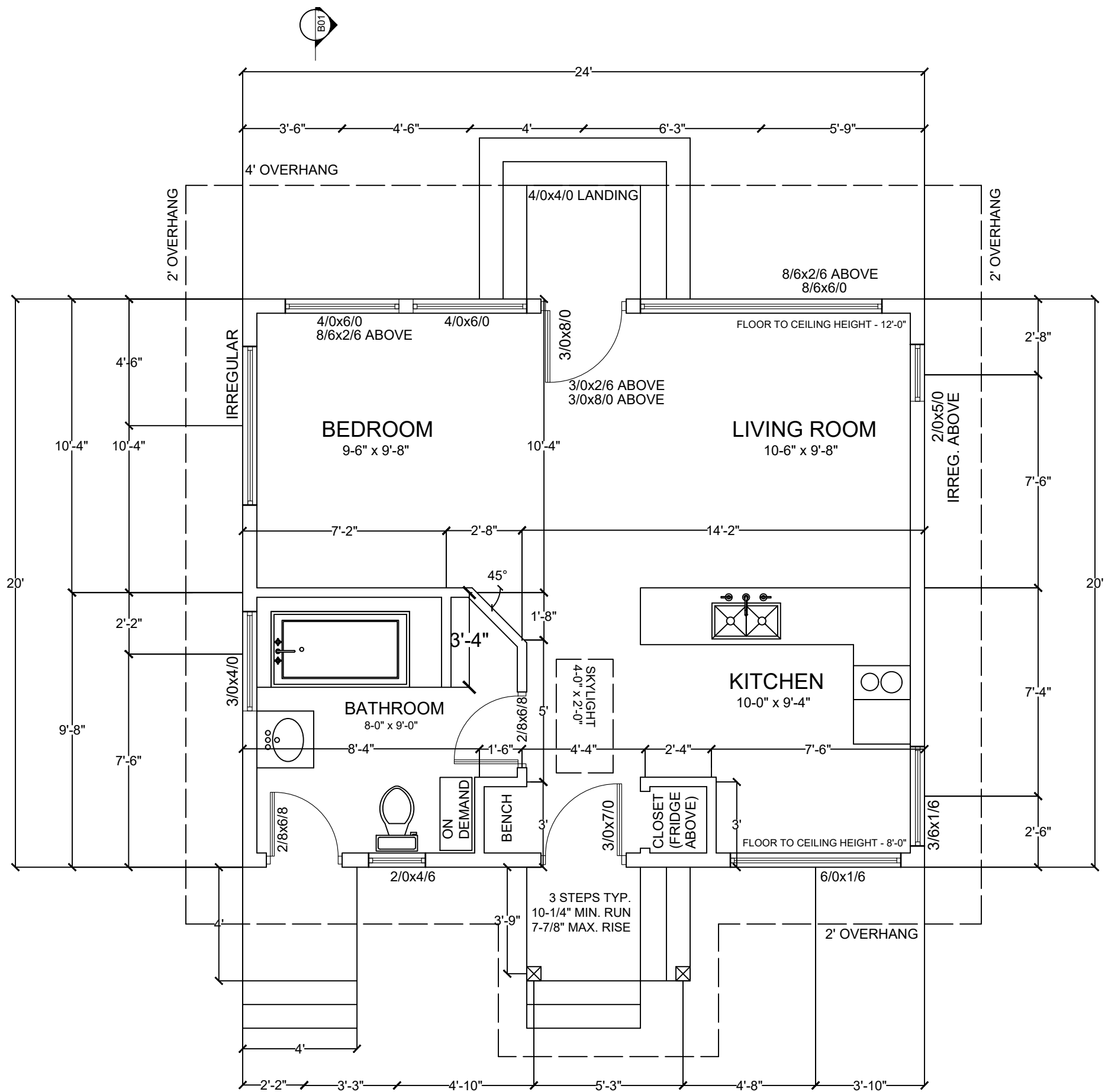


A01 SITE PLAN

1:200



A01 PROPOSED FLOOR PLAN

1/4" = 1'-0"

ZONING REGULATIONS

Civic Address: 1830 Piercy Avenue

Legal Description:

Lot C Plan VIP21979 Section 68 Land District 15

P.I.D.: 003-382-273

Zoning: R-2

Parcel Size: 0.481 Acres

Zoning Details:

Required Setbacks:

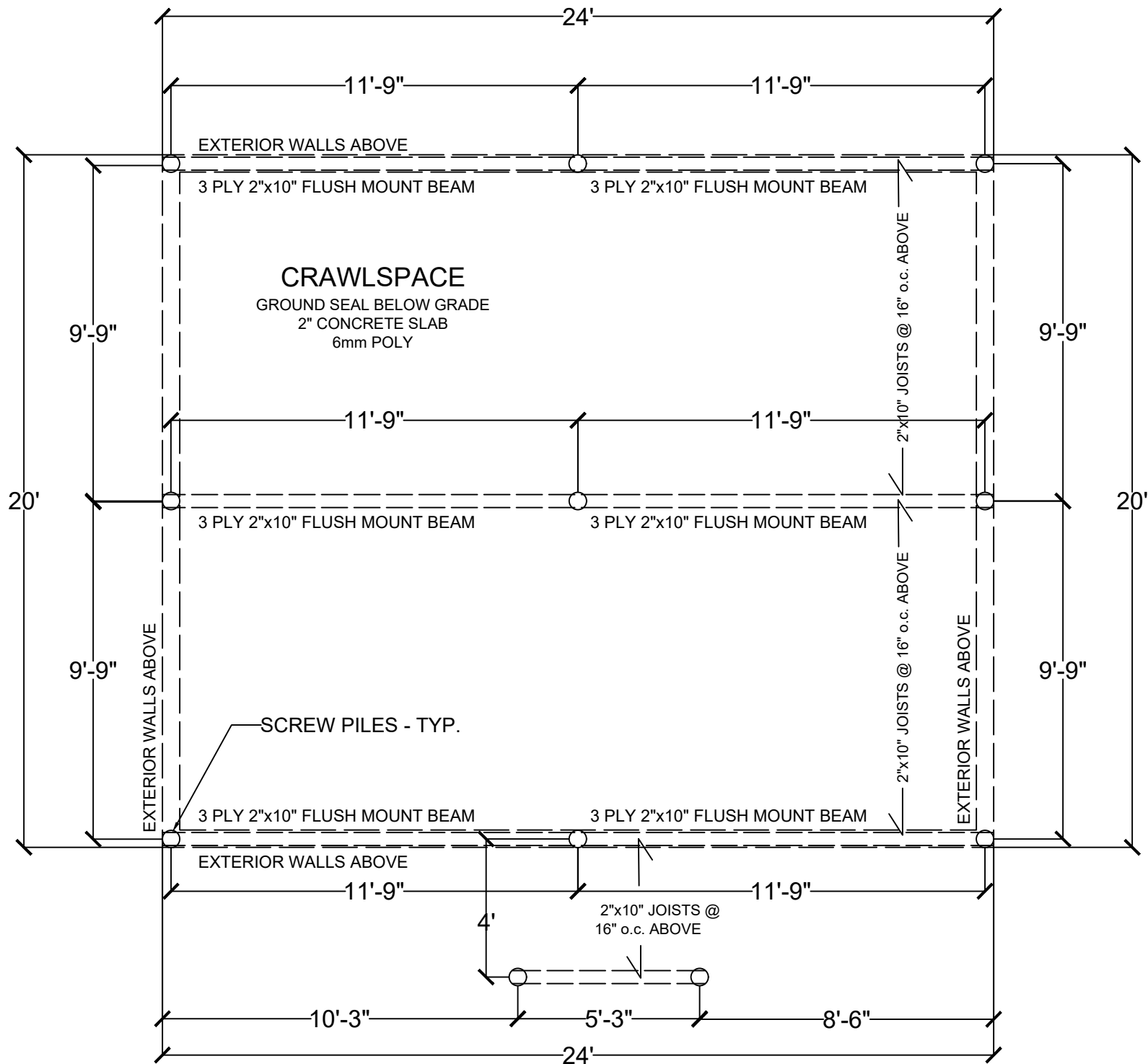
Front Yard: 7.5m	Proposed: 44.1m
Rear Yard: 4.0m	Proposed: 29.97m
Side Yard: 3.0m	Proposed: 7.29m
Side Yard: 3.0m	Proposed: 9.78m

Lot Coverage: 40%	Proposed: 10%
Maximum Height: 6.5m	Proposed: 4.83m

Floor Area:

Existing Dwelling: 1847 ft²
Proposed Carriage House: 437 ft²

Total Permitted Carriage House Area: 739 ft²



A01 FOUNDATION/SCREW PILES PLAN

1/4" = 1'-0"

GENERAL NOTES

- ALL CONSTRUCTION TO MEET BC BUILDING CODE 2018 AND BC PLUMBING CODE 2018
- DESIGNER IS NOT RESPONSIBLE FOR ERRORS OR OMISSIONS ON PLANS
- ALL STRUCTURAL ELEMENTS TO CONFORM TO THE SPAN TABLES OR CWC SPAN TABLES OR BETTER
- FOOTINGS TO BEAR ON SOLID UNDISTURBED NATIVE SOIL BELOW FROST DEPTH - TO BE CONFIRMED BY INSPECTOR OR GEOTECHNICAL ENGINEER
- ALL INSULATION VALUES TO MEET CLIMATE ZONE 4
- INTERCONNECTED IONIZATION SMOKE DETECTORS TO BE INSTALLED IN BEDROOM AND 5m OUTSIDE OF BEDROOM
- ALL SMOKE DETECTORS TO BE HARDWIRED TO 110 VOLT CIRCUIT WITH BATTERY BACKUP
- CARBON MONOXIDE DETECTOR TO BE INSTALLED 5m OUTSIDE OF BEDROOM
- ALL VENTILATION SYSTEMS TO MEET 9.32 OF THE BCBC 2018
- HRV TO BE INSTALLED TO MEET VENTILATION REQUIREMENTS
- ALL EXTERIOR DOORS AND WINDOWS TO MEET THE CANADIAN SUPPLEMENT TO NAFS AAMA/WDMA/CSA 101/I.S.2/A440-08 AND A440S1-09
- ALL DIMENSIONS TO FRAMING OR CENTER LINE OF WINDOWS OR DOORS
- ANY CHANGES DURING CONSTRUCTION TO BE APPROVED BY CITY OF COURTENAY
- ALL INTERIOR FINISHES TO MEET 9.29 OF BUILDING CODE
- INTERIOR WALLS TO BE 2"x 4" STUDS WITH ½" DRYWALL
- ALL LINTELS TO BE SS SPF 2 PLY 2" x 10" OR BETTER



1830 PIERCY AVE
NEW CARRIAGE HOUSE
MARTIN GOODWIN AND ROXANNE BRYDGES

REVISIONS	
SHEET	DATE
A01	02/16/2022

Scale: AS NOTED

Zone: R-2

SITE PLAN

A01



1830 PIERCY AVE
NEW CARRIAGE HOUSE
MARTIN GOODWIN AND ROXANNE BRYDGES

REVISIONS

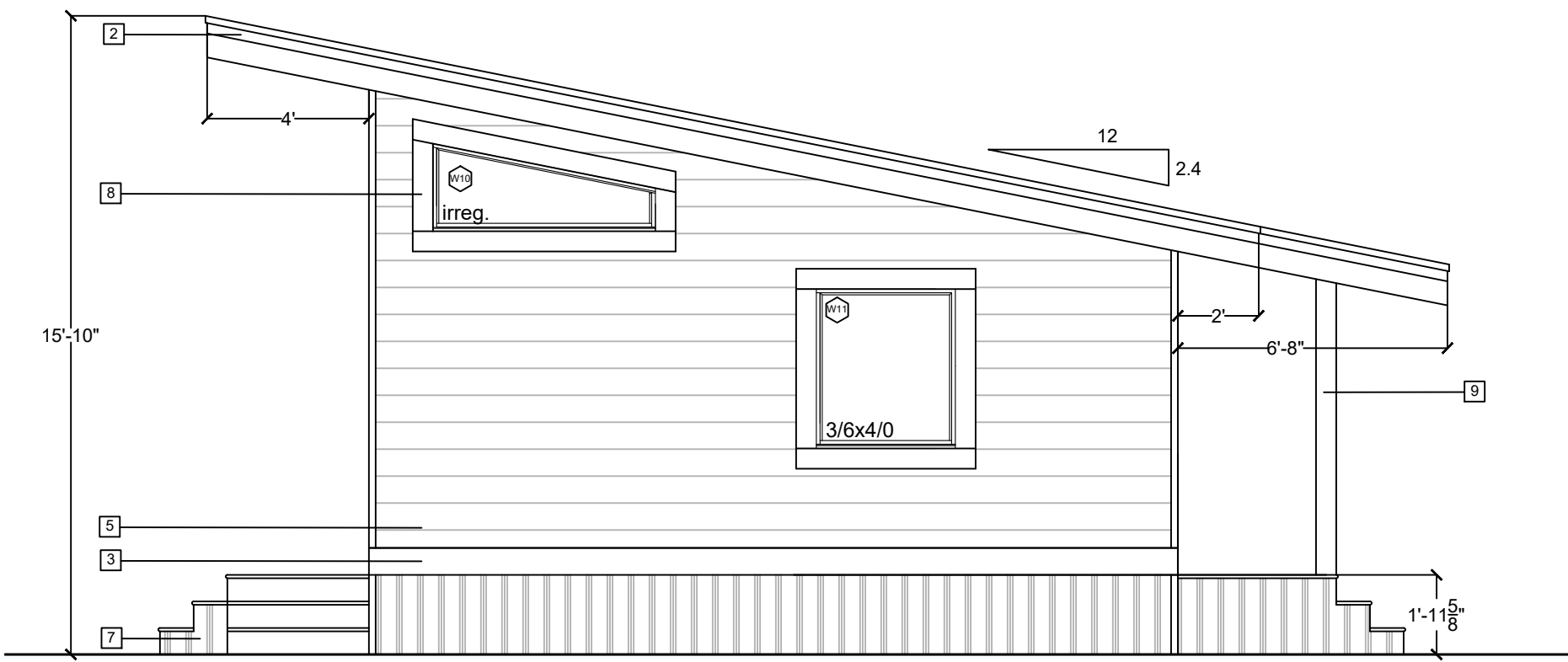
SHEET	DATE
A02	02/16/2022

Scale: AS NOTED

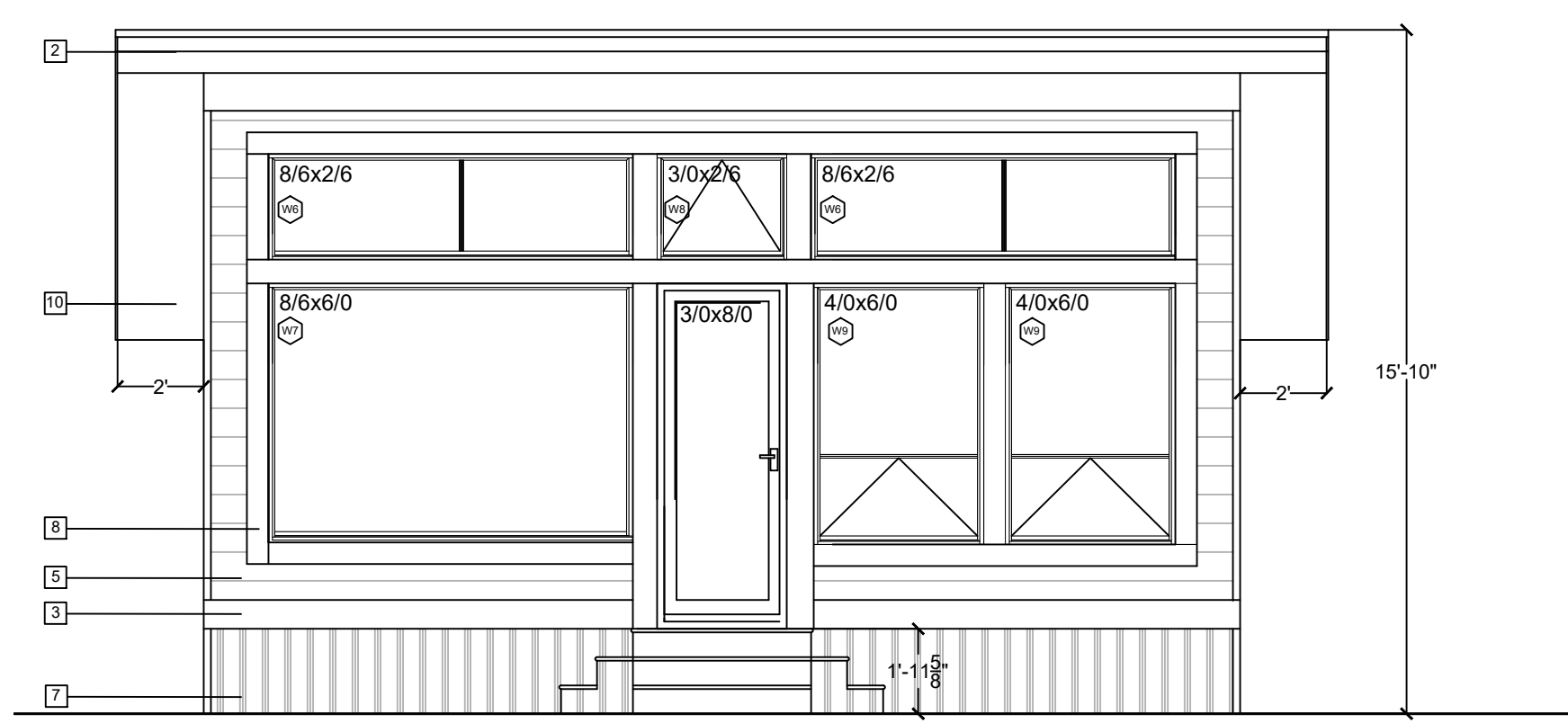
Zone: R-2

ELEVATIONS

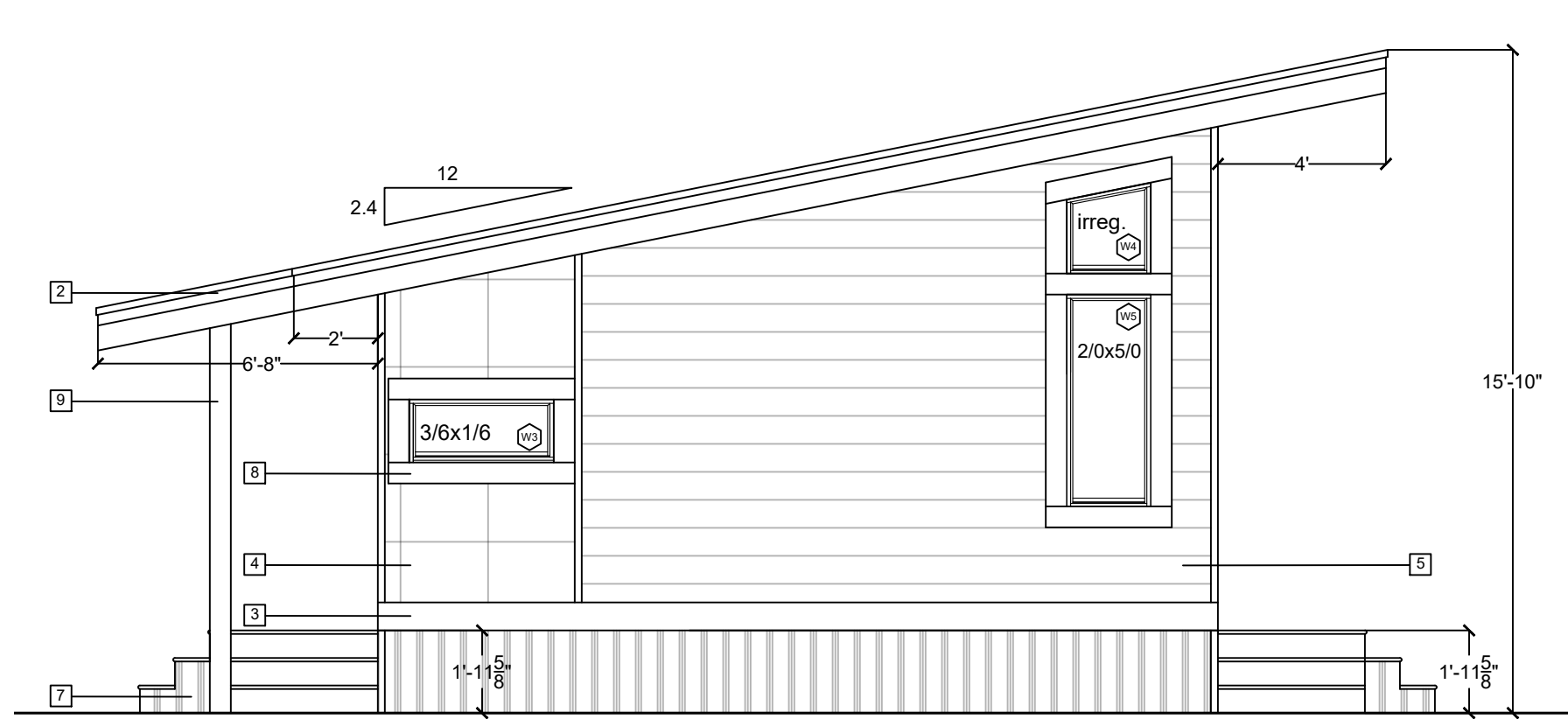
A02



A02 WEST ELEVATION
1/4" = 1'-0"



A02 NORTH ELEVATION
1/4" = 1'-0"



A02 EAST ELEVATION
1/4" = 1'-0"



A02 SOUTH ELEVATION
1/4" = 1'-0"

LEGEND

- 1 LOW SLOPE ASPHALT ROOFING
- 2 10" DOUBLE REVEAL COMB FACE FASCIA
- 3 8" COMB FACE BELLY BAND
- 4 HARDIE PANELS
- 5 8" HARDIE PLANK
- 6 VERTICAL WOOD SIDING
- 7 GALVANUM SKIRTING
- 8 6" COMB FACE TRIM (TYP.)
- 9 6"x6" FIR POSTS
- 10 PLYWOOD SOFFIT

ABOVE GRADE WALL ASSEMBLY - REQUIRED 2.97 RSI:

R-24 BATT INSULATION IN 2" X 6" WOOD FRAMING @ 16"	2.55 (EFFECTIVE)
EXTERIOR AIR FILM	0.03
HARDI BOARD	0.02
AIR CAVITY	0.15
SHEATHING	0.11
PLYWOOD	0.10
INTERIOR AIR FILM	0.12
TOTAL EFFECTIVE RSI VALUE	3.06 (2.97 REQ)

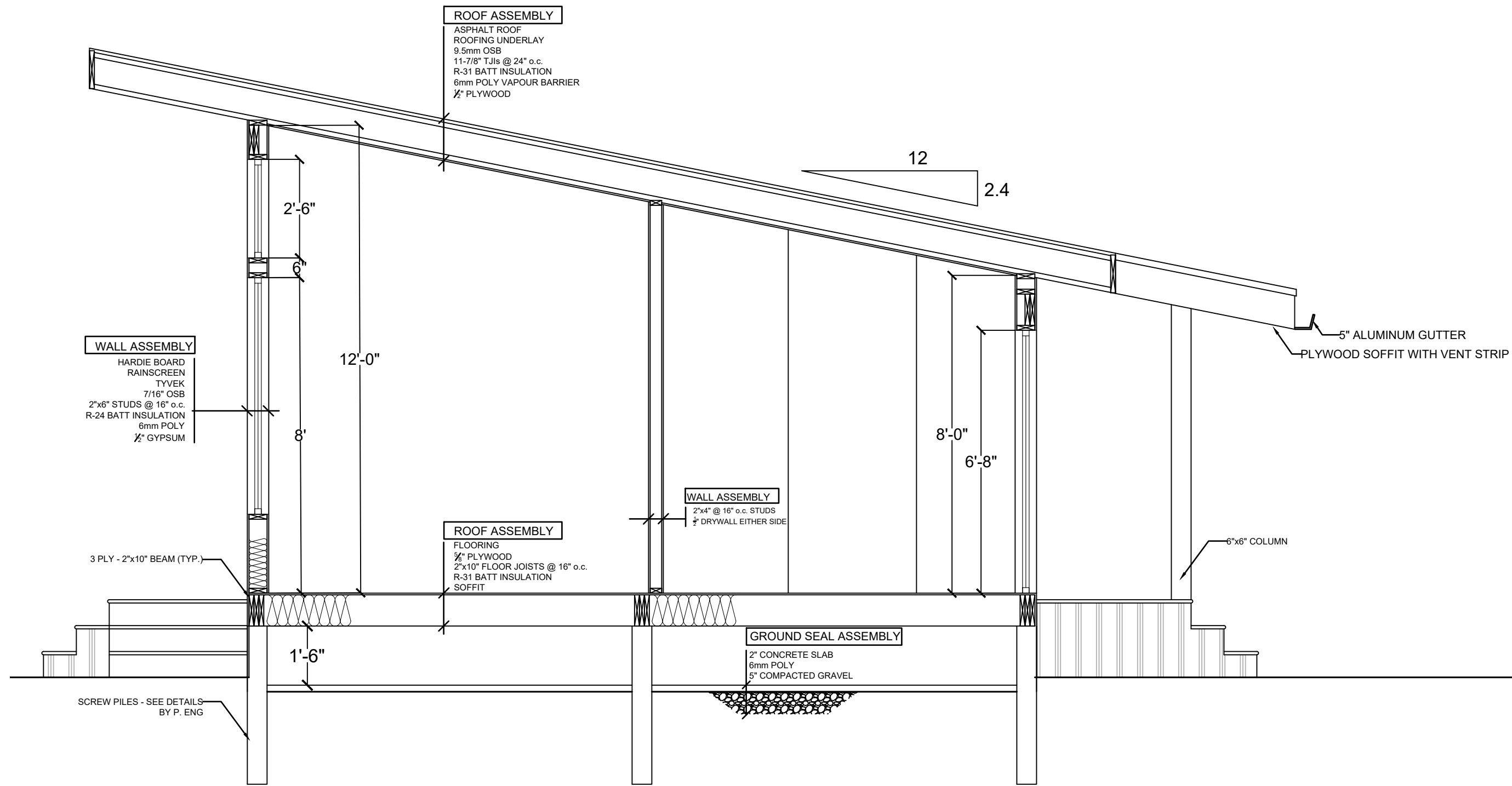
CATHEDRAL CEILING ASSEMBLY - REQUIRED 4.67 RSI:

R-31 BATT INSULATION AND TJIs @ 24" OC	4.45 (EFFECTIVE)
INTERIOR AIR FILM	0.16
EXTERIOR AIR FILM	0.03
PLYWOOD	0.10

FLOOR ABOVE UNCONDITIONED SPACE - REQUIRED 4.67 RSI

R-31 BATT INSULATION AND 2"x10" @ 16"	4.45 (EFFECTIVE)
INTERIOR AIR FILM	0.16
EXTERIOR AIR FILM	0.03
PLYWOOD	0.10

TOTAL EFFECTIVE RSI VALUE 4.74 (4.67 REQ)



B01 SECTION
3/8" = 1'-0"

WINDOW SCHEDULE									
ID	FLOOR	ROOM NAME	TYPE	WIDTH	HEIGHT	HEAD HEIGHT	SILL HEIGHT	TRIM	NOTES
W1	MAIN	BATHROOM	SINGLE HUNG	2'-0"	4'-6"	6'-8"	2'-6"	BLACK	
W2	MAIN	EATING NOOK	FIXED	6'-0"	1'-6"	5'-0"	3'-6"	BLACK	
W3	MAIN	EATING NOOK	FIXED	3'-6"	1'-6"	5'-0"	3'-6"	BLACK	
W4	MAIN	LIVING ROOM	FIXED	2'-0"	L - 1'-9" R - 2'-2"	L - 10'-3" R - 10'-8"	8'-6"	BLACK	2.4:12 SLOPE
W5	MAIN	LIVING ROOM	FIXED	2'-0"	5'-0"	8'-0"	3'-0"	BLACK	
W6	MAIN	LIVING ROOM	SINGLE SLIDING	8'-6"	2'-6"	11'-0"	8'-6"	BLACK	QUANTITY: 2
W7	MAIN	LIVING ROOM	FIXED	8'-6"	6'-0"	8'-0"	2'-0"	BLACK	
W8	MAIN	LIVING ROOM	AWNING	3'-0"	2'-6"	11'-0"	8'-6"	BLACK	
W9	MAIN	LIVING ROOM	AWNING	4'-0"	6'-0"	8'-0"	2'-0"	BLACK	
W10	MAIN	BEDROOM	FIXED	5'-6"	L- 2'-2" R - 1'-0"	L - 10'-8" R - 9' - 6"	8'-6"	BLACK	2.4:12 SLOPE
W11	MAIN	BATHROOM	FIXED	3'-6"	4'-0"	6'-8"	2'-8"	BLACK	

