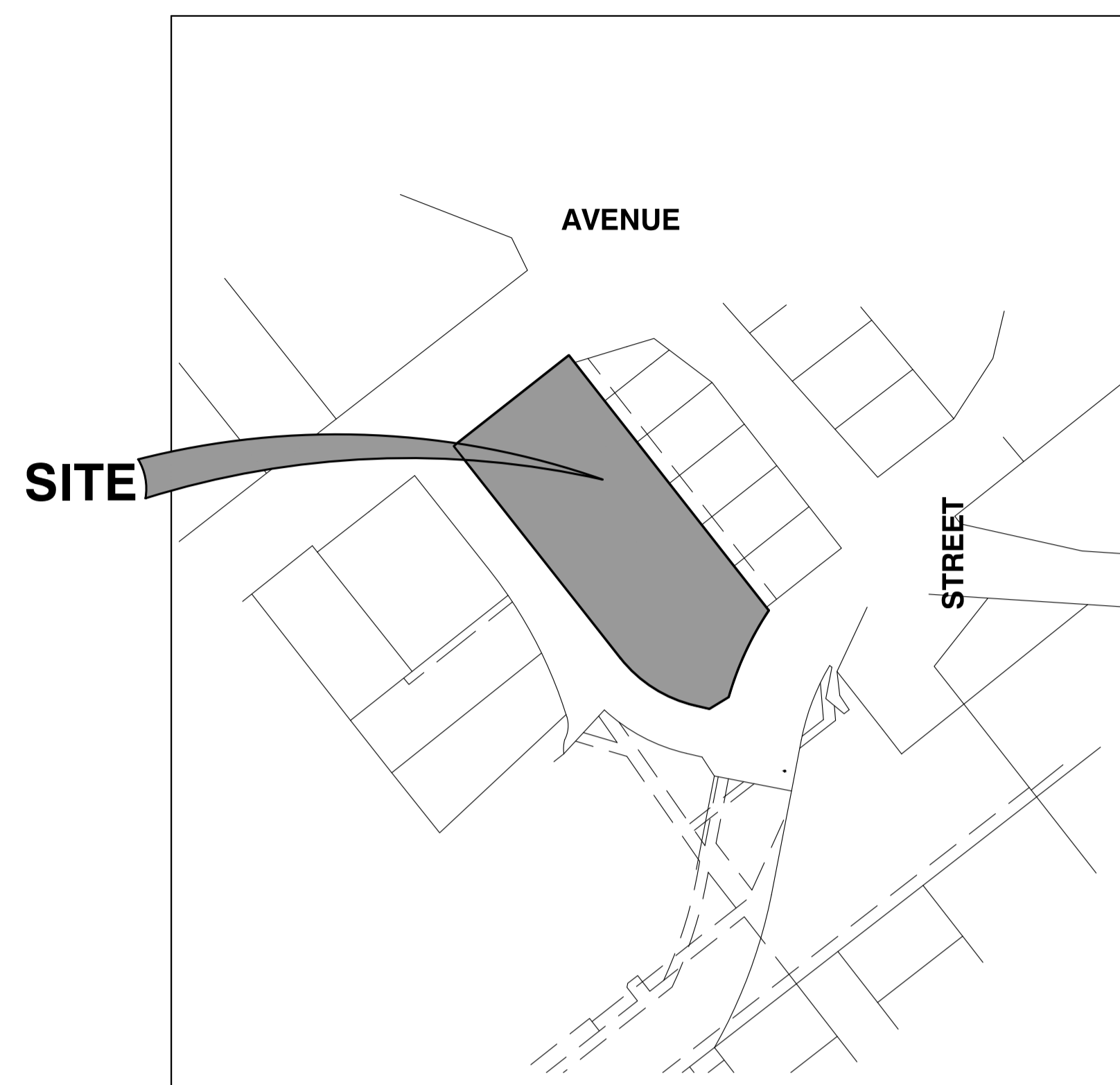




# APLIN MARTIN

ENGINEERING ARCHITECTURE PLANNING SURVEYING

Aplin & Martin Consultants Ltd.  
 #104 - 6596 Applercross Road, Nanaimo, BC, Canada V9V 0A4  
 Tel: (778) 841-0484, Fax: (604) 597-9061, Email: general@aplinmartin.com



**SITE LOCATION PLAN**

1:2000

### DRAWING INDEX

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**DEVELOPER:**

**SARGENT CONSTRUCTION LTD.**

422 KINCAID STREET, VICTORIA, BC V8X 4K7  
 Tel: (250) 415-8305

**PROJECT:**

**HOLIDAY INN EXPRESS**

310, 320, AND 336 HUNT ROAD, COURTENAY, BC V9N 5N2

**DRAFT**

**MUNICIPAL PROJECT No.**

**3360-20-2002**

**APLIN & MARTIN PROJECT No.**

**20-8009**

**GENERAL NOTES:**

- ALL CONSTRUCTION AND MATERIALS ARE TO BE IN ACCORDANCE WITH CITY OF COURTENAY SUBDIVISION AND DEVELOPMENT SERVICING BYLAW 2919.
- ALL ELEVATIONS ARE METRIC AND TO GEODETIC DATUM. COORDINATES ARE GROUND LEVEL (UTM NAD 83 WITH COMBINED SCALE FACTOR OF 1/0.99965).
- ALL LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND SHOULD BE CONFIRMED BY USE OF A PIPE LOCATOR AND MANUAL DIGGING. ANY OR ALL EXISTING STRUCTURES ARE NOT NECESSARILY SHOWN.
- LOCATION OF SERVICE CONNECTIONS TO BE DETERMINED IN THE FIELD, UNLESS SHOWN OTHERWISE.
- ANY ALTERNATIVES TO SPECIFIED MATERIALS OR APPURTENANCES TO BE APPROVED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION.
- THE LOCATIONS OF EXISTING SERVICES ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION. EXISTING AND PROPOSED SERVICES MAY REQUIRE ADJUSTMENT WHERE A CONFLICT OCCURS. THE ENGINEER OF RECORD SHALL BE NOTIFIED OF ANY CONFLICT OR VARIANCE FROM DRAWINGS.
- TRENCHING DETAIL TO BE AS PER MMCD STD DWG G4. TRAVELED AREA BACKFILL TO BE IMPORTED GRANULAR MATERIAL COMPACTED TO MINIMUM 95% MODIFIED PROCTOR, UNLESS OTHERWISE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
- ASPHALT PAVEMENT RESTORATION TO BE AS PER MMCD STD DWG G5.
- ALL DISTURBED STRUCTURES, VEGETATION, AND SURFACE FEATURES (ROADS, CURBS, SIDEWALKS, ETC) SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER AS PER SATISFACTION OF ENGINEER OF RECORD, CITY OF COURTENAY, AND PROPERTY OWNER.
- CONTRACTOR TO COMPLY WITH THE REQUIREMENTS OF THE TRAFFIC CONTROL MANUAL FOR WORK ON ROADWAYS, AS PUBLISHED BY THE BC MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE; CONTRACTOR TO COMPLY WITH THE REGULATION OF VEHICLE AND PEDESTRIAN USE OF ROADWAYS OVER WHICH IT IS NECESSARY TO CARRYOUT WORK OR HAUL MATERIALS AND EQUIPMENT.
- CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE A TRAFFIC MANAGEMENT PLAN (TMP) FOR REVIEW AND ACCEPTANCE BY THE CITY AT LEAST TEN (10) WORKING DAYS PRIOR TO ANY TRAVEL LANE CLOSURES TAKING PLACE. THE TMP IS TO BE PREPARED BY A QUALIFIED PROFESSIONAL AND IS TO BE REVISED AND RESUBMITTED AS REQUIRED DURING THE PROGRESS OF WORK.
- CONTRACTOR TO NOTIFY THE CITY OF COURTENAY, ALL EMERGENCY SERVICE AGENCIES, AND BC TRANSIT OF THE SUBSEQUENT WORK ZONE AREA, SPEED REDUCTIONS, OR DETOURS WHICH MAY AFFECT TRAFFIC FLOW.
- CONTRACTOR SHALL PROVIDE EMERGENCY ACCESS TO PROPERTIES AT ALL TIMES DURING CONSTRUCTION
- CONTRACTOR SHALL PROVIDE VEHICULAR ACCESS TO PROPERTIES AT THE END OF DAILY CONSTRUCTION
- CONTRACTOR SHALL PROVIDE AND ERECT ALL APPROPRIATE CONSTRUCTION ZONE SIGNAGE AND USED CERTIFIED FLAG PERSONNEL TO MAINTAIN SAFE AND EFFICIENT TRAFFIC FLOW THROUGH AND AROUND THE WORK SITE.
- A PERMIT TO CONSTRUCT WORKS WITHIN A MUNICIPAL ROAD ALLOWANCE, STATUTORY RIGHT-OF-WAY, AND/OR MUNICIPAL PROPERTY SHALL BE OBTAINED FROM PUBLIC WORKS.

**WATERMAIN NOTES:**

- ALL WATERMANS TO BE PVC DR18, AND HAVE A MINIMUM 1.2m OF COVER.
- EXISTING PIPE TO BE REMOVED ONCE EXISTING WATERMAIN IS DECOMMISSIONED OR AS APPROVED BY THE ENGINEER OF RECORD.
- ALL WATERMAIN JOINTS SHALL BE FULLY RESTRAINED.
- ALL WATERMAIN JOINTS WITHIN 3.0m HORIZONTAL OR 0.5m VERTICAL OF SANITARY OR STORM DRAIN MAINS SHALL BE PROTECTED BY SHRINK WRAP OR PETROLEUM TAPE.
- PRESSURE TESTING, CHLORINATION, AND BACTERIOLOGICAL TESTING TO BE IN ACCORDANCE WITH THE CITY OF COURTENAY STANDARDS AND SPECIFICATIONS.
- CITY PUBLIC WORKS REPRESENTATIVE ARE TO OPERATE ALL EXISTING WATER VALVES.

**SANITARY SEWER NOTES:**

- ALL MAINS TO BE PVC SDR35, AND HAVE A MINIMUM 1.5m OF COVER IN ROAD RIGHT-OF-WAYS AND 1.0m IN UNTRAVELED AREAS, UNLESS APPROVED BY THE ENGINEER OF RECORD AND CITY OF COURTENAY.
- ALL SANITARY SERVICE CONNECTIONS TO BE 150Ø PVC SDR28 UNLESS NOTED OTHERWISE .
- ALL SANITARY FORCEMAINS TO BE HDPE DR12 UNLESS NOTED OTHERWISE.
- ALL SANITARY SERVICE BOXES TO BE IN ACCORDANCE WITH THE CITY OF COURTENAY STD DWG'S C SSD S9.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SERVICE TO EXISTING USERS DURING CONSTRUCTION THROUGH BYPASS PUMPING. THE CONTRACTOR IS TO PROVIDE A BYPASS PUMPING PLAN PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR SHALL ENSURE THAT THE PUMPING EQUIPMENT IS KEPT IN GOOD WORKING CONDITION DURING THE PROJECT.
- ALL ASBESTOS CEMENT PIPING ENCOUNTERED WITHIN THE TRENCHLINE SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH WORKSAFE BC AND MUNICIPALITY REQUIREMENTS.
- ALL PIPING AND RELATED APPURTENANCES TO BE INSPECTED AND APPROVED BY THE ENGINEER OF RECORD PRIOR TO BACKFILLING OF THE TRENCH.
- THE CONTRACTOR IS TO FLUSH ALL MAINS AND PROVIDE CCTV INSPECTION TO THE CITY OF COURTENAY PRIOR TO ASPHALT RESTORATION.
- ALL TESTING TO BE IN ACCORDANCE WITH THE CITY OF COURTENAY STANDARDS AND SPECIFICATIONS.

**STORM DRAINAGE NOTES:**

- ALL MAINS TO BE PVC SDR35, AND HAVE A MINIMUM 1.5m OF COVER IN ROAD RIGHT-OF-WAYS AND 1.0m IN UNTRAVELED AREAS, UNLESS APPROVED BY THE ENGINEER OF RECORD AND CITY OF COURTENAY.
- ALL STORM DRAINAGE SERVICE CONNECTIONS TO BE 150Ø PVC SDR28, UNLESS NOTED OTHERWISE.
- ALL CATCH/LAWN BASIN LEADS TO BE 200Ø PVC SDR35, UNLESS NOTED OTHERWISE.
- ALL PERFORATED DRAIN PIPES TO BE PVC SDR35, UNLESS NOTED OTHERWISE.
- ALL STORM DRAINAGE SERVICE BOXES TO BE IN ACCORDANCE WITH THE CITY OF COURTENAY STD DWG C SSD S9.
- ALL CATCH BASINS TO BE CITY OF COURTENAY AS PER STD DWG C SSD S11, UNLESS NOTED OTHERWISE.
- DO NOT PLUG OR ABANDON AN EXISTING STORM DRAINAGE CONNECTION WITHOUT WRITTEN APPROVAL FROM THE CITY OF COURTENAY CONSTRUCTION REPRESENTATIVE.
- PROPOSED STORM DRAINAGE SERVICES ARE TO BE INSTALLED BELOW EXISTING BASEMENT ELEVATION OR AT THE SAME INVERT AS THE SANITARY SERVICES WHERE POSSIBLE, UNLESS OTHERWISE APPROVED BY THE ENGINEER OF RECORD.
- ALL EXISTING CULVERTS AND STORM DRAIN SYSTEMS THAT ARE TO BE ABANDONED SHALL BE INSPECTED FOR EXISTING STORM SERVICE LEADS. ALL EXISTING LEADS ARE TO BE CONNECTED TO THE NEW STORM SEWER SYSTEM.
- ALL PIPING AND RELATED APPURTENANCES TO BE INSPECTED AND APPROVED BY THE ENGINEER OF RECORD PRIOR TO BACKFILLING OF THE TRENCH.
- THE CONTRACTOR IS TO FLUSH ALL MAINS AND PROVIDE CCTV INSPECTION TO THE CITY OF COURTENAY PRIOR TO ASPHALT RESTORATION.

**EROSION & SEDIMENT CONTROL (ESC) NOTES:**

- UNDER THIS PLAN, ALL PERSONS INCLUDING BUT NOT LIMITED TO THE DEVELOPER, OWNER OF THE LAND, THE ENGINEER OF RECORD, ESC SUPERVISOR, CIVIL CONTRACTOR, CIVIL SUB-CONTRACTOR, BUILDER & BUILDING SUB-TRADES, HEREIN AFTER REFERRED TO AS THE OWNER/DEVELOPER/PERSON RESPONSIBLE, ENGAGED ON SITE SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS SPECIFIED BY FEDERAL, PROVINCIAL, AND MUNICIPAL AUTHORITIES; PERTAINING TO ON SITE MANAGEMENT AND DISCHARGE ASSOCIATED WITH ESC REGULATIONS.
- ALL WORK ASSOCIATED WITH THE SUBJECT PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE FEDERAL FISHERIES ACT, AND ALL OTHER APPLICABLE LAWS, LEGISLATION, AND BEST MANAGEMENT PRACTICES (BMP'S). NOTE THAT SECTION 36(3) OF THE FEDERAL FISHERIES ACT PROHIBITS THE DISCHARGE OF DELETERIOUS SUBSTANCES TO WATERS FREQUENTED BY FISH EITHER DIRECTLY OR INDIRECTLY AS BY STORM SEWER. DUE DILIGENCE IS REQUIRED AT ALL TIMES TO PREVENT SUCH DISCHARGES AND ADHERENCE TO THESE CONDITIONS DOES NOT PROVIDE RELIEF FROM ONGOING RESPONSIBILITIES IN THIS REGARD. ESC MEASURES SHOULD MEET OR SURPASS THE STANDARDS OUTLINED IN THE FISHERIES AND OCEANS CANADA "LAND DEVELOPMENT GUIDELINES FOR THE PROTECTION OF AQUATIC HABITAT"
- THE DEVELOPER/PERSON RESPONSIBLE SHALL ENSURE THAT ALL CONSTRUCTION ACTIVITIES ARE UNDERTAKEN IN A MANNER THAT ENSURE THE BMP'S ARE IMPLEMENTED TO PREVENT AND CONTAIN ON-SITE SILT LADEN RUNOFF THAT EXCEEDS 75/MG/L TSS FROM ENTERING DOWNSTREAM DRAINAGE INFRASTRUCTURE AND AQUATIC SYSTEMS.
- GENERAL CONTRACTOR IS TO OBTAIN AND UPDATED COPY OF THE LAND DEVELOPMENT GUIDELINES PREPARED BY THE BRITISH COLUMBIA MINISTRY OF ENVIRONMENT
- GENERAL CONTRACTOR TO HAVE A COPY OF THE ESC PLAN ONSITE AT ALL TIMES, AND ENSURE SIGNAGE IS IN PLACE.
- THE ESC SUPERVISOR IS RESPONSIBLE TO MONITOR, INSPECT, AND REPORT TO THE DEVELOPER AND CONTRACTOR ON ESC FACILITIES & SITE DISCHARGE PERFORMANCE IN ACCORDANCE WITH THE BMP'S.
- THE DEVELOPER/OWNER/PERSONS RESPONSIBLE MUST COMPLY WITH THE ESC PLAN WITHIN THE SPECIFIED TIMEFRAME, AND COMPLY WITH ALL INSTRUCTIONS ISSUED BY THE ESC SUPERVISOR TO RECTIFY DEFICIENCIES.
- ALL WORKS TO BE INSTALLED BY CONTRACTOR UNDER SUPERVISION AND DIRECTION OF THE ESC SUPERVISOR AND/OR ENGINEER OF RECORD
- CONTRACTOR SHALL UNDERTAKE MEASURES TO LIMIT THE TRANSPORT OF SEDIMENT ONTO MUNICIPAL ROADWAYS.

**MAINTENANCE ALL STAGES (AS APPLICABLE):**

- UPON INSTRUCTION/NOTIFICATION BY THE ENGINEER OF RECORD OR ESC SUPERVISOR; PERSONS RESPONSIBLE ARE REQUIRED TO UNDERTAKE MAINTENANCE ACTIVITIES AS DEEMED SPECIFIED TO MODIFY OR MAINTAIN ESC FACILITIES.
- ALL CATCH BASIN FILTER SOCKS ARE TO BE INSPECTED WEEKLY OR FOLLOWING STORM EVENTS, INLINE FILTERS ARE TO BE REMOVED AND CLEANED AT 40% CAPACITY.
- DEVELOPER OR BUILDER MUST REGULARLY CLEAN PAVED ROAD SURFACES OF ACCUMULATED SEDIMENTS AT THE END OF EACH DAY OR AS REQUIRED. NO SOIL, SAND, OR OTHER MATERIAL WITH HIGH SEDIMENT CONTENT SHALL BE DEPOSITED OR PILED OUTSIDE OF THE PROPERTY BOUNDARIES, PARTICULARLY ON PAVED ROAD SURFACES.
- DUST NUISANCE WILL BE REDUCED BY USE OF WATER SPRAYED ON THE EXPOSED SOURCE OF THE DUST. FREQUENCY OF THE SUPPRESSION WILL BE AS REQUIRED OR AS DIRECTED BY THE ENGINEER OF RECORD.
- SEDIMENT FENCES/BARRIERS TO BE INSPECTED AND REPAIRED PRIOR TO EXPECTED RAIN EVENTS AND FOLLOWING ALL SIGNIFICANT STORM EVENTS OR PERIODS OF EXTENDED RAIN; ACCUMULATED SEDIMENTS GREATER THAN 30% OF THE FENCE CAPACITY OR DEFICIENCIES SHOULD BE DEALT WITH ACCORDINGLY.
- ALL SEDIMENT FROM ESC CONTROL FACILITIES TO BE DISPOSED OF IN A MANNER AS TO NOT COMPOUND OR COMPROMISE THE SEDIMENT LOADING OF OTHER CONTROL MEASURES.
- ROUTINE INSPECTION AND MAINTENANCE OF THE SITE WORKS WILL BE THE RESPONSIBILITY OF THE ESC SUPERVISOR. THE ESC SUPERVISOR IS RESPONSIBLE FOR DAY-TO-DAY MAINTENANCE OF THE ESC WORKS. AT A MINIMUM INSPECT ALL BMP'S WEEKLY TO ENSURE PROPER FUNCTION WITH INSPECTION REPORTS PROVIDED TO THE ENGINEER OF RECORD AND THE MUNICIPALITY FOR REVIEW.
- AN INSPECTION OF THE ESC WORKS IS TO BE CONDUCTED PRIOR TO ANY PREDICTED SIGNIFICANT RAINFALL EVENTS AND MAINTENANCE OR IMPROVEMENTS TO ENSURE THAT THE ESC WORKS ARE ADEQUATE TO ACCOMMODATE THE COMPLETION OF THE ANTICIPATED RAINFALL EVENT. ANOTHER INSPECTION IS TO BE CONDUCTED WITHIN 24 HOURS FOLLOWING THE RAINFALL EVENT TO ENSURE ALL ESC WORKS REMAIN IN OPERATING CONDITION. A REPORT IDENTIFYING THE CONDITION OF THE ESC WORKS AND ANY MAINTENANCE OR IMPROVEMENT UNDERTAKEN BEFORE AND AFTER THE RAINFALL EVENT IS TO BE PROVIDED TO THE ENGINEER OF RECORD AND THE MUNICIPALITY FOR REVIEW.

**CLEARING, ROAD STRIPPING, GRAVELLING AND ROUGH GRADING STAGE:**

- CONTRACTOR TO NOTIFY THE ENGINEER OF RECORD THAT CLEARING AND GRUBBING HAS COMMENCED.
- PERIMETER ESC MEASURES TO BE INSTALLED PRIOR TO INITIATING ONSITE CLEARING AND GRUBBING.
- INSTALL PROTECTIVE MEASURES AT OR WITHIN EXISTING CATCH/LAWN BASINS AS APPLICABLE.
- ANY STOCKPILED MATERIAL TO BE COVERED AND ENCIRCLED BY SEDIMENT FENCE AS SPECIFIED.
- PRIOR TO LEAVING THE SITE, OFF-SITE CLEARING AND GRUBBING CONTRACTOR TO OBTAIN SIGN OFF BY THE ENGINEER OF RECORD.
- THE CONTRACTOR WILL BE RESPONSIBLE TO ENSURE THAT THE EXISTING ROADS ARE REVIEWED DAILY AND SWEEPED REGULARLY. FLUSHING OF ROADWAYS IS PROHIBITED.

**UTILITY AND ROADWORKS INSTALLATION STAGE:**

- CONTRACTOR TO INSTALL TEMPORARY ESC MEASURES AS SPECIFIED IN THE ESC PLAN AND AS DIRECTED BY ENGINEER OF RECORD.
- CONTRACTOR TO ENSURE THAT ESC MEASURES ARE WELL MAINTAINED, CLEARED, REPAIRED, OR REPLACED AS REQUIRED.
- CATCH/LAWN BASINS COMPLETE WITH ESC MEASURES ARE TO BE INSTALLED BY THE CONTRACTOR AT THE FIRST OPPORTUNITY.
- DURING CONSTRUCTION THE CONTRACTOR MAY NEED TO EMPLOY ADDITIONAL MEASURES TO PREVENT RELEASE OF SILTY AND SEDIMENT LADEN WATER TO EXISTING STORM SYSTEM. THESE MEASURES MAY INCLUDE, BUT NOT LIMITED TO, INTERCEPTOR DITCHES, SEDIMENT FENCES, PORTABLE TREATMENT FACILITIES, FLOCCULANTS, ETC. ADDITIONAL MEASURE MAY BE REQUIRED UNDER DIRECTION OF THE ENGINEER OF RECORD.
- ANY IRREGULARITIES SHALL BE REPORTED TO THE ENGINEER OF RECORD IMMEDIATELY.
- CONTRACTOR TO CO-ORDINATE WITH THE ENGINEER OF RECORD ON THE ELIMINATION OF TEMPORARY ESC FACILITIES IF THEY ARE NO LONGER REQUIRED OR TO FACILITATE SITE OPERATIONS.
- ALL SEDIMENT CONTROL FACILITIES SHOWN MUST REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION AND ARE TO BE REMOVED ONLY AT THE DIRECTION OF THE ENGINEER OF RECORD.

**FINAL STAGE THROUGH TO COMPLETION:**

- GENERAL CONTRACTOR TO ENSURE THAT STORMWATER CONVEYANCE CHANNELS AND DISCHARGE POINTS TO ADJACENT STREAMS, DITCHES, OR ENTRY POINTS TO PIPED NETWORKS ARE ADEQUATELY PROTECTED.
- CONTRACTOR TO ENSURE THAT ESC FACILITIES SPECIFIED IN THE ESC PLAN OR ANY ADDENDUMS ARE IMPLEMENTED ACCORDINGLY.
- CONTRACTOR TO CO-ORDINATE WITH THE ENGINEER OF RECORD ON THE ELIMINATION OF TEMPORARY ESC FACILITIES IF THEY ARE NO LONGER REQUIRED OR TO FACILITATE SITE OPERATIONS.
- ALL SEDIMENT CONTROL FACILITIES SHOWN MUST REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION AND ARE TO BE REMOVED ONLY AT THE DIRECTION OF THE ENGINEER OF RECORD.

**POWER, COMMUNICATIONS AND GAS:**

- THE CONTRACTOR SHALL CONTACT BC ONE CALL A MINIMUM OF THREE WORKING DAYS PRIOR TO START OF CONSTRUCTION.
- THE CONTRACTOR SHALL CONSTRUCT UNDERGROUND BC HYDRO, TELUS, SHAW CABLE AND FORTIS BC IN ACCORDANCE WITH THE APPLICABLE UTILITY COMPANY'S CURRENT SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY OWNERS REQUIRED PRIOR TO THE START OF CONSTRUCTION TO ARRANGE INSPECTION AND APPROVALS.
- THE CONTRACTOR SHALL CONTACT BC HYDRO AND TELUS TO INSTALL RISERS ON EXISTING JUNCTION BOXES TO BRING LID ELEVATIONS FLUSH TO GRADE.
- CONNECTION TO, OR ALTERATION OF, EXISTING MUNICIPALITY OWNED UTILITIES REQUIRES AUTHORIZATION BY THE MUNICIPALITY'S REPRESENTATIVE.
- ALL LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND SHALL BE CONFIRMED BY THE USE OF A PIPE LOCATOR AND MANUAL DIGGING. ALL OR ANY STRUCTURES NOT NECESSARILY SHOWN.
- ALL DISTURBED STRUCTURES, VEGETATION, AND SURFACE FEATURES (ROADS, CURBS, SIDEWALKS, ETC) SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER AS PER SATISFACTION OF ENGINEER OF RECORD, CITY OF COURTENAY, AND PROPERTY OWNER.
- THE CONTRACTOR SHALL NOTIFY ALL RESIDENCES AND/OR BUSINESSES AFFECTED BY THE CONSTRUCTION FIVE DAYS PRIOR TO STARTING THE CONSTRUCTION. THE CONTRACTOR SHALL ALSO EACH DAY INDIVIDUALLY NOTIFY EACH RESIDENCE OR BUSINESS WHICH WILL BE AFFECTED BY THE NEXT DAYS' WORK.
- THE DRAWINGS MAY NOT SHOW ALL INDIVIDUAL UNDERGROUND HOME SERVICE CONNECTIONS. THE CONTRACTOR SHALL EXPOSE ALL EXISTING UNDERGROUND FACILITIES BY HAND DIGGING BEFORE USING MECHANICAL EXCAVATING EQUIPMENT.



**NOT FOR CONSTRUCTION**

**NOTICE TO CONTRACTOR**

IT IS THE RESPONSIBILITY OF THE CONTRACTOR'S SURVEYOR TO VERIFY THAT ALL LEGAL SURVEY DIMENSIONS SHOWN ON THE ENGINEERS DRAWINGS AGREE WITH THOSE ON THE REGISTERED LEGAL SURVEY PLAN. SHOULD THERE BE ANY DISCREPANCIES, THEN IMMEDIATELY NOTIFY THE ENGINEER OF RECORD

LEGAL DESCRIPTION: LOT 1 & 2, SECTION 14, COMOX DISTRICT, PLAN VIP60575 AND LOT B, SECTION 14, COMOX DISTRICT, PLAN VIP83482					
ELEVATIONS ARE AS PER GEODETIC DATUM CGVD28, DERIVED FROM DIFFERENTIAL GNSS OBSERVATIONS. SURVEY PLAN BY BAZETT LAND SURVEYORS LTD. FILE: C1641					
REV. NO.	DESCRIPTION	DR	CH	DATE	APP
1	ISSUED FOR SERVICING MODELS	JDP	SAL	03-JUN-20	SAL
2					
3					
4					
5					

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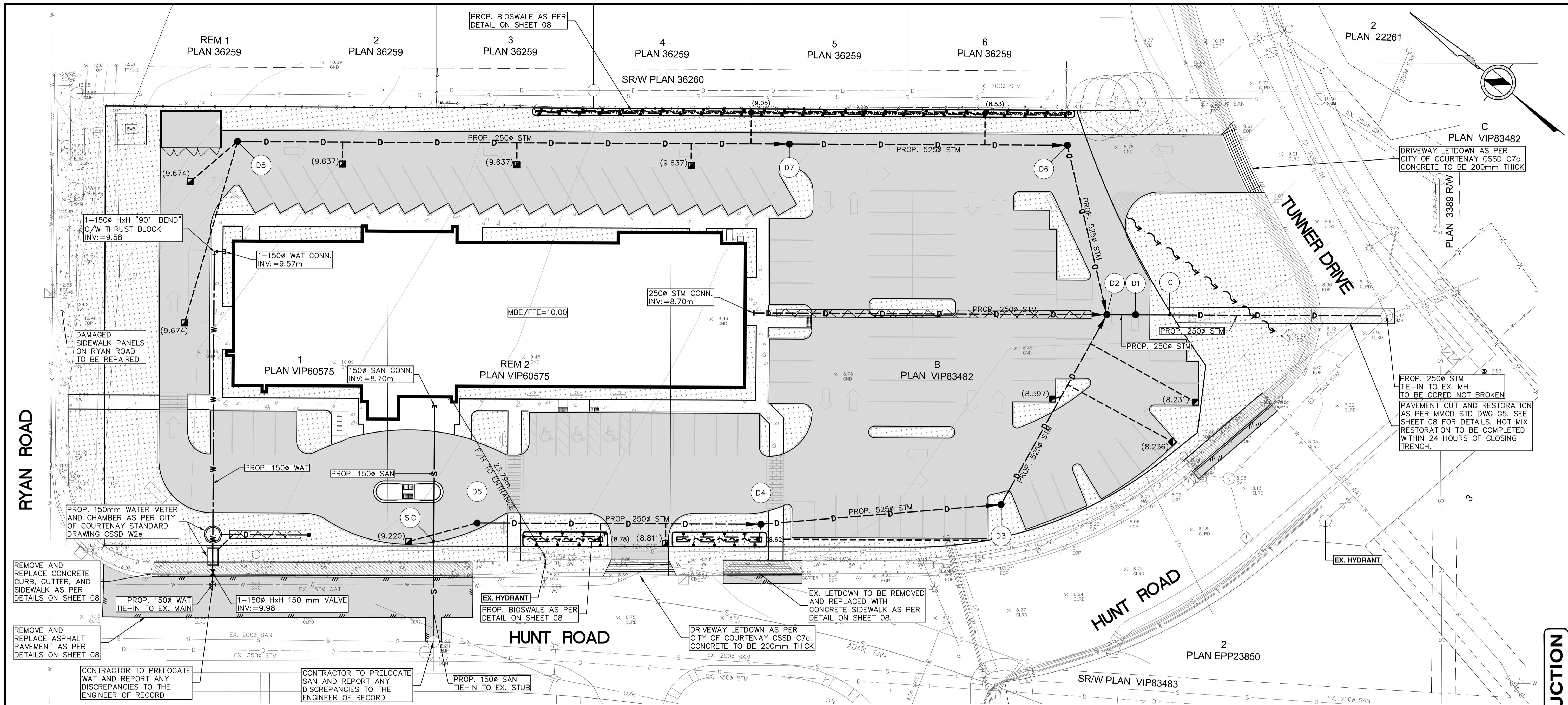
**CLIENT:** SARGENT CONSTRUCTION LTD.  
422 KINCAID STREET, VICTORIA, BC V8X 4K7  
Tel: (250) 415-8305

**PROJECT:** HOLIDAY INN EXPRESS  
310, 320, AND 336 HUNT ROAD, COURTENAY, BC V9N 5N2

**DRAFT**

The location of existing underground utilities are shown in an approximate way only & have not been independently verified by the owner or its representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damages which might be occasioned by the contractor's failure to exactly locate and preserve any and all underground utilities.

<b>GENERAL NOTES</b>		DESIGN: ____ CHECK: ____ DRAWN: ____ APPR: ____
PROJECT NO. <b>3360-20-2002</b>		A & M FILE: <b>20-8009</b>
DRAWING NO. <b>20-8009-01</b>		DRAWING DATE: <b>APRIL, 2020</b>
SCALE: <b>HORIZ. 1:500 VERT. N/A</b>	A & M DRAWING NO. <b>20-8009-01</b>	SHEET NO. <b>01 OF 10</b> REV. <b>2</b>



- KEY PLAN NOTES:**
- CONTRACTOR TO VERIFY THE LOCATION AND INVERTS OF EXISTING WATER, STORM AND SANITARY CONNECTIONS TO THE SITE. REPORT TO THE ENGINEER OF RECORD ANY DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
  - ALL BUILDINGS AND ROADS ARE TO BE LOCATED BY CO-ORDINATES AS CALCULATED BY A B.C. LAND SURVEYOR.
  - THE CONTRACTOR MUST CONTACT THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION TO SCHEDULE AN ON-SITE PRE-CONSTRUCTION MEETING DURING WHICH CONSTRUCTION METHODS, TIMING, AND INSPECTION WILL BE DISCUSSED.
  - ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE 2018.
  - CONSULT FORTIS BC AND MECHANICAL DRAWINGS FOR GAS DISTRIBUTION WITHIN THIS SITE.
  - CONSULT BC HYDRO AND ELECTRICAL DRAWINGS FOR ELECTRICITY DISTRIBUTION WITHIN THIS SITE.

LEGEND	
STORM SEWER	—D— BLOW OFF
SANITARY SEWER	—S— AIR VALVE
WATERMAIN (DOMESTIC)	—W— CATCHBASIN c/w TRAPPING HOOD, UNLESS OTHERWISE NOTED
WATERMAIN (FIRELINE)	—F— 300# LAWN BASIN c/w TRAPPING HOOD, UNLESS OTHERWISE NOTED
STORM SERVICE CONNECTION	—D— RIM ELEVATION (99.99)
SANITARY SERVICE CONNECTION	—S— RETAINING WALL
WATER SERVICE CONNECTION	—W— ASPHALT PAVEMENT
SODDED SWALE	—S— CONCRETE
MANHOLE	● LANDSCAPING — SEE LANDSCAPE ARCHITECT DRAWINGS FOR DETAILS
CLEANOUT	○ PERMEABLE PAVERS — SEE LANDSCAPE DRAWINGS FOR DETAILS
FIRE HYDRANT	◆

**NOTICE TO CONTRACTOR**

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LEGAL DESCRIPTION: LOT 1 & 2, SECTION 14, COMOX DISTRICT, PLAN VIP60575 AND LOT B, SECTION 14, COMOX DISTRICT, PLAN VIP83482					
ELEVATIONS ARE AS PER GEODETIC DATUM CGVD28, DERIVED FROM DIFFERENTIAL GNSS OBSERVATIONS. SURVEY PLAN BY BAZETT LAND SURVEYORS LTD. FILE: C1641					
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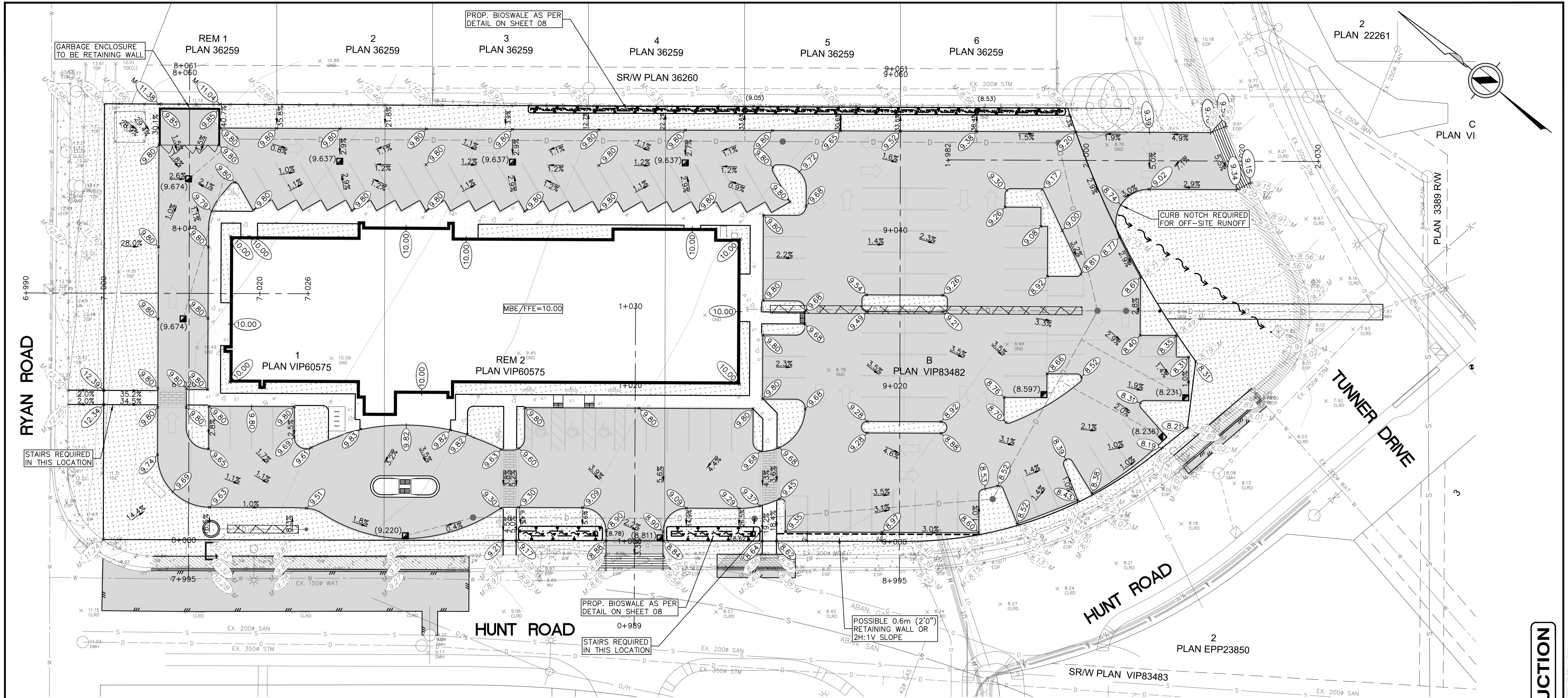
PROJECT: **HOLIDAY INN EXPRESS**  
310, 320, AND 336 HUNT ROAD, COURTENAY, BC V9N 5N2

**DRAFT**

The location of existing underground utilities are shown in an approximate way only & have not been independently verified by the owner or its representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damages which might be occasioned by the contractor's failure to exactly locate and preserve any and all underground utilities.

TITLE: <b>KEY PLAN</b>	DESIGN: _____ CHECK: _____
PROJECT NO. <b>3360-20-2002</b>	DRAWN: _____ APPR: _____
DRAWING NO. <b>20-8009-02</b>	A & M FILE: <b>20-8009</b>
SCALE: <b>HORIZ. 1:250 VERT. N/A</b>	DRAWING DATE: <b>APRIL, 2020</b>
A & M DRAWING NO. <b>20-8009-02</b>	SHEET NO. <b>02 OF 10</b>
	REV. <b>2</b>

**NOT FOR CONSTRUCTION**



**GRADING NOTES:**

- ALL DIMENSIONS AND ELEVATIONS ARE IN METERS UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS ARE TO GEODETIC DATUM, UNLESS OTHERWISE NOTED.
- ALL BUILDINGS AND ROADS ARE TO BE LOCATED BY CO-ORDINATES AS CALCULATED BY A B.C. LAND SURVEYOR.
- THE CONTRACTOR MUST CONTACT THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION TO SCHEDULE AN ON-SITE PRE-CONSTRUCTION MEETING DURING WHICH CONSTRUCTION METHODS, TIMING, AND INSPECTION WILL BE DISCUSSED.
- ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH BRITISH COLUMBIA BUILDING CODE 2018, BRITISH COLUMBIA PLUMBING CODE 2018, AND IS TO BE ACCEPTABLE TO THE MUNICIPAL BUILDING AND PERMITS DEPARTMENT.
- ALL EXCAVATION, FILL PLACEMENT AND COMPACTION TO BE IN ACCORDANCE WITH GEOTECHNICAL CONSULTANTS REPORT.
- CONTRACTOR TO EMPLOY GEOTECHNICAL CONSULTANT FOR PERFORMANCE OF IN PLACE TESTING DURING THE PREPARATION OF THE SUBGRADE AND CONSTRUCTION OF THE ROAD STRUCTURE TO VERIFY THE ADEQUACY OF PROPOSED ROAD STRUCTURE AND SUBGRADE.
- CHANGES TO GRADE SHALL BE FORMED BY SMOOTH CURVES.
- ALL BUILDINGS EXIT TO GRADE FROM THE LOWER FLOOR.

LEGEND	
EXISTING ELEVATION	+99.99
PROPOSED ELEVATION	+99.99
PROPOSED ELEVATION AT TOP OF RETAINING WALL	+99.99 <sup>TW</sup>
PROPOSED ELEVATION AT BOTTOM OF RETAINING WALL	+99.99 <sup>BW</sup>
MEET EXISTING ELEVATION	+99.99 <sup>M</sup>
GRADE	9.9%
EXISTING GROUND CONTOUR	99.5
MBE = MIN. BUILDING ELEVATION	MBE=95.99m
FFE = FIRST FLOOR ELEVATION	FFE=99.99m
BUILDING FOUNDATION STEP	0.3m STEP
SODDED SWALE	~ ~ ~
CATCH BASIN	■
LAWN BASIN	●
RIM ELEVATION	(99.99)
RETAINING WALL	— — — —
ASPHALT PAVEMENT	▒
CONCRETE	▒
LANDSCAPING - SEE LANDSCAPE ARCHITECT DRAWINGS FOR DETAILS	▒
PERMEABLE PAVERS - SEE LANDSCAPE DRAWINGS FOR DETAILS	▒
CURB & GUTTER	—
EDGE OF ASPHALT PAVEMENT	—
CRITICAL ROOT ZONE	○
TREE TO BE RETAINED	○

**NOT FOR CONSTRUCTION**

**NOTICE TO CONTRACTOR**

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LEGAL DESCRIPTION: LOT 1 & 2, SECTION 14, COMOX DISTRICT, PLAN VIP60575 AND LOT B, SECTION 14, COMOX DISTRICT, PLAN VIP83482					
ELEVATIONS ARE AS PER GEODETIC DATUM CGVD28, DERIVED FROM DIFFERENTIAL GNSS OBSERVATIONS. SURVEY PLAN BY BAZETT LAND SURVEYORS LTD. FILE: C1641					
REV. NO.	DESCRIPTION	DR	CH	DATE	APP
1	ISSUED FOR SERVICING MODELS	JDP	SAL	03-JUN-20	SAL
2					
3					
4					
5					

**APLIN MARTIN**  
ENGINEERING ARCHITECTURE PLANNING SURVEYING

Aplin & Martin Consultants Ltd.  
#104 - 6596 Applecross Road, Nanaimo, BC, Canada V9V 0A4  
Tel: (778) 841-0484, Fax: (604) 597-9061, Email: general@aplinmartin.com

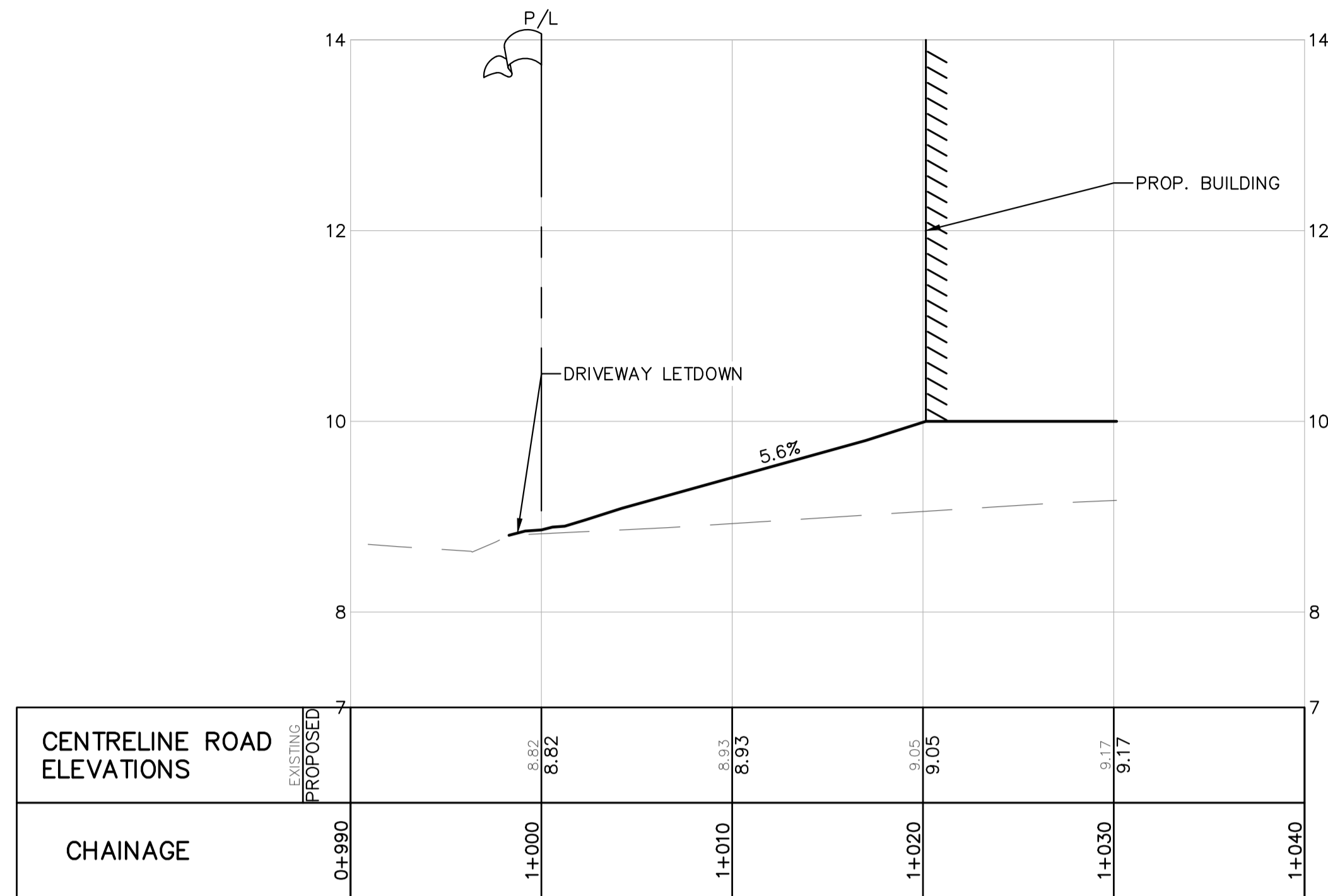
**CLIENT:** SARGENT CONSTRUCTION LTD.  
422 KINCAID STREET, VICTORIA, BC V8X 4K7  
Tel: (250) 415-8305

**PROJECT:** HOLIDAY INN EXPRESS  
310, 320, AND 336 HUNT ROAD, COURTENAY, BC V9N 5N2

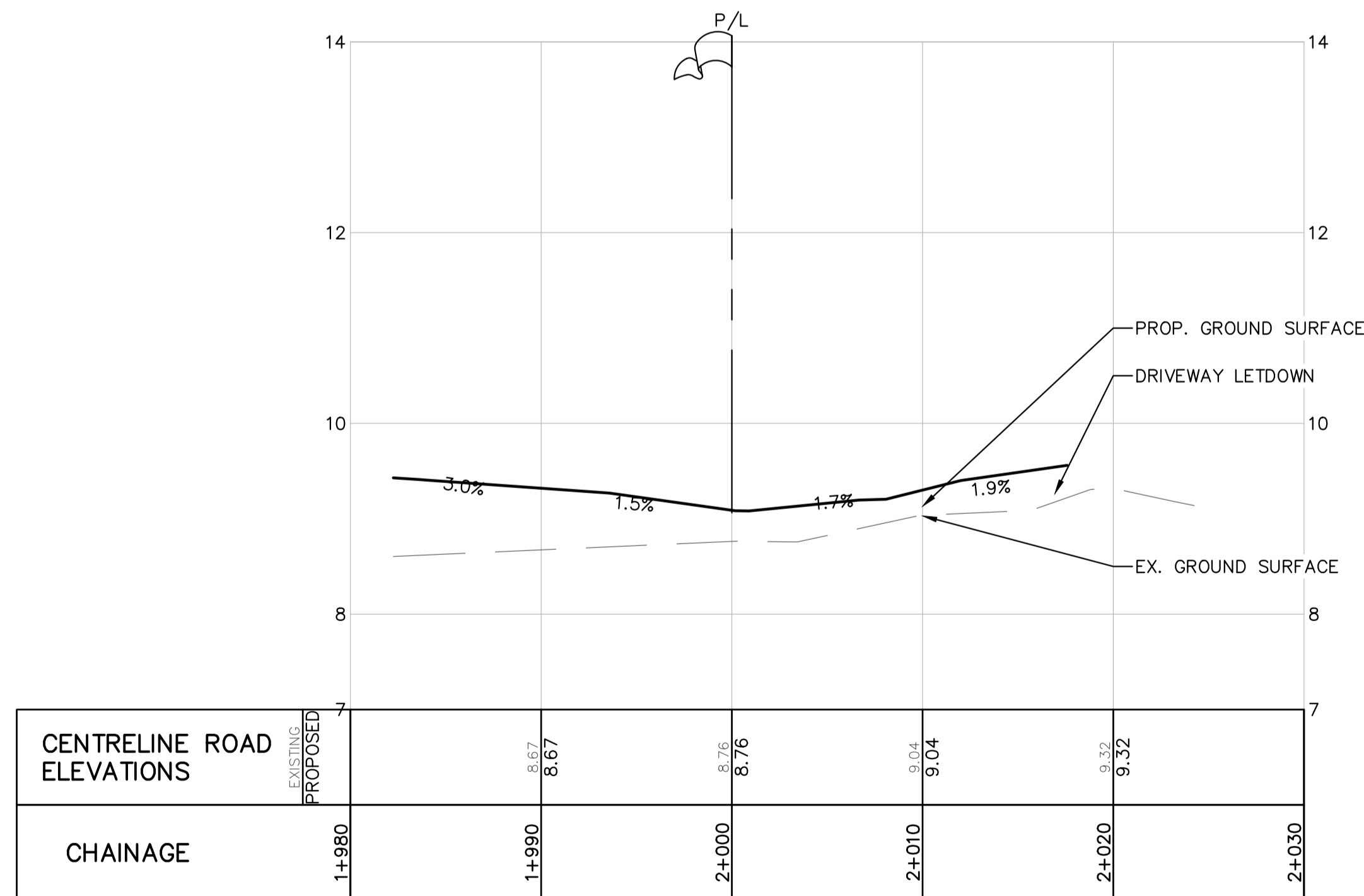
DRAFT

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TITLE: <b>GRADING PLAN</b>		DESIGN: _____ CHECK: _____
PROJECT NO. <b>3360-20-2002</b>		DRAWN: _____ APPR: _____
DRAWING NO. <b>20-8009-03</b>		A & M FILE: <b>20-8009</b>
SCALE: <b>HORIZ. 1:250</b>	DRAWING DATE: <b>APRIL, 2020</b>	
VERT. <b>N/A</b>	SHEET NO. <b>03 OF 10</b>	
A & M DRAWING NO. <b>20-8009-03</b>	REV. <b>2</b>	



**HUNT ROAD DRIVEWAY PROFILE**  
H: 1:250  
V: 1:50



**TUNNER DRIVE DRIVEWAY PROFILE**  
H: 1:250  
V: 1:50

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**NOT FOR CONSTRUCTION**

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ELEVATIONS ARE AS PER GEODETIC DATUM CGVD28, DERIVED FROM DIFFERENTIAL GNSS OBSERVATIONS. SURVEY PLAN BY BAZETT LAND SURVEYORS LTD. FILE: C1641

REV. NO.	DESCRIPTION	DR	CH	DATE	APP
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2					
3					
4					
5					

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CLIENT: **SARGENT CONSTRUCTION LTD.**  
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PROJECT: **HOLIDAY INN EXPRESS**  
310, 320, AND 336 HUNT ROAD, COURTENAY, BC V9N 5N2

DRAFT

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TITLE: **DRIVEWAY PROFILES**

DESIGN: \_\_\_\_\_ CHECK: \_\_\_\_\_  
DRAWN: \_\_\_\_\_ APPR: \_\_\_\_\_

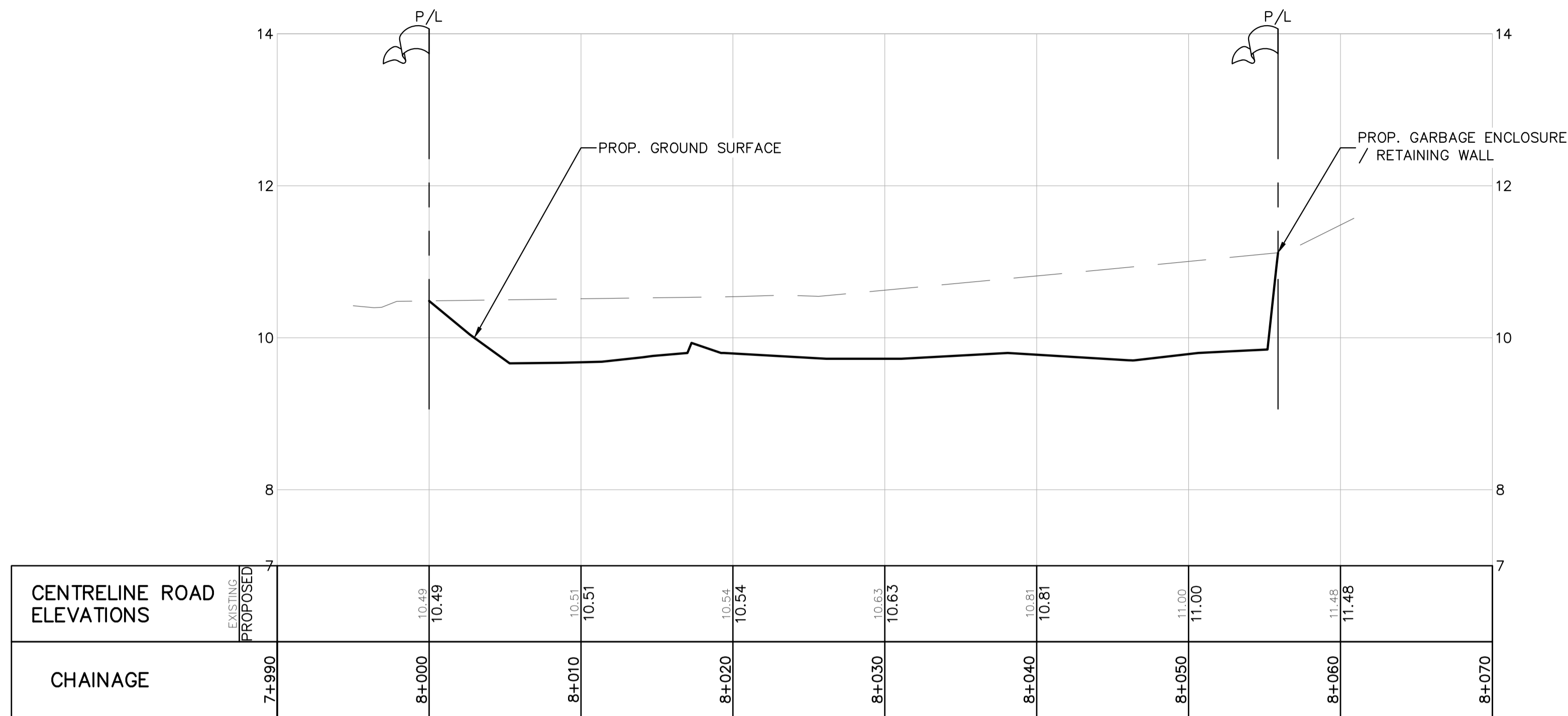
A & M FILE: **20-8009**

PROJECT NO. **3360-20-2002** SCALE: HORZ. 1:250 VERT. N/A

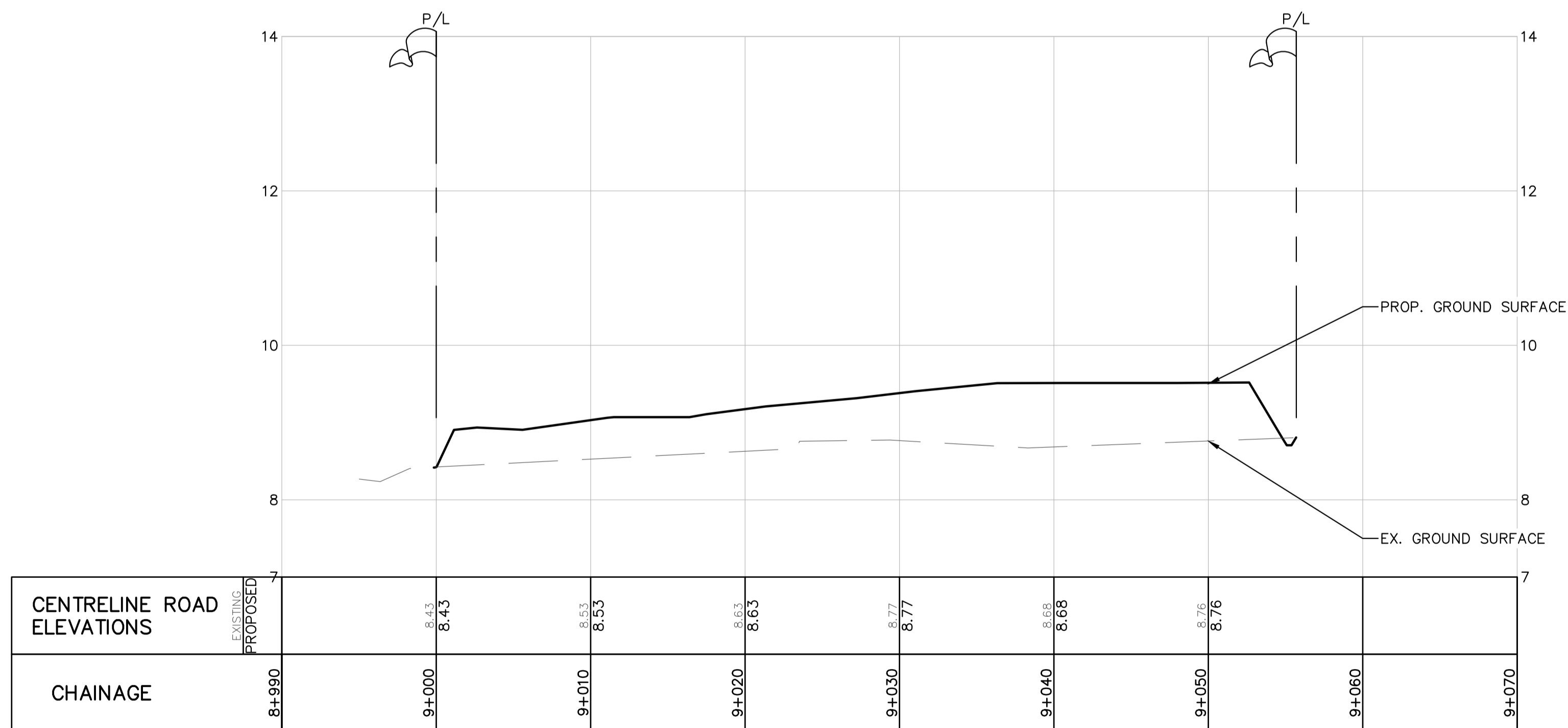
DRAWING NO. **20-8009-04** A & M DRAWING NO.

DRAWING DATE: **APRIL, 2020**

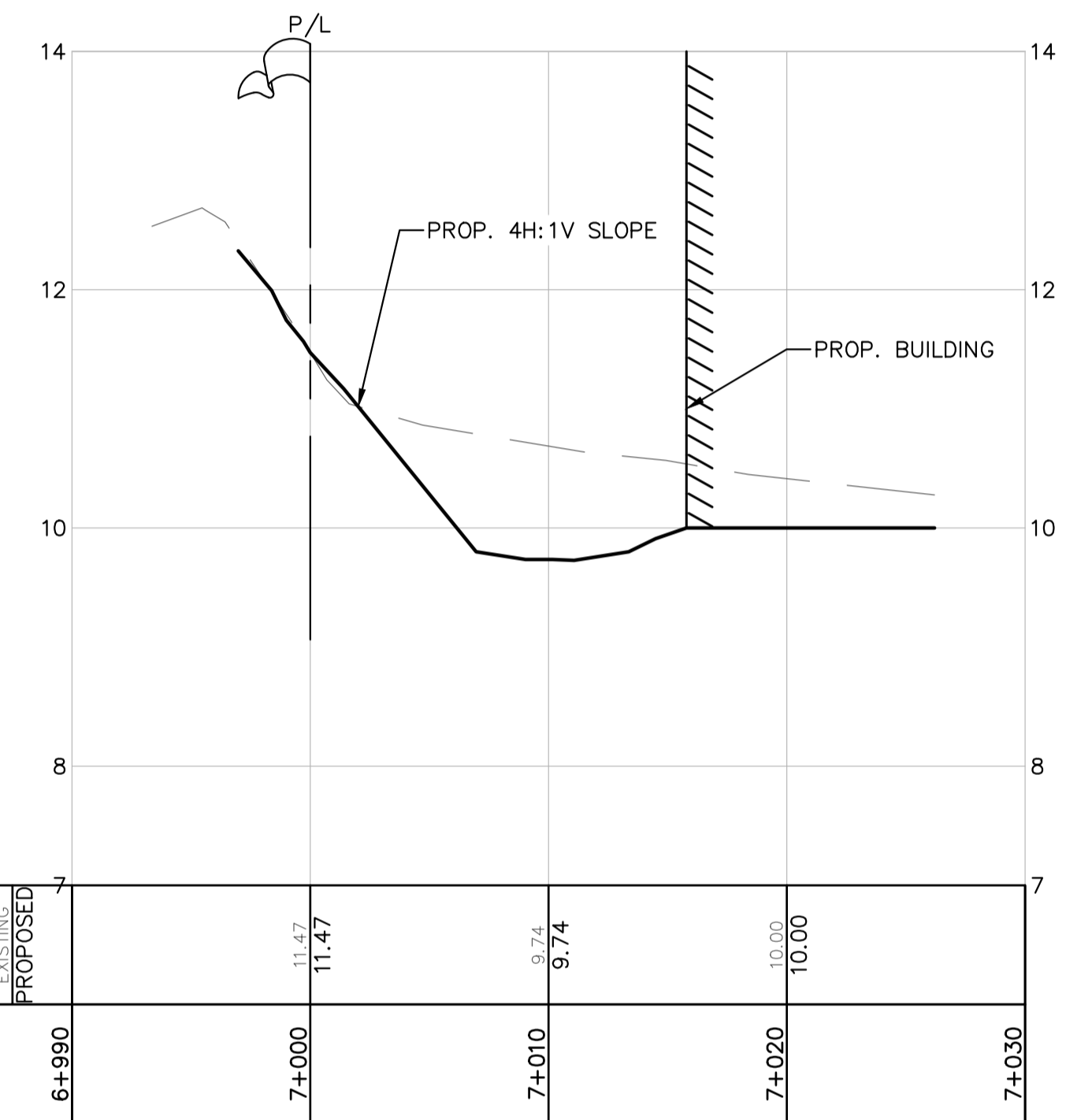
SHEET NO. **04 OF 10** REV. **2**



**NORTH SECTION PROFILE**  
H: 1:250  
V: 1:50



**SOUTH SECTION PROFILE**  
H: 1:250  
V: 1:50



**RYAN ROAD SECTION PROFILE**  
H: 1:250  
V: 1:50

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REV. NO.	DESCRIPTION	DR	CH	DATE	APP
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Tel: (250) 415-8305

PROJECT: **HOLIDAY INN EXPRESS**  
310, 320, AND 336 HUNT ROAD, COURTENAY, BC V9N 5N2

**DRAFT**

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TITLE: **SITE SECTION PROFILES**

PROJECT NO. **3360-20-2002**

DRAWING NO. **20-8009-05**

SCALE: HORZ. 1:250  
VERT. N/A

A & M DRAWING NO. **20-8009-05**

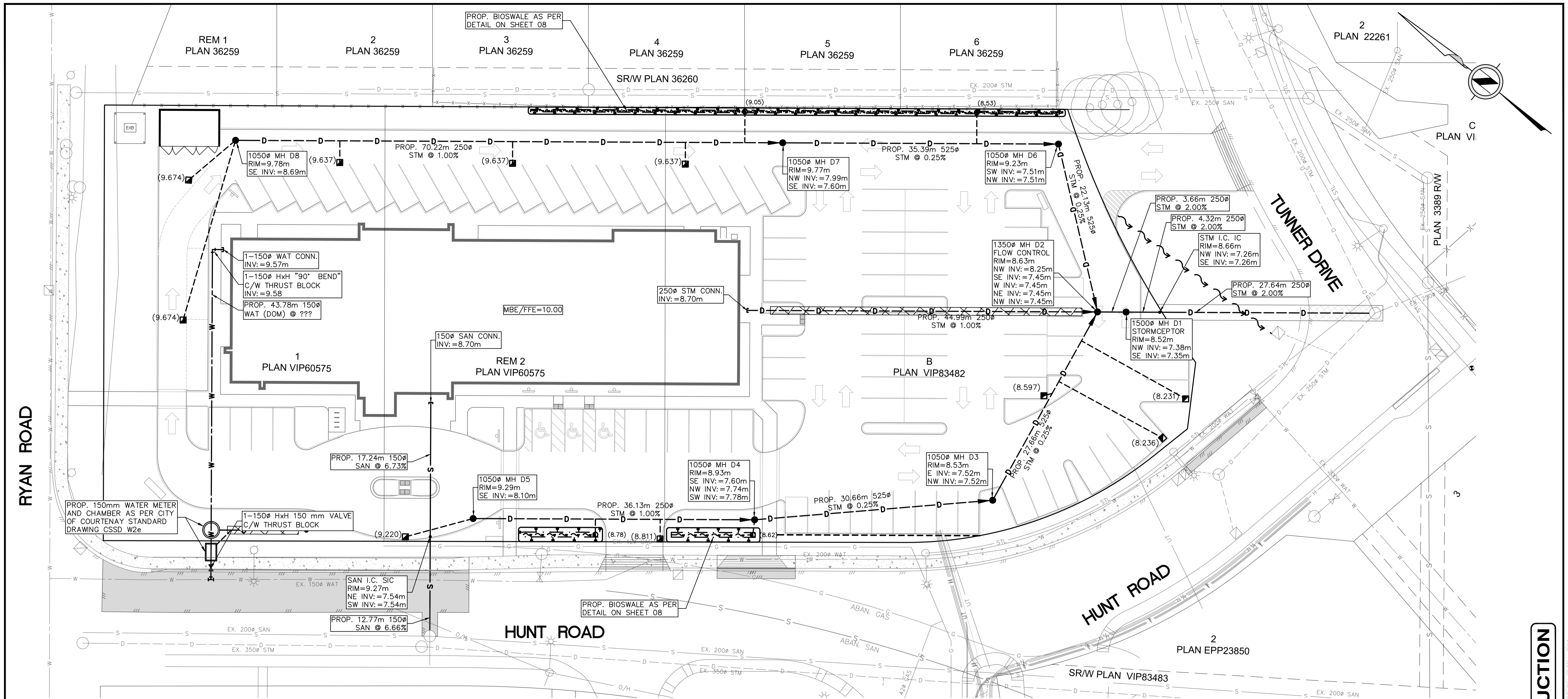
DESIGN: \_\_\_\_\_ CHECK: \_\_\_\_\_  
DRAWN: \_\_\_\_\_ APPR: \_\_\_\_\_

A & M FILE: **20-8009**

DRAWING DATE: **APRIL, 2020**

SHEET NO. **05 OF 10** REV. **2**

**NOT FOR CONSTRUCTION**



- SERVICING NOTES:**
- CONTRACTOR TO VERIFY THE LOCATION AND INVERTS OF EXISTING WATER, STORM AND SANITARY CONNECTIONS TO THE SITE. REPORT TO THE ENGINEER OF RECORD ANY DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
  - ALL BUILDINGS AND ROADS ARE TO BE LOCATED BY CO-ORDINATES AS CALCULATED BY A B.C. LAND SURVEYOR.
  - THE CONTRACTOR MUST CONTACT THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION TO SCHEDULE AN ON-SITE PRE-CONSTRUCTION MEETING DURING WHICH CONSTRUCTION METHODS, TIMING, AND INSPECTION WILL BE DISCUSSED.
  - ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE 2018.
  - CONSULT FORTIS BC AND MECHANICAL DRAWINGS FOR GAS DISTRIBUTION WITHIN THIS SITE.
  - CONSULT BC HYDRO AND ELECTRICAL DRAWINGS FOR ELECTRICITY DISTRIBUTION WITHIN THIS SITE.

LEGEND	
STORM SEWER	--- D --- BLOW OFF
SANITARY SEWER	--- S --- AIR VALVE
WATERMAIN (DOMESTIC)	--- W --- CATCHBASIN c/w TRAPPING HOOD, UNLESS OTHERWISE NOTED
WATERMAIN (FIRELINE)	--- F --- 300Ø LAWN BASIN c/w TRAPPING HOOD, UNLESS OTHERWISE NOTED
STORM SERVICE CONNECTION	--- S --- RIM ELEVATION (99.99)
SANITARY SERVICE CONNECTION	--- S --- RETAINING WALL
WATER SERVICE CONNECTION	--- W --- ASPHALT PAVEMENT
SODDED SWALE	--- S --- CONCRETE
MANHOLE	● LANDSCAPING - SEE LANDSCAPE ARCHITECT DRAWINGS FOR DETAILS
CLEANOUT	○ PERMEABLE PAVERS - SEE LANDSCAPE DRAWINGS FOR DETAILS
FIRE HYDRANT	◆

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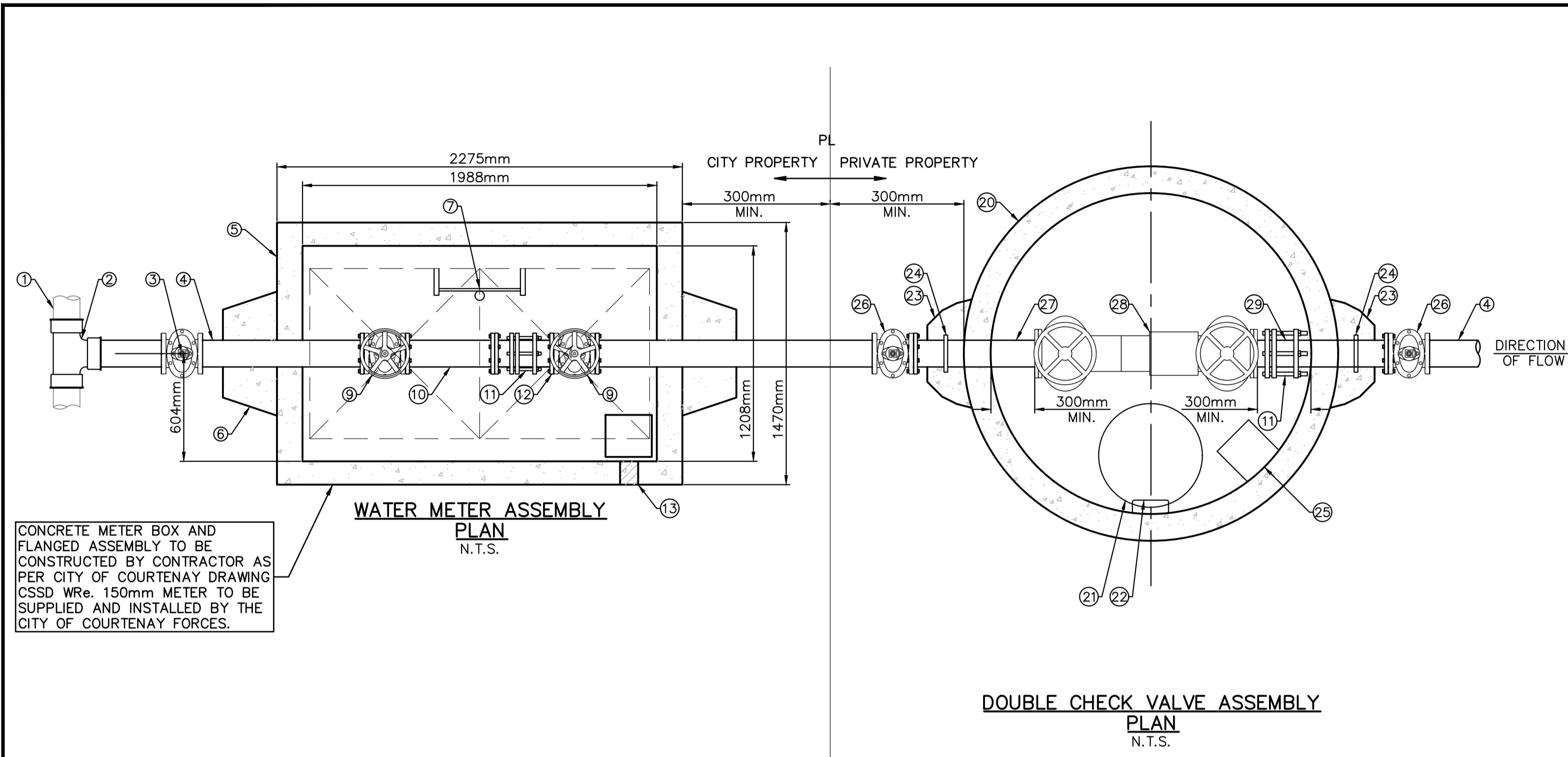
PROJECT: **HOLIDAY INN EXPRESS**  
310, 320, AND 336 HUNT ROAD, COURTENAY, BC V9N 5N2

**DRAFT**

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TITLE: <b>SERVICING PLAN</b>	DESIGN: _____ CHECK: _____
PROJECT NO. <b>3360-20-2002</b>	DRAWN: _____ APPR: _____
DRAWING NO. <b>20-8009-06</b>	A & M FILE: <b>20-8009</b>
SCALE: <b>HORIZ. 1:250 VERT. N/A</b>	DRAWING DATE: <b>APRIL, 2020</b>
A & M DRAWING NO. <b>20-8009-06</b>	SHEET NO. <b>06 OF 10</b>
	REV. <b>2</b>

**NOT FOR CONSTRUCTION**



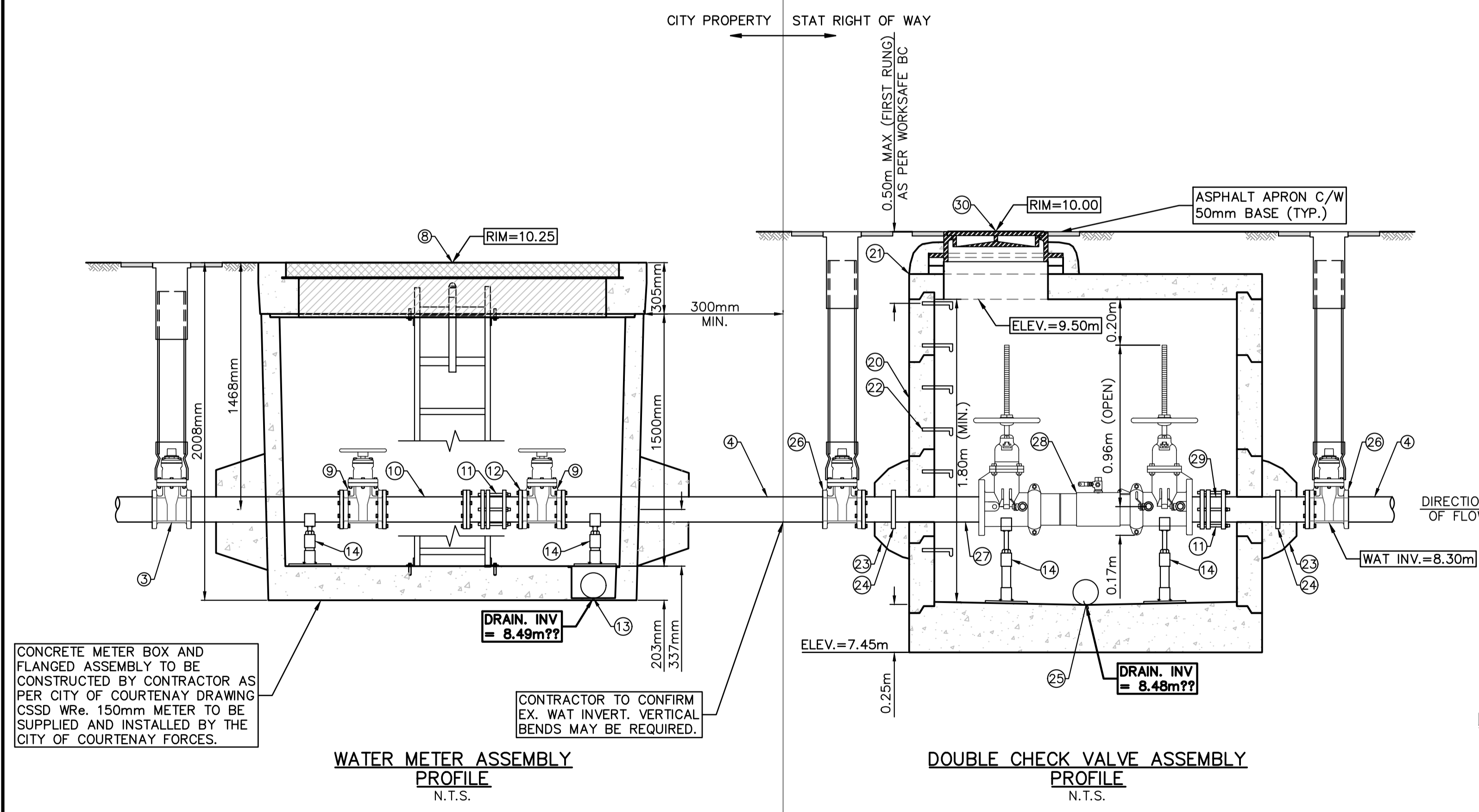
CONCRETE METER BOX AND FLANGED ASSEMBLY TO BE CONSTRUCTED BY CONTRACTOR AS PER CITY OF COURTENAY DRAWING CSSD WRe. 150mm METER TO BE SUPPLIED AND INSTALLED BY THE CITY OF COURTENAY FORCES.

**WATER METER ASSEMBLY PLAN**  
N.T.S.

**DOUBLE CHECK VALVE ASSEMBLY PLAN**  
N.T.S.

**NOTES:**

- ONLY PRODUCTS APPROVED BY THE DIRECTOR OF ENGINEERING AND PUBLIC WORKS AND LISTED IN THE CITY OF COURTENAY APPROVED PRODUCTS LIST ACCEPTED FOR INSTALLATION. ONLY UL LISTED AND FM APPROVED PRODUCTS APPROVED FOR FIRE LINE SERVICE.
- METER AND DOUBLE CHECK ASSEMBLIES SUPPORTED BY STANDON MODEL S92 STEEL PIPE SUPPORTS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- CONCRETE THRUST BLOCKING AND JOINT RESTRAINTS INSTALLED AS NOTED IN ACCORDANCE WITH THE MMCD DESIGN STANDARDS 2.19. SEE STD DWG W1 FOR CONCRETE THRUST BLOCKS.
- EXTERIOR WALLS OF CHAMBER ARE WATERTIGHT. INSIDE WALLS ARE PAINTED WITH TWO COATS OF WHITE SOLUBLE CEMENT PAINT MANUFACTURED FOR THE PURPOSE OF SEALING CONCRETE.
- METER SET 0.6m ABOVE FLOOR LEVEL AND SUPPORTED WITH GALVANIZED STEEL PIPE SUPPORTS.
- 1.8m CLEAR INTERIOR HEADROOM (FLOOR TO CEILING OF CHAMBER)



CONCRETE METER BOX AND FLANGED ASSEMBLY TO BE CONSTRUCTED BY CONTRACTOR AS PER CITY OF COURTENAY DRAWING CSSD WRe. 150mm METER TO BE SUPPLIED AND INSTALLED BY THE CITY OF COURTENAY FORCES.

**WATER METER ASSEMBLY PROFILE**  
N.T.S.

**DOUBLE CHECK VALVE ASSEMBLY PROFILE**  
N.T.S.

- EXISTING 150mmØ PVC WATER MAIN
- 150mmØ HxHxH TEE
- 150mmØ HxH GATE VALVE WITH SQUARE NUT TURNING
- 150mmØ PVC DR18 WATER SERVICE
- 2121.5 PRE-CAST CONCRETE CHAMBER
- CONCRETE THRUST BLOCK BY OTHERS
- LADDER IN ACCORDANCE WITH WORKSAFE & ASTM C478 19mm ALUMINUM ALLOY CONFORMING TO CSA S157 HATCH COVER H20 OCCASIONAL LOAD RATED (STATIC LOADING - NOT FOR DYNAMIC TRAFFIC). COVER TO BE DUAL DOOR LOCKABLE ALUMINUM LID C/W SPRING ASSISTED HATCH AND LOCK OPEN ARMS. HATCHED TO BE THROUGH FRAME WITH DRAIN DIRECTED TO SUMP.
- 150mmØ FxF GATE VALVE WITH HAND WHEEL TURNING
- 150mmØ FxF PVC SPOOL (457.2mm MINIMUM LENGTH)
- 150mmØ FxF COUPLING ADAPTER
- DISMANTLING JOINT
- 100mmØ DR28 PVC STM DRAIN
- ADJUSTABLE GALVANIZED PIPE STAND
- 1800mmØ STANDARD PRECAST MANHOLE AS PER MMCD STANDARD DRAWING S1 WITH 250mm THICK CONCRETE BASE, TROWEL FINISHED.
- 1800mmØ CONCRETE LID (H20) DESIGNED TO SUPPORT HIGHWAY LOADING TO SUIT 3 PIECE MANHOLE FRAME & COVER
- 20mmØ GALVANIZED STEEL LADDER RUNGS @ 300mm O/C CAST IN WALL
- MASS CONCRETE THRUST BLOCK
- 150mmØ EPOXY COATED STEEL THRUST RING
- 100mmØ DR28 PVC STM DRAIN
- 150mmØ HxF GATE VALVE WITH HAND WHEEL TURNING
- 150mmØ FxF EPOXY COATED STEEL SPOOL PIECE C/W THRUST RING (750mm MINIMUM LENGTH)
- 150mmØ (6") WATTS 757DCVA OSY DOUBLE CHECK VALVE ASSEMBLY
- 150mmØ FxF EPOXY COATED STEEL SPOOL PIECE C/W THRUST RING (950mm MINIMUM LENGTH)
- HEAVY DUTY, UTILITY CHAMBER MANHOLE FRAME AND COVER AS SPECIFIED ON THE CONSTRUCTION DRAWINGS. WORDING ON COVER TO READ "CITY OF COURTENAY WATER"

**DETAILS OF FIRE/DOMESTIC WATER METER SYSTEM & DOUBLE CHECK VALVE ASSEMBLY**

**NOT FOR CONSTRUCTION**

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REV. NO.	DESCRIPTION	DR	CH	DATE
1	ISSUED FOR SERVICING MODELS	JDP	SAL	03-JUN-20
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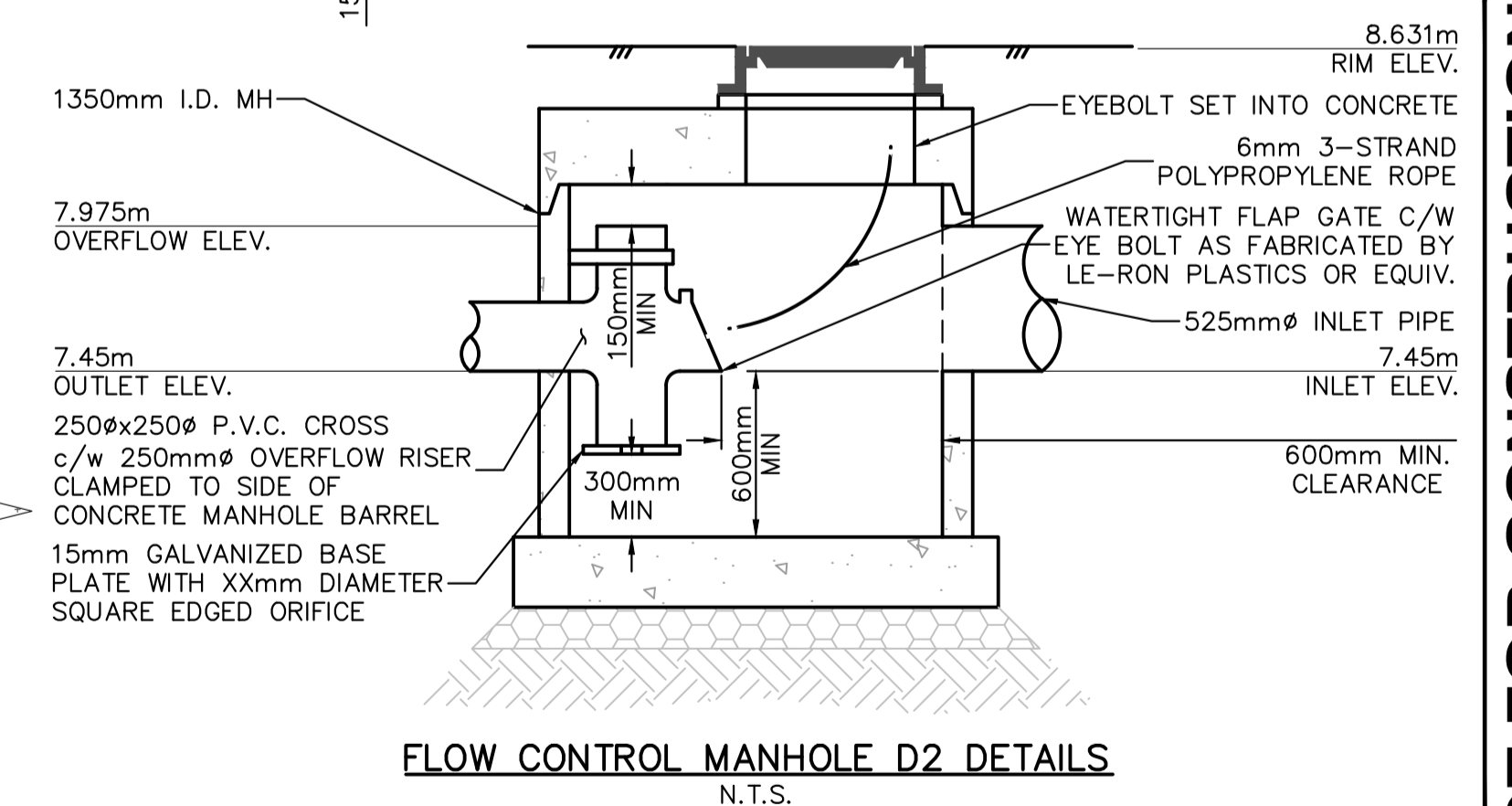
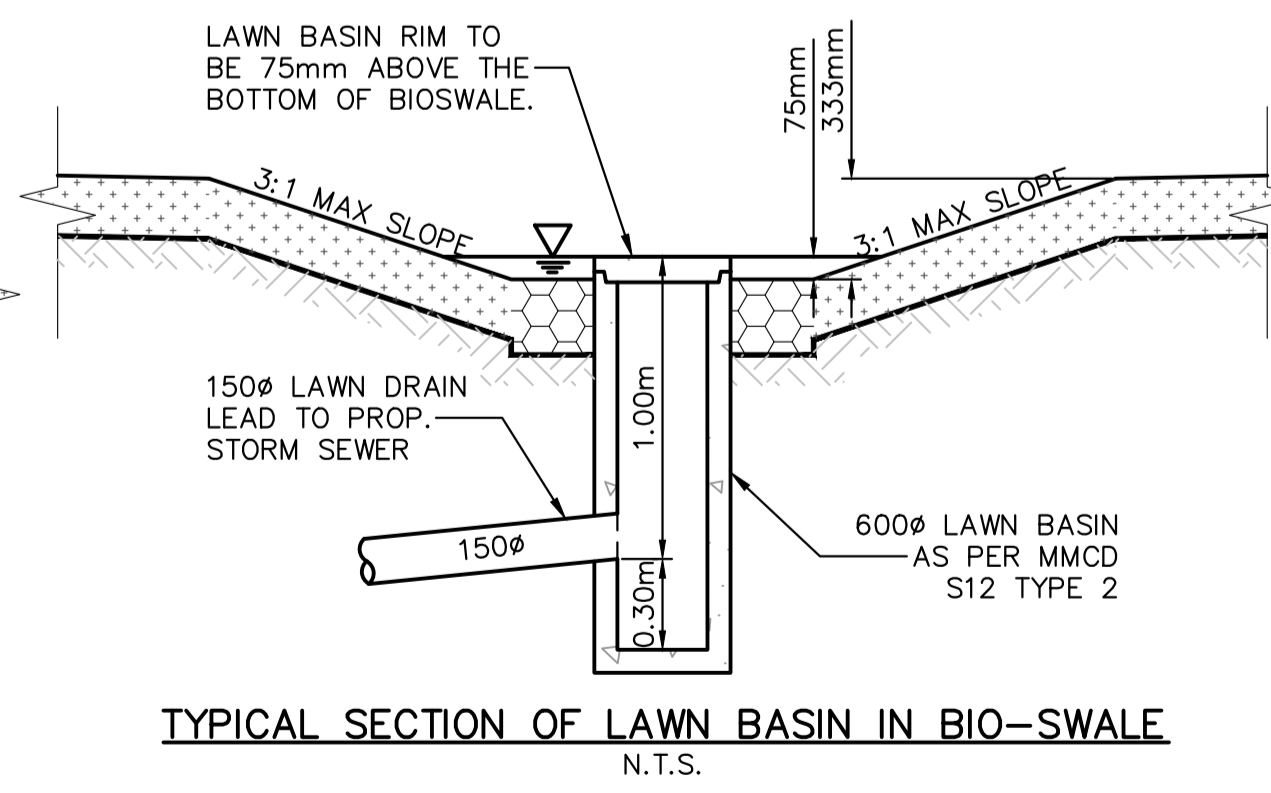
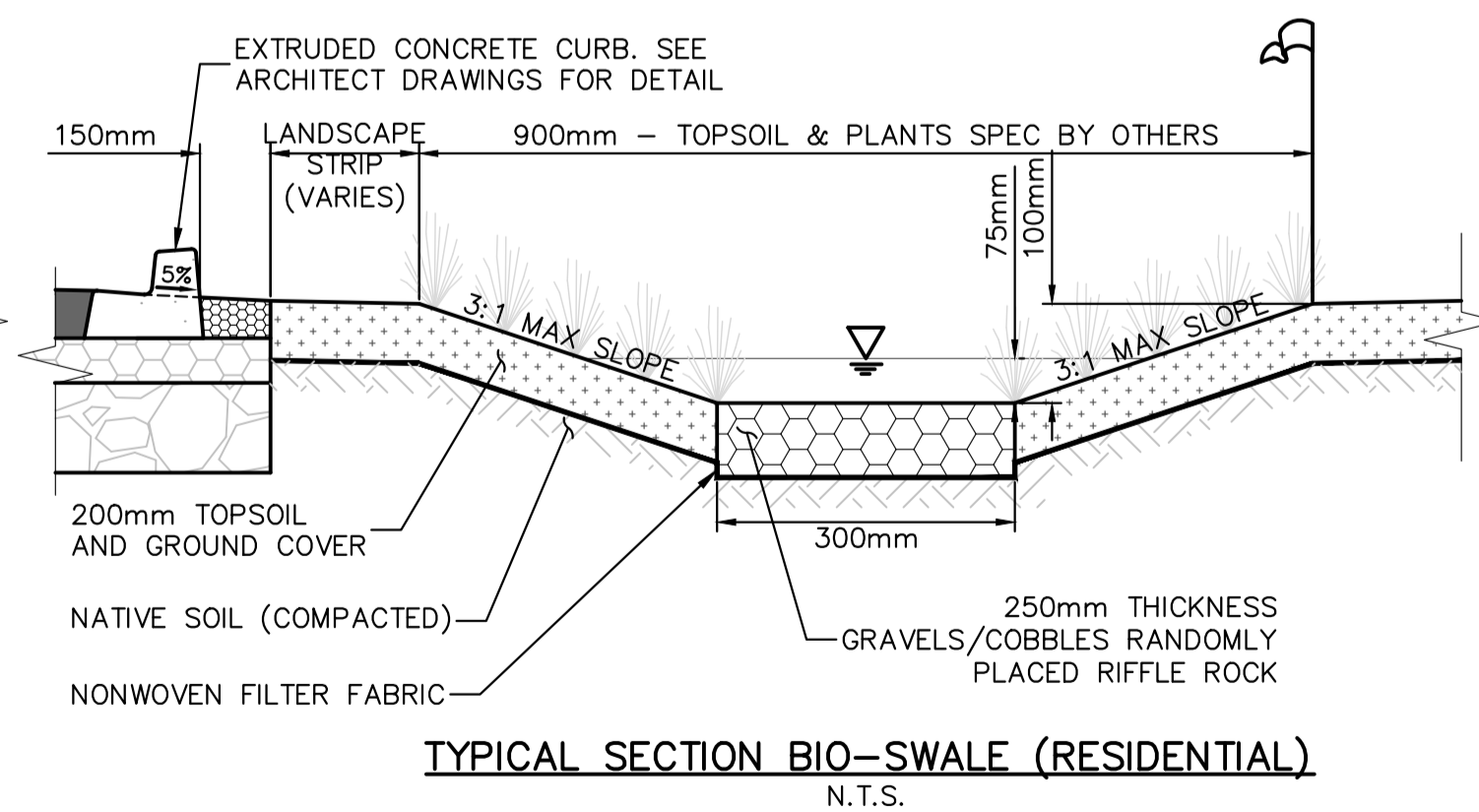
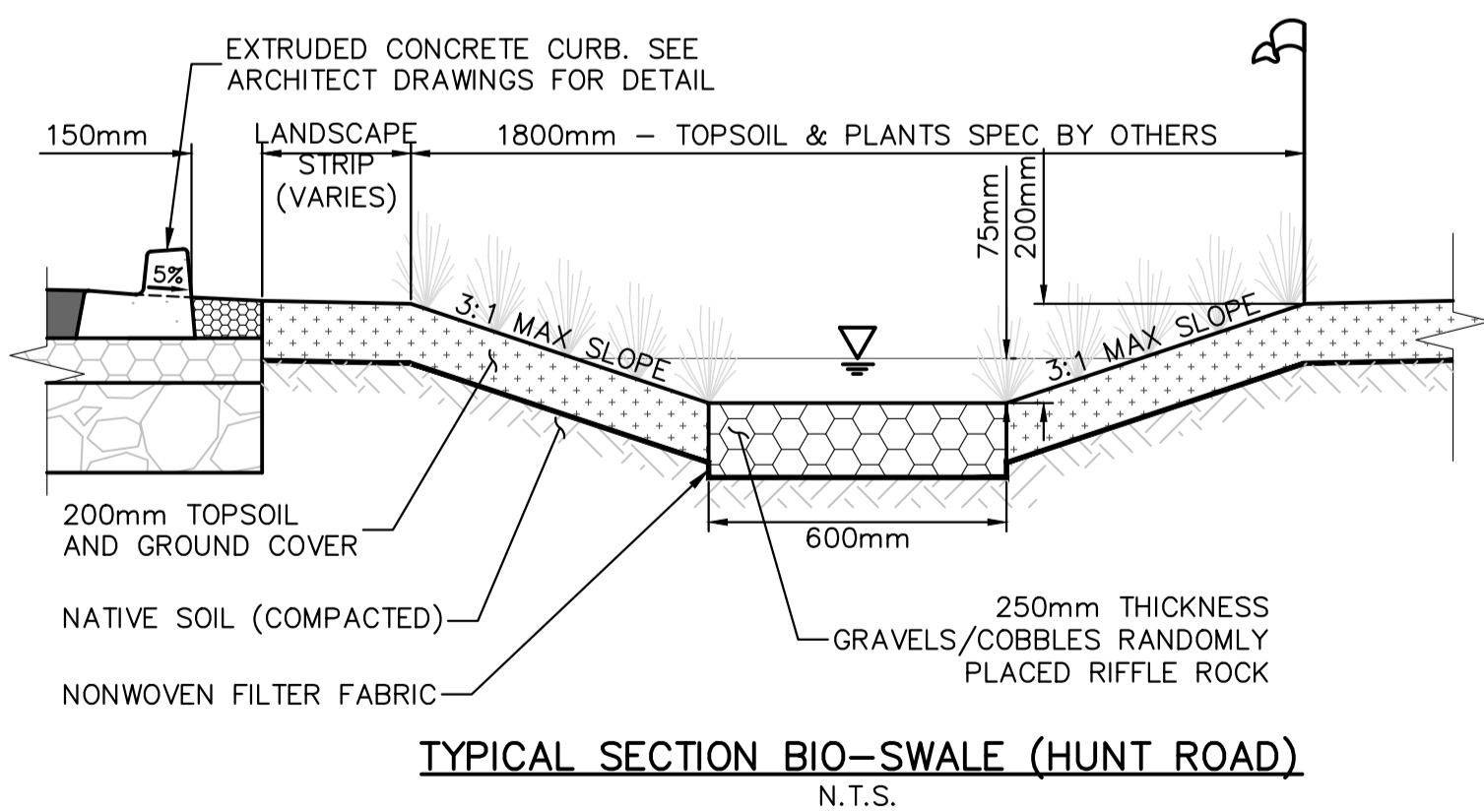
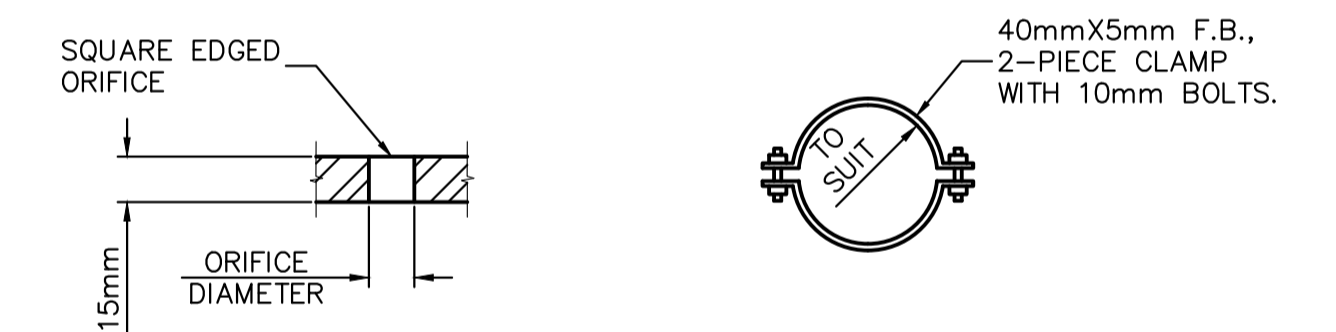
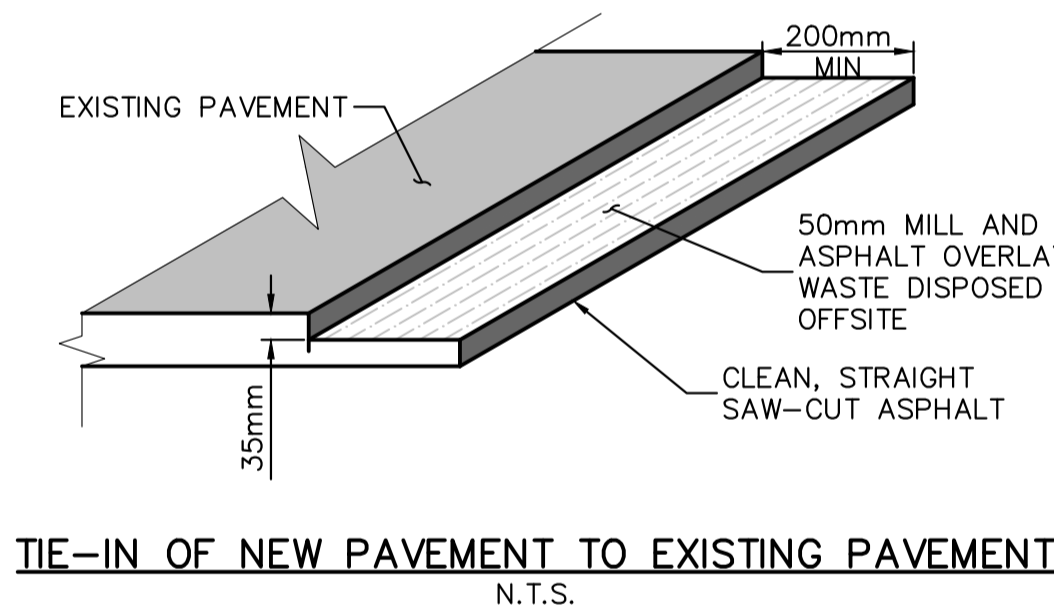
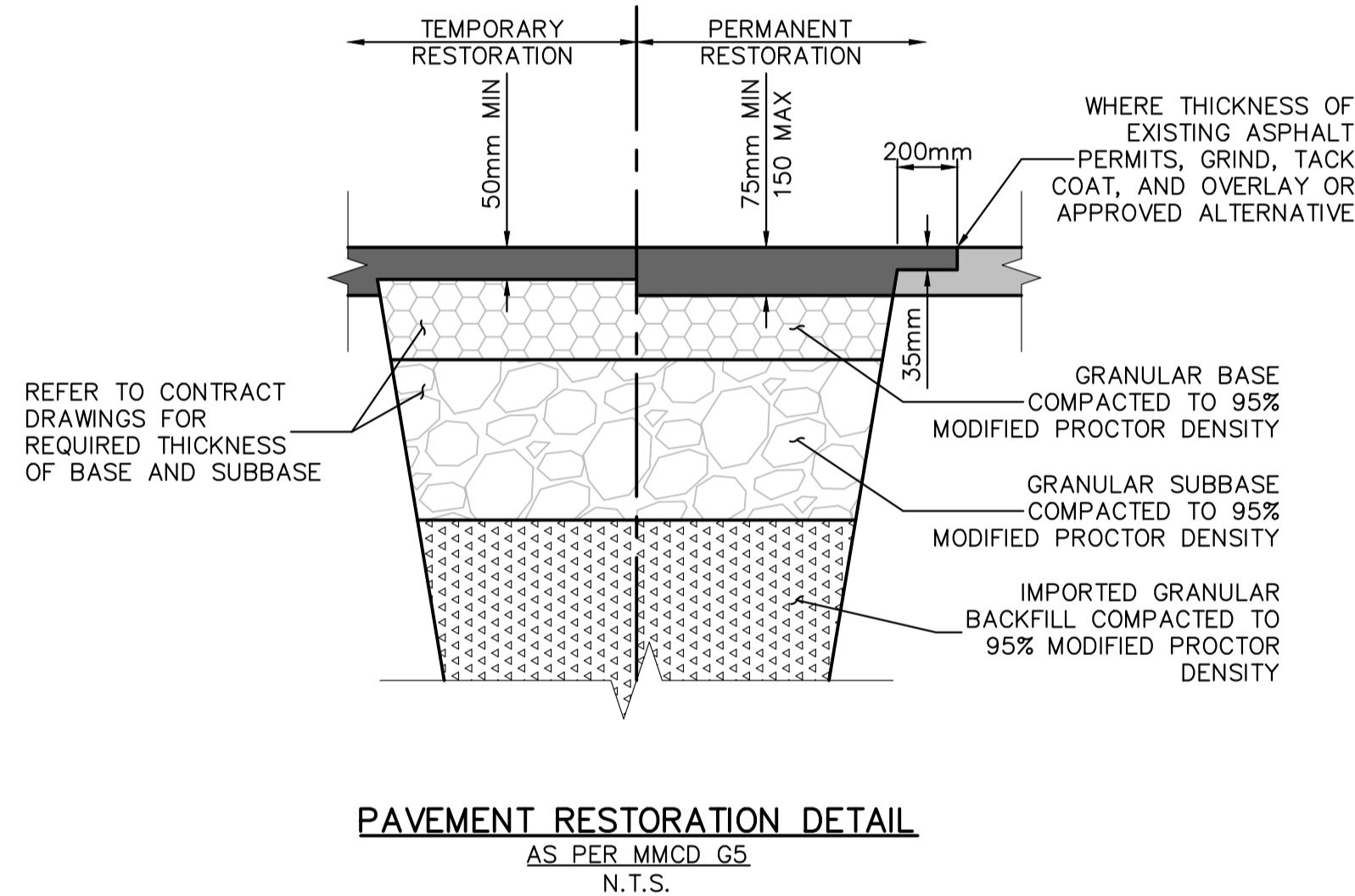
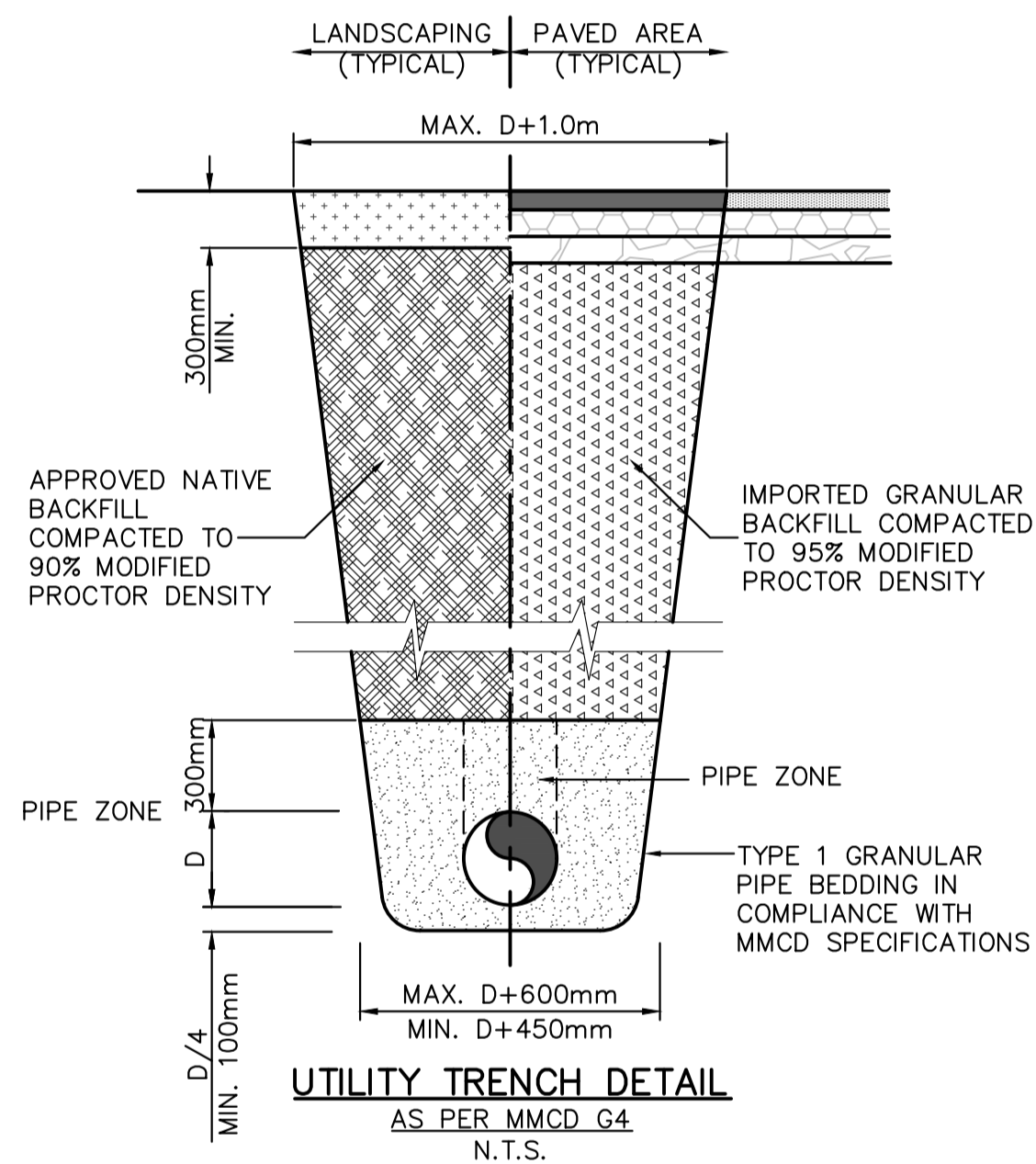
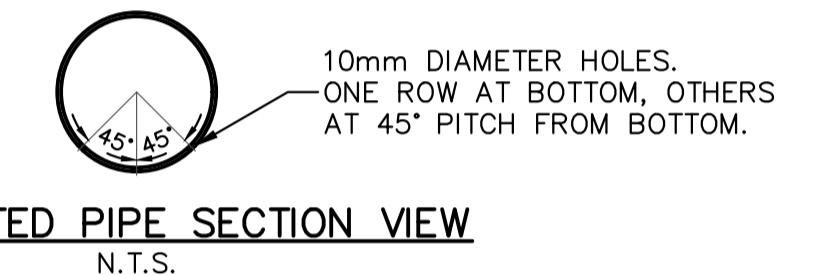
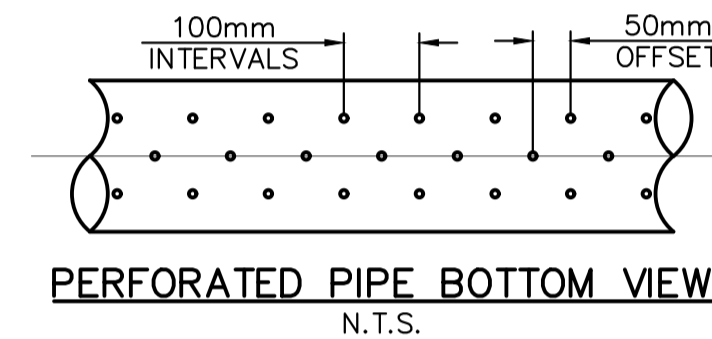
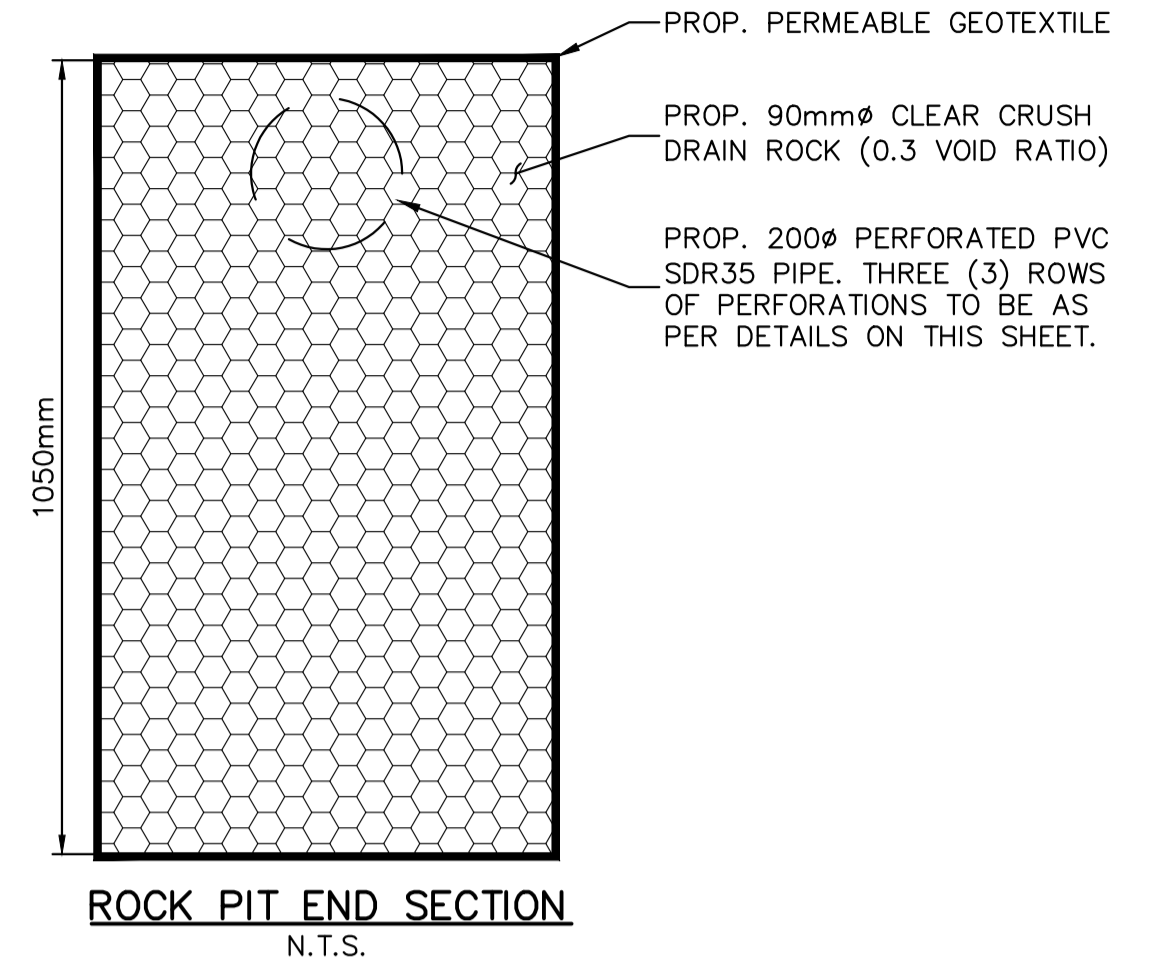
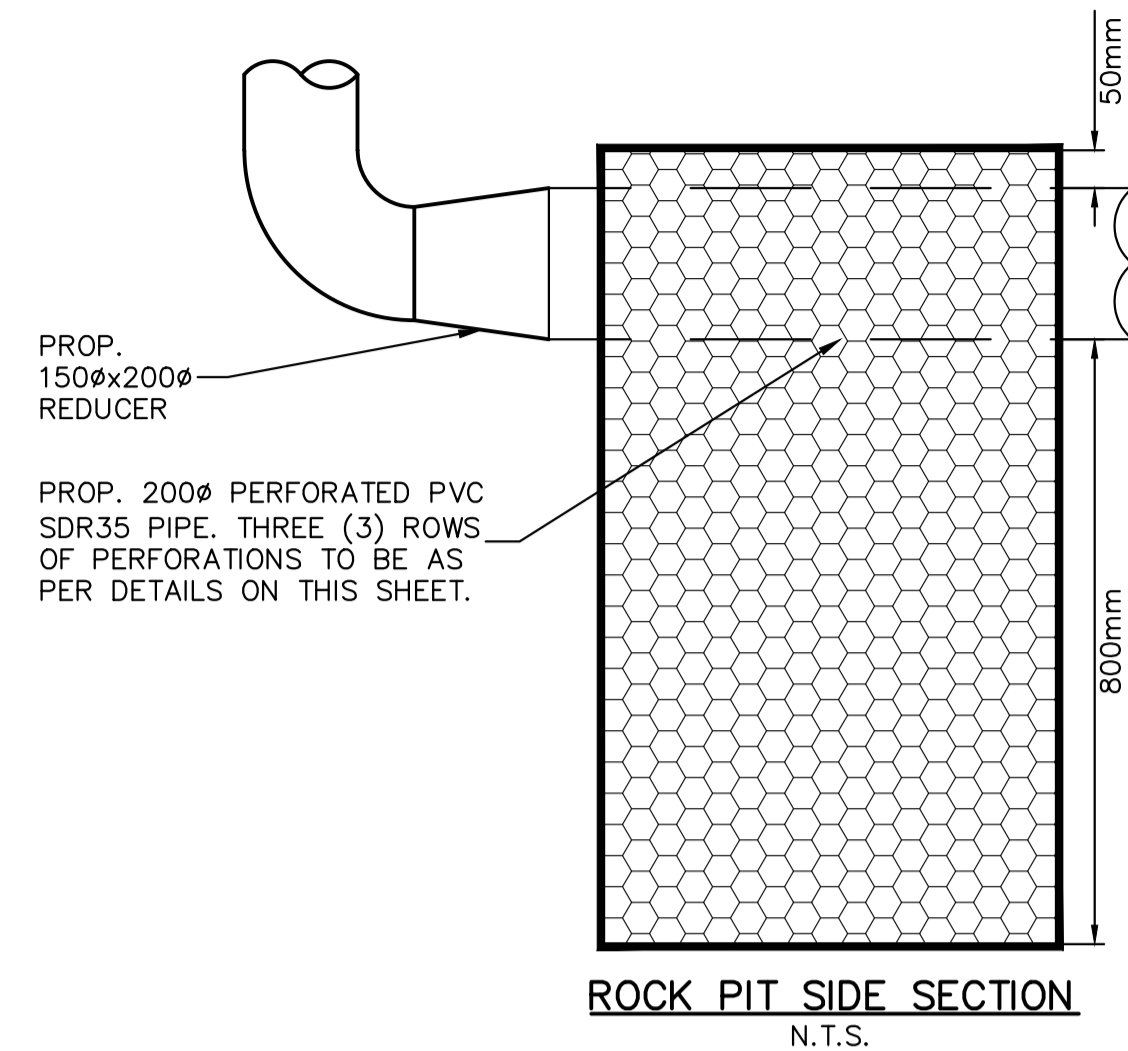
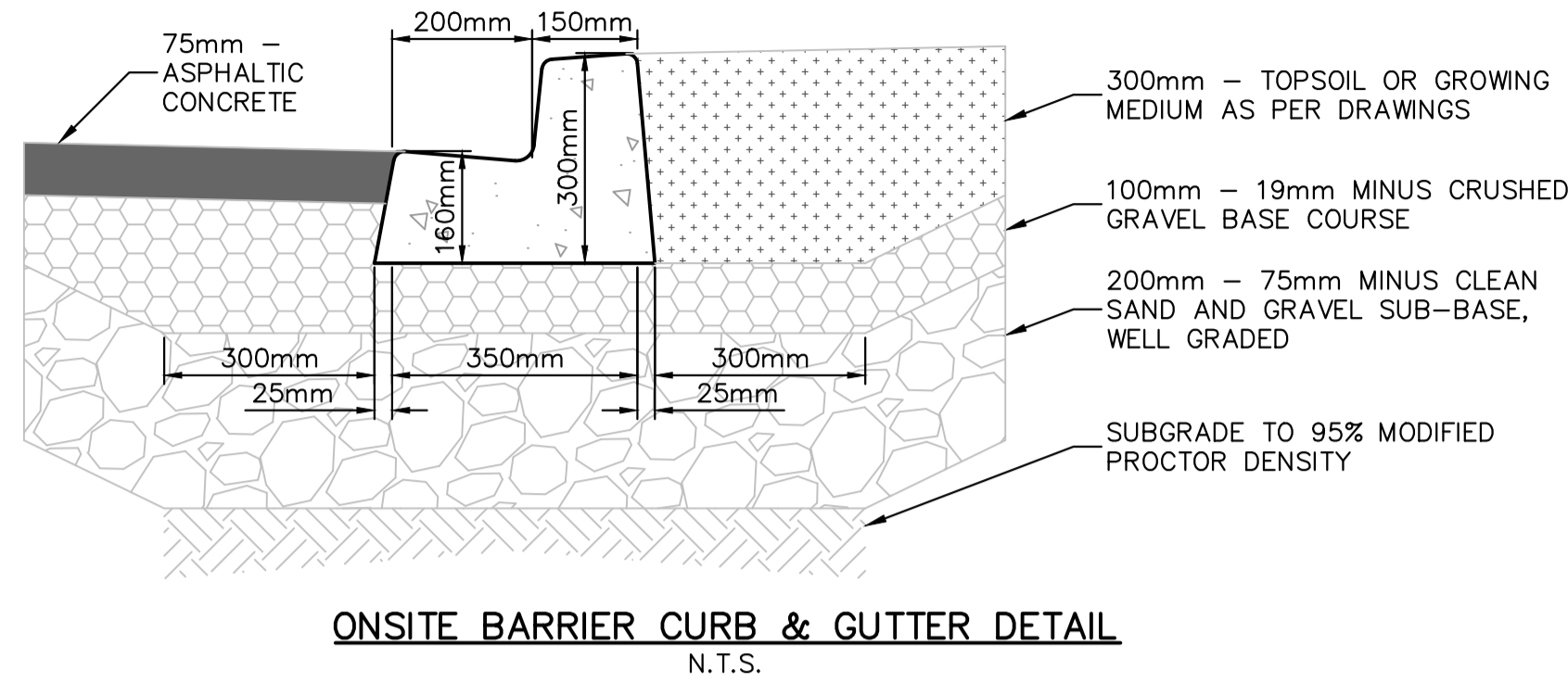
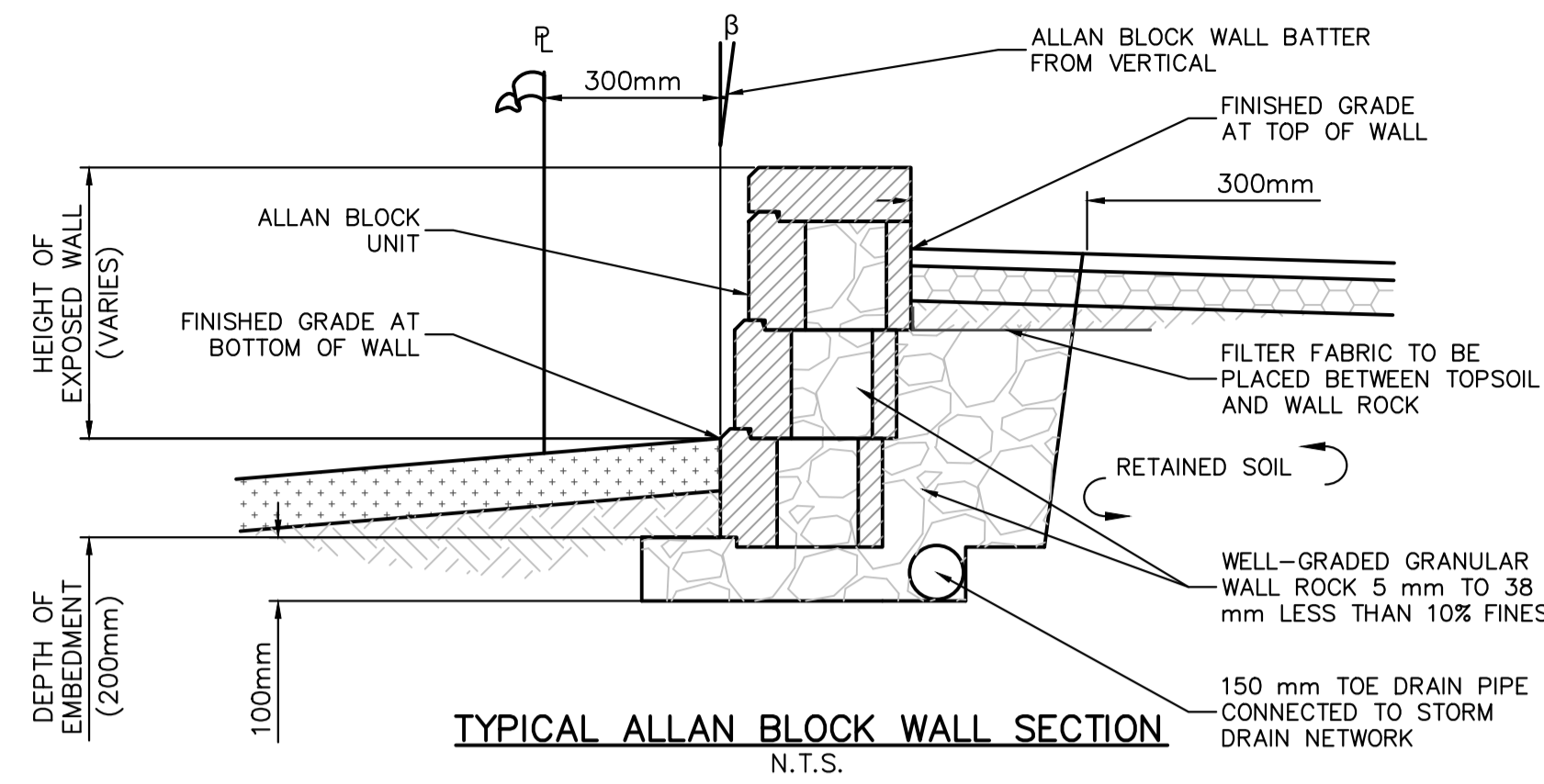
PROJECT: **HOLIDAY INN EXPRESS**  
310, 320, AND 336 HUNT ROAD, COURTENAY, BC V9N 5N2

DRAFT

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TITLE: <b>WATER DETAILS</b>		DESIGN: _____ CHECK: _____
PROJECT NO. <b>3360-20-2002</b>		DRAWN: _____ APPR: _____
DRAWING NO. <b>20-8009-07</b>		A & M FILE: <b>20-8009</b>
SCALE: <b>HORIZ. N/A VERT. N/A</b>	DRAWING DATE: <b>APRIL, 2020</b>	
A & M DRAWING NO. <b>20-8009-07</b>	SHEET NO. <b>07 OF 10</b>	REV. <b>2</b>





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PROJECT: **HOLIDAY INN EXPRESS**  
310, 320, AND 336 HUNT ROAD, COURTENAY, BC V9N 5N2

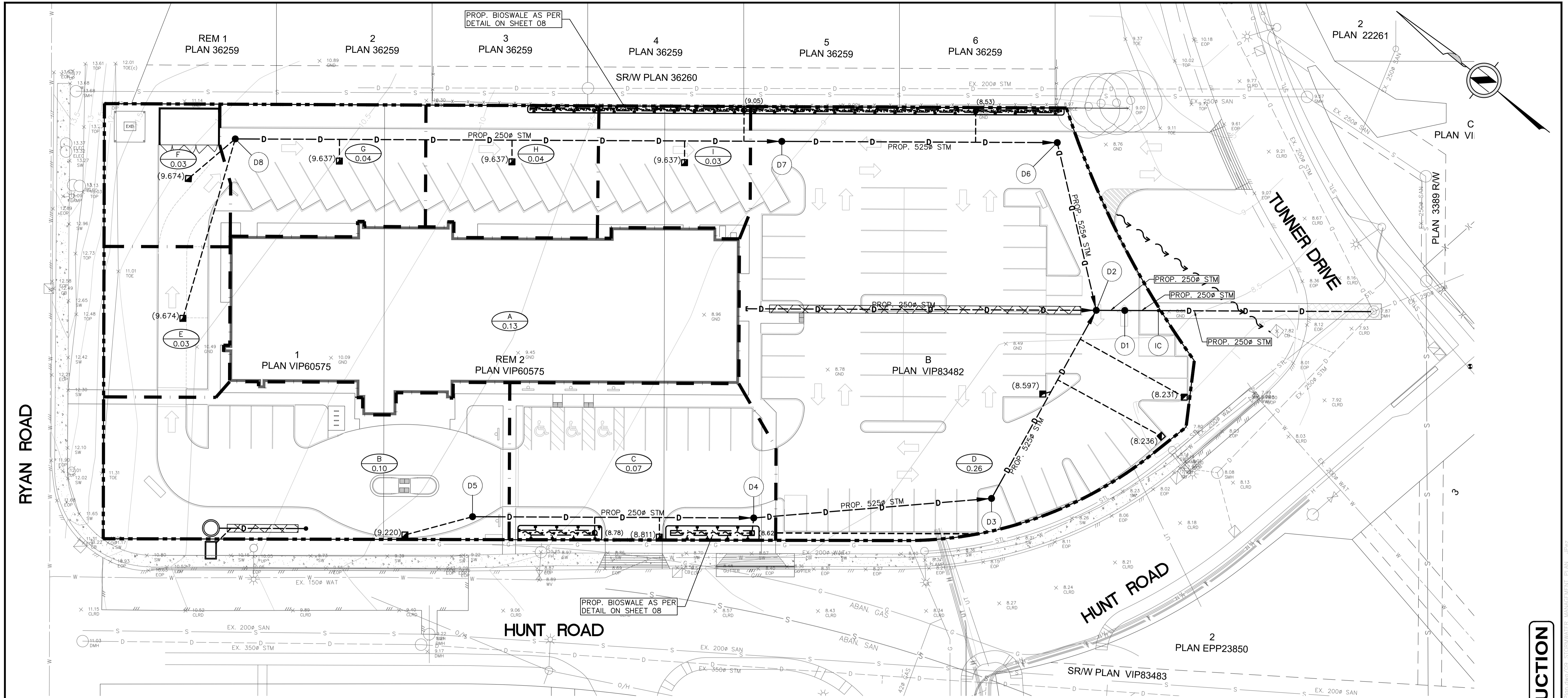
**DRAFT**

The location of existing underground utilities are shown in an approximate way only & have not been independently verified by the owner or its representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damages which might be occasioned by the contractor's failure to exactly locate and preserve any and all underground utilities.

TITLE: <b>DETAILS</b>	DESIGN: _____ CHECK: _____
PROJECT NO. <b>3360-20-2002</b>	DRAWN: _____ APPR: _____
DRAWING NO. <b>20-8009-08</b>	A & M FILE: <b>20-8009</b>
SCALE: HORZ. 1:500 VERT. N/A	DRAWING DATE: <b>APRIL, 2020</b>
A & M DRAWING NO. <b>20-8009-08</b>	SHEET NO. <b>08 OF 10</b>
	REV. <b>2</b>

0	5	1:500	25m
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**NOT FOR CONSTRUCTION**



**STORMWATER MANAGEMENT NOTES:**

- CONTRACTOR TO VERIFY THE LOCATION AND INVERTS OF EXISTING WATER, STORM AND SANITARY CONNECTIONS TO THE SITE. REPORT TO THE ENGINEER OF RECORD ANY DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
- ALL BUILDINGS AND ROADS ARE TO BE LOCATED BY CO-ORDINATES AS CALCULATED BY A B.C. LAND SURVEYOR.
- THE CONTRACTOR MUST CONTACT THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION TO SCHEDULE AN ON-SITE PRE-CONSTRUCTION MEETING DURING WHICH CONSTRUCTION METHODS, TIMING, AND INSPECTION WILL BE DISCUSSED.
- ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE 2018.

**LEGEND**

EXISTING STORM SEWER	- - - - -	100 YEAR OVERLAND FLOW	→
PROPOSED STORM SEWER	- - - - -	100 YEAR FLOW BELOW SURFACE	→
EXISTING DITCHES	- - - - -	LOCAL OVERLAND FLOW	→
PROPOSED DITCHES	- - - - -	OVERLAND FLOW	→
MANHOLE, CLEANOUT, HEADWALL NUMBER	D2	MANHOLE AS PER SERVICING DWG, UNLESS OTHERWISE NOTED	●
CATCHMENT AREA	A1	CATCHBASIN AS PER SERVICING DWG, UNLESS OTHERWISE NOTED	■
LOCAL SURFACE DRAINAGE CATCHMENT BOUNDARY LINE	- - - - -	LAWN BASIN AS PER SERVICING DWG, UNLESS OTHERWISE NOTED	○
LOCAL SURFACE DRAINAGE CATCHMENT BOUNDARY LINE	- - - - -	RIM ELEVATION (99.99)	○
		EXISTING GROUND CONTOUR (99.5)	○

**NOTICE TO CONTRACTOR**

IT IS THE RESPONSIBILITY OF THE CONTRACTOR'S SURVEYOR TO VERIFY THAT ALL LEGAL SURVEY DIMENSIONS SHOWN ON THE ENGINEERS DRAWINGS AGREE WITH THOSE ON THE REGISTERED LEGAL SURVEY PLAN. SHOULD THERE BE ANY DISCREPANCIES, THEN IMMEDIATELY NOTIFY THE ENGINEER OF RECORD

LEGAL DESCRIPTION: LOT 1 & 2, SECTION 14, COMOX DISTRICT, PLAN VIP60575 AND LOT B, SECTION 14, COMOX DISTRICT, PLAN VIP83482					
ELEVATIONS ARE AS PER GEODETIC DATUM CGVD28, DERIVED FROM DIFFERENTIAL GNSS OBSERVATIONS. SURVEY PLAN BY BAZETT LAND SURVEYORS LTD. FILE: C1641					
REV. NO.	DESCRIPTION	DR	CH	DATE	APP
1	ISSUED FOR SERVICING MODELS	JDP	SAL	03-JUN-20	SAL
2					
3					
4					
5					

**APLIN MARTIN**  
ENGINEERING ARCHITECTURE PLANNING SURVEYING

Aplin & Martin Consultants Ltd.  
#104 - 6596 Applecross Road, Nanaimo, BC, Canada V9V 0A4  
Tel: (778) 841-0484, Fax: (604) 597-9061, Email: general@aplinmartin.com

CLIENT: **SARGENT CONSTRUCTION LTD.**  
422 KINCAID STREET, VICTORIA, BC V8X 4K7  
Tel: (250) 415-8305

PROJECT: **HOLIDAY INN EXPRESS**  
310, 320, AND 336 HUNT ROAD, COURTENAY, BC V9N 5N2

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TITLE: <b>STORMWATER MANAGEMENT PLAN</b>	DESIGN: _____ CHECK: _____
PROJECT NO. <b>3360-20-2002</b>	DRAWN: _____ APPR: _____
DRAWING NO. <b>20-8009-09</b>	A & M FILE: <b>20-8009</b>
SCALE: <b>HORIZ. 1:250 VERT. N/A</b>	DRAWING DATE: <b>APRIL, 2020</b>
A & M DRAWING NO. <b>20-8009-09</b>	SHEET NO. <b>09 OF 10</b>
	REV. <b>2</b>

**NOT FOR CONSTRUCTION**

