

CANADIAN COMMUNITY HOUSING

995 ENGLAND AVENUE SERVICING

ISSUED FOR DEVELOPMENT PERMIT

PROJECT No. 1951-1

DRAWING INDEX	
DWG NO	DWG NAME
GENERAL	
1951-1-000	COVER SHEET
1951-1-001	GENERAL NOTES, KEY PLAN AND LEGEND
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1951-1-104	EROSION AND SEDIMENT CONTROL PLAN

PREPARED FOR:

CANADIAN COMMUNITY HOUSING
 2075 LAMBERT DR
 COURTENAY, BC
 V9N 9C9

DESIGNED BY:

ONSITE
 ENGINEERING LTD.

COASTAL OPERATIONS
 1040 CEDAR STREET
 CAMPBELL RIVER, BC, V9W 7E2
 PH.: 250-287-9174 FAX: 866-235-6943



LOCATION PLAN
 NTS

GENERAL NOTES:

- THE CITY SHALL ARRANGE A PRE-CONSTRUCTION MEETING PRIOR TO THE START OF CONSTRUCTION.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH:
 - THE COURTESY SUBDIVISION AND DEVELOPMENT SERVICES BY-LAW No. 2919 MAY 7, 2018 REVISION;
 - THE MASTER MUNICIPAL CONSTRUCTION DOCUMENT AND STANDARD DETAIL DRAWINGS (MMCD) LATEST EDITION (PLATINUM EDITION);
 - FOR CONSTRUCTION CONTRACT DRAWINGS AS PER THE FORM OF AGREEMENT - SIGNED & SEALED BY PROFESSIONAL ENGINEER - APPLICABLE CONTRACT DOCUMENTS AND ALL SPECIFICATIONS REFERENCED THEREIN;
 - MINISTRY OF ENVIRONMENT AND/OR FEDERAL DEPARTMENT OF FISHERIES AND OCEANS REQUIREMENTS;
 - MINISTRY OF TRANSPORTATION "B.C. TRAFFIC CONTROL MANUAL FOR WORK ON ROADWAYS", LATEST EDITION;
 - WORKSAFEBC, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ON SITE COPIES OF THE ABOVE DOCUMENTS AND SHALL ENSURE THAT ALL TRADES ARE THOROUGHLY FAMILIAR WITH THE APPLICABLE SECTIONS OF THE DOCUMENTS.
- ALL ELEVATIONS ARE GEODETIC AND ARE REFERENCED TO EXISTING INTEGRATED SURVEY MONUMENTS.
- THE CONTRACTOR SHALL REGISTER A BC ONE CALL BEFORE START OF CONSTRUCTION 1-800-474-6886.
- THE CONTRACTOR SHALL EXPOSE AND VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING SERVICES WITHIN THE WORK ENVELOPE ON SITE PRIOR TO ANY CONSTRUCTION AND NOTIFY THE ENGINEER OR ADMINISTRATOR OF ANY DISCREPANCIES, CONFLICTS OR OMISSIONS PRIOR TO CONSTRUCTION.
- FIGURED DIMENSION(S) SHALL GOVERN OVER SCALED DIMENSION(S).
- THE CONTRACTOR SHALL ENSURE THAT ALL APPROVALS REQUIRED FOR THE PROPOSED WORKS HAVE BEEN OBTAINED FROM ALL AUTHORITIES AND AGENCIES PRIOR TO COMMENCING THE WORK.
- THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE THE WORKS DONE BY:
 - CITY OF COURTESY,
 - FRANCHISE UTILITIES.
- THE CONTRACTOR SHALL CONTACT THE APPROPRIATE PERSONNEL AT LEAST 72 HOURS PRIOR TO THE WORK. SCHEDULING AND OTHER CONSTRUCTION CONSTRAINTS IMPOSED BY THESE WORKS SHALL BE TAKEN INTO ACCOUNT.
- RESIDENTS DIRECTLY AFFECTED BY CONSTRUCTION OF THESE WORKS AND SERVICES SHALL BE GIVEN 48 HOURS WRITTEN NOTICE OF THE PROPOSED START OF CONSTRUCTION. ALL WORKS TO BE COMPLETED WITHIN THE CITY RIGHT OF WAY. CONTRACTOR TO OBTAIN WRITTEN PERMISSIONS FOR ANY ACCESS TO PRIVATE PROPERTY. FOLLOWING CONSTRUCTION ACTIVITY ON THE AFFECTED PROPERTY A WRITTEN RELEASE MAY BE REQUIRED FROM THE PROPERTY OWNER AT THE DISCRETION OF THE CITY.
- THE CONTRACTOR SHALL REPAIR TO EXISTING CONDITION OR BETTER ANY STREETS, SERVICES, LANDSCAPING, PRIVATE LANDSCAPING OR PRIVATE IMPROVEMENTS THAT MAY BE DAMAGED AS A RESULT OF CONSTRUCTION. REPAIRS TO EXISTING CITY SERVICES SUCH AS WATER, SANITARY SEWER, STORM SEWER AND STREET OR TRAFFIC LIGHTING SHALL BE MADE BY THE CITY AT COST TO THE CONTRACTOR. REPAIRS TO EXISTING SURFACE WORKS MAY BE DONE BY THE CONTRACTOR'S CONTRACTOR AT THE DISCRETION OF THE DIRECTOR OF ENGINEERING.
- THE CONTRACTOR SHALL ENSURE THAT CITY STREETS ARE KEPT CLEAN AND FREE OF EQUIPMENT AND MATERIALS AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL AS PART OF THE WORK PERFORM OR CAUSE TO BE PERFORMED, ALL TESTS, INSPECTIONS AND APPROVALS OF THE WORK AS REQUIRED BY THE CONTRACT DOCUMENTS. PRIOR TO ISSUANCE OF THE CERTIFICATE OF SUBSTANTIAL PERFORMANCE, THE CONTRACTOR SHALL SUBMIT TO THE CONTRACT ADMINISTRATOR COPIES OF ALL TEST RESULTS, COPIES OF REPORTS AND TEST RESULTS SHALL BE SUBMITTED TO THE CITY'S PROJECT MANAGER AS WORK PROGRESSES OR AS REQUESTED. COST OF ALL TESTING SHALL BE INCIDENTAL TO THE CONTRACT.
- A TRAFFIC AND PEDESTRIAN SAFETY CONTROL PLAN SHALL BE SUBMITTED BY THE CONTRACTOR PRIOR TO THE PRE-CONSTRUCTION MEETING.
- THE PRIME CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION SAFETY AT THE PLACE OF WORK AND TO THE EXTENT REQUIRED BY WORKSAFE BC AND CODES, INCLUDING THE WORKERS COMPENSATION ACT AND APPLICABLE REGULATIONS, AND BY GOOD CONSTRUCTION PRACTICE. THE CONTRACTOR SHALL BE THE PRIME CONTRACTOR UNLESS OTHERWISE CHANGED BY THE CONTRACT ADMINISTRATOR.

EARTHWORKS & GRADING

- WORKS IN SET-BACK AREAS, AND DISCHARGE TO CREEKS, STREAMS, AND WATERCOURSES MAY BE SUBJECT TO FEDERAL AND PROVINCIAL AUTHORITY APPROVAL. THE CONTRACTOR SHALL RETAIN THE SERVICES OF A QUALIFIED ENVIRONMENTAL PROFESSIONAL TO COMPLETE ANY REQUIRED STUDIES AND OBTAIN ANY NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
- GEOTECHNICAL CONSULTANT TO REVIEW AND APPROVE NATIVE SUBGRADE PRIOR TO FILL PLACEMENT.
- GEOTECHNICAL CONSULTANT TO REVIEW AND APPROVE FILL MATERIAL PRIOR TO USE.
- REMOVE VEGETATION, STRIP ORGANIC MATERIAL, AND UNSUITABLE MATERIAL, AS REQUIRED, PRIOR TO PLACING STRUCTURAL FILL.
- COMPACT ALL EARTH FILLS AND GRANULAR MATERIAL LAYERS AS PER THE RELEVANT MMCD SPECIFICATIONS.
- THE CONTRACTOR SHALL PROVIDE TO THE CONTRACT ADMINISTRATOR, A FINAL REPORT FROM THE GEOTECHNICAL ENGINEER, PRIOR TO THE ISSUANCE OF A SUBSTANTIAL COMPLETION CERTIFICATE.
- ALL PROPOSED GRADING SHALL MEET EXISTING GROUND ELEVATIONS AT ADJOINING PROPERTY LINES UNLESS OTHERWISE NOTED.

DRAWING NOTES - ROADWORKS

- CHANGES OF GRADE AND DIRECTION SHALL BE FORMED BY SMOOTH VERTICAL AND HORIZONTAL CURVES.
- EARTHWORKS, INCLUDING STRIPPING ALL LOOSE OR OTHERWISE DELETERIOUS MATERIALS OR SOFT SPOTS, COMPACTING, AND SLOPE GRADING, SHALL BE COMPLETED AS PER CONTRACT DOCUMENTS.
- EMBANKMENTS SHALL BE PLACED, SHAPED, COMPACTED, AND PROTECTED TO STANDARDS AND SPECIFICATIONS AS REQUIRED IN THE CONTRACT DOCUMENTS.
- WHERE INFILLING OF EXISTING DITCHES ETC. IS REQUIRED, AND WHERE SERVICES ARE CONSTRUCTED IN FILL SECTION, FILL MATERIAL SHALL BE GRANULAR MATERIAL, SUPPLIED, PLACED & COMPACTED AS PER MMCD SPECIFICATION.
- ALL SUB-BASE ROAD AND GRANULAR BASE MATERIALS SHALL CONFORM TO MMCD SPECIFICATION.
- THE ROAD SUB-BASE AND BASE SHALL EXTEND A MINIMUM OF 0.3 METERS BEYOND ROAD EDGE OR CURB AND GUTTER.
- THE CONDITIONS FOR PLACING ASPHALT PAVEMENT AND CONCRETE SHALL CONFORM WITH THE SPECIFICATIONS DETAILED UNDER THE MMCD SUPPLEMENTARY SPECIFICATIONS AND DETAIL DRAWINGS.
- UNLESS OTHERWISE APPROVED, ASPHALTIC CONCRETE FOR ROADWORK SHALL BE LAID IN 2 LIFTS.
- TIE-INS TO EXISTING PAVEMENT SHALL BE MADE BY CUTTING BACK THE EXISTING PAVEMENT TO SOUND MATERIAL AS NECESSARY TO PRODUCE A NEAT VERTICAL FACE. PRIOR TO PLACING ASPHALTIC CONCRETE, EXPOSED PAVEMENT FACES AND OTHER ABUTTING STRUCTURES SHALL BE TACK COATED WITH ASPHALT EMULSION.
- ALL NEW PAVEMENT SHALL BE GRADED SO THAT NO PONDING FORMS. THE MINIMUM CROSS SLOPE ON ANY NEW OR OVERLAIN ROAD SURFACE SHALL BE 2%.
- ALL VALVES BOXES, MANHOLES, ETC., THAT ARE WITHIN THE PAVED SURFACE OF THE ROADWAY SHALL BE ADJUSTED TO FINISHED COURSE ELEVATION PRIOR TO FINISH COURSE PAVING.

DRAWING NOTES - SANITARY SEWER

- TIE-INS AND CONNECTIONS TO EXISTING SANITARY SEWERS TO BE PERFORMED BY THE CONTRACTOR UNDER THE DIRECT SUPERVISION OF THE CITY. COSTS ARE INCIDENTAL TO THE RELEVANT ITEM IN THE SCHEDULE OF QUANTITIES AND PRICES. A MINIMUM 72 HOURS NOTICE TO BE GIVEN FOR ANY TIE-IN.
- NEW SEWER LINES TIED TO EXISTING LINES SHALL BE PLUGGED UNTIL THEY ARE TESTED AND FLUSHED.
- POWER FLUSHING SHALL BE PERFORMED ON ALL MAINS PRIOR TO ACCEPTANCE. VIDEO TAPE OF ALL MAINS SHALL BE REVIEWED BY THE CITY PRIOR TO PLACING IN SERVICE. AIR TESTING AND VIDEO INSPECTION SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF THE CONSULTING ENGINEER. VIDEO FOOTAGE AND AIR TEST RESULTS SHALL BE PROVIDED TO THE CITY PROJECT MANAGER PRIOR TO THE ISSUANCE OF A SUBSTANTIAL COMPLETION CERTIFICATE.
- DELETERIOUS MATERIALS SHALL BE PREVENTED FROM ENTERING THE CITY'S SEWER SYSTEM.
- MANHOLES TO BE GROUTED BETWEEN PRECAST SECTION AND RISER RING(S).

DRAWINGS

- THIS SET OF DRAWINGS SHOWS THE COMPLETED PROJECT. THE DRAWINGS DO NOT SHOW COMPONENTS THAT MAY BE NECESSARY FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY IN AND ABOUT THE JOB SITE DURING CONSTRUCTION, AND THE DESIGN AND ERECTION OF ALL TEMPORARY STRUCTURES, FORMWORK, FALSE WORK, SHORING, ETC. REQUIRED TO COMPLETE THE WORK.
- THE INFORMATION ON THESE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PROJECT OR WORKS. THE INFORMATION ON THESE DRAWINGS APPLIES SOLELY TO THIS PROJECT.



LEGEND:

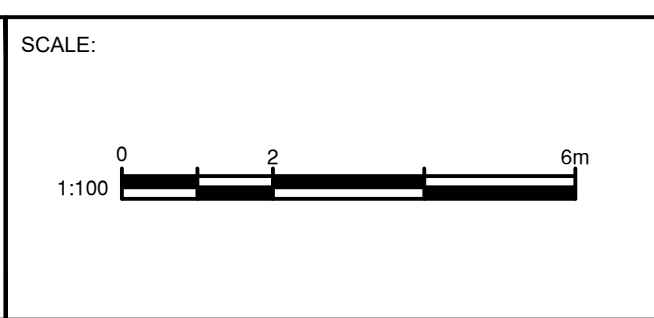
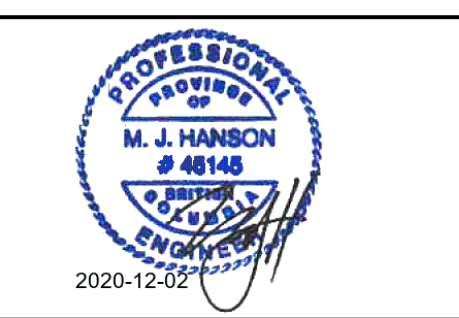
- ◆ FIRE HYDRANT
- ♣ SIGN
- ⊠ CATCHBASIN
- ⊙ MANHOLE
- ⊕ VALVE
- LAMP STANDARD

NOTES:

- ELEVATIONS ARE GEODETIC AND ARE BASED ON CANADIAN VERTICAL DATUM 2013.
- CONTOURS: 0.20m MINOR, 1.0m MAJOR

U:\Projects\1951\1114\Drawings\AutoCAD\1951-1-1 Subdivision Servicing Plan Rev A - Townhomes.dwg DATE: 2020-10-13 11:34 AM BT: Jessica Cui

REV NO	REVISIONS	DATE	DRAWN	APPRD
A	ISSUED FOR PERMIT APPROVAL	09/18/2020	JLC	MH



DESIGNED:	MH
DRAWN:	JLC
CHECKED:	JM
SURVEYED:	OTHER
DATE:	SEPT 2020

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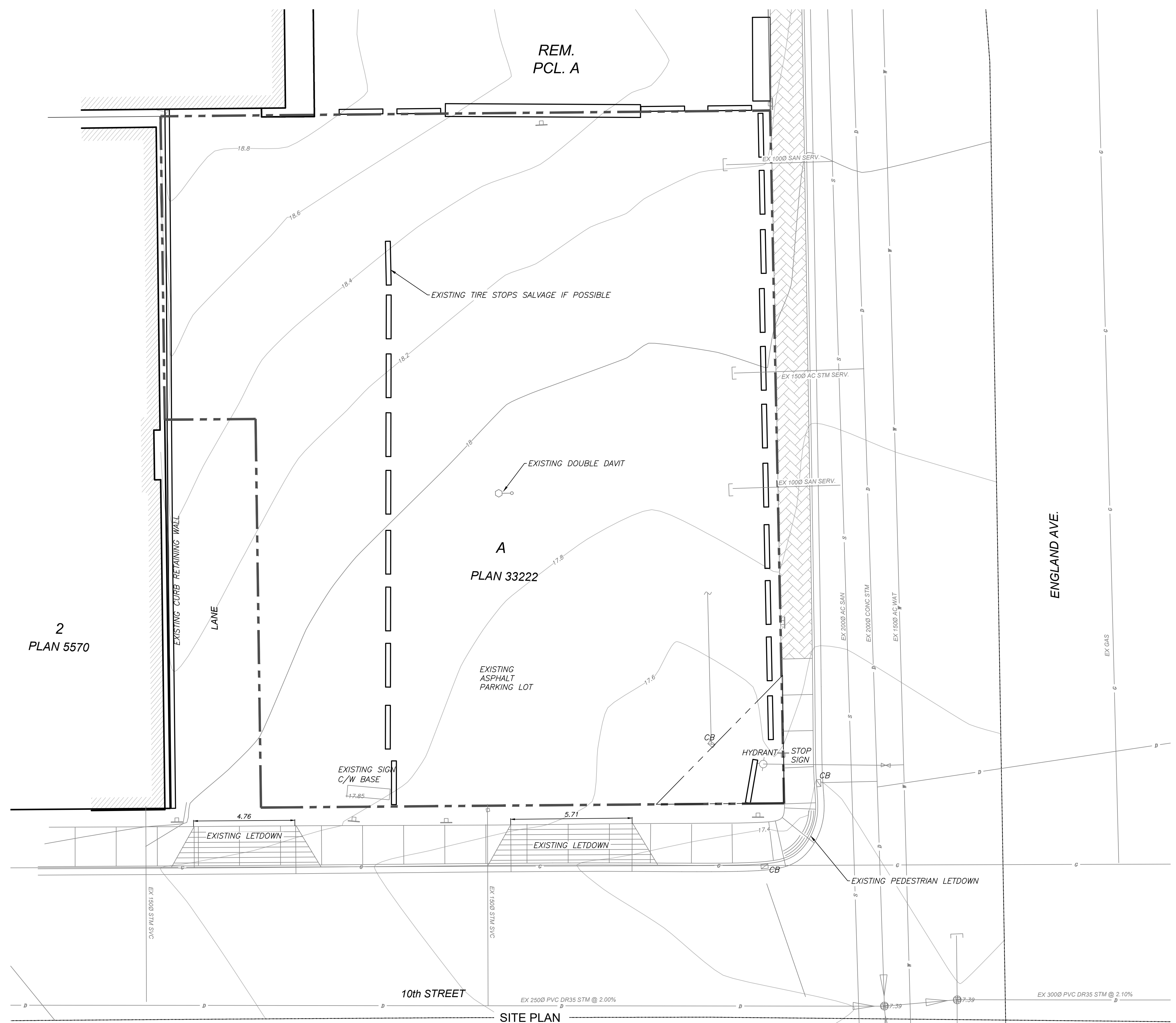
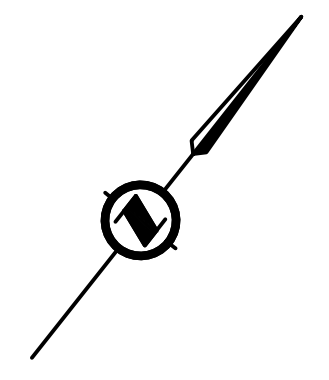
CANADIAN COMMUNITY HOUSING

995 ENGLAND AVENUE SERVICING

GENERAL NOTES, KEY PLAN AND LEGEND

CLIENT PROJECT NO.	----
OEL PROJECT NO.	1951-1
DRAWING NO.	001
SHEET:	2 OF 7

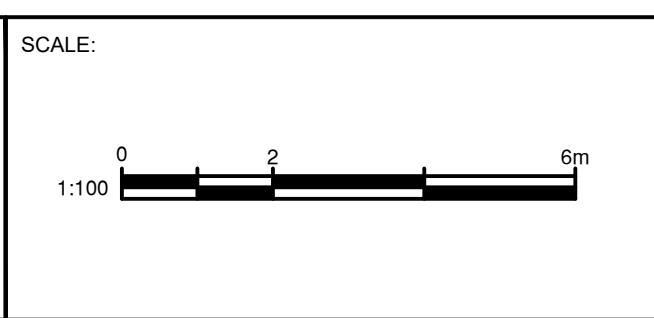
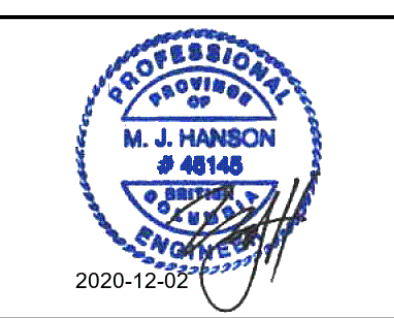




SITE PLAN

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REV NO	REVISIONS	DATE	DRAWN	APPRD
0	ISSUED FOR PERMITS APPROVAL	09/12/2020	JLC	MH



DESIGNED:	MH
DRAWN:	JLC
CHECKED:	JM
SURVEYED:	OTHER
DATE:	SEPT 2020

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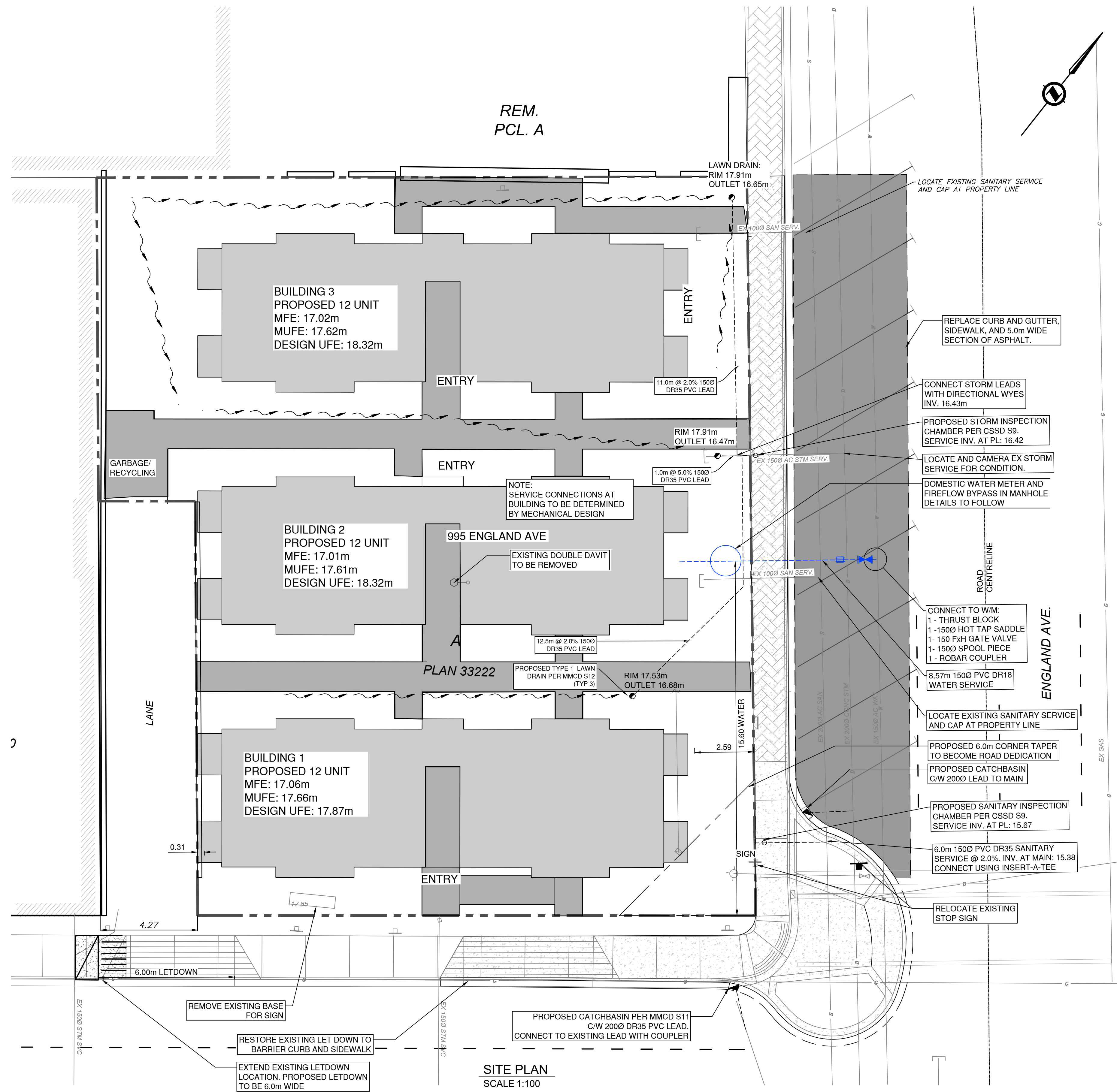
COASTAL OPERATIONS
1040 CEDAR STREET
CAMPBELL RIVER, BC, V9W 7E2
PH: 250-287-9174 FAX: 866-235-6943

CANADIAN COMMUNITY HOUSING
995 ENGLAND AVENUE SERVICING
EXISTING CONDITIONS

CLIENT PROJECT NO.	----
OEL PROJECT NO.	1951-1
DRAWING NO.	100
SHEET:	3 OF 7

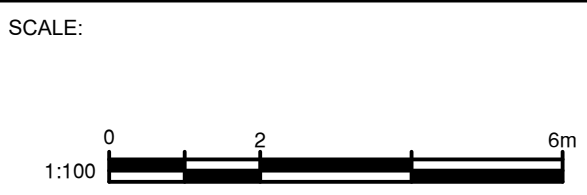


REV A



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A	ISSUED FOR PERMIT APPROVAL	09/18/2020	JLC	MH



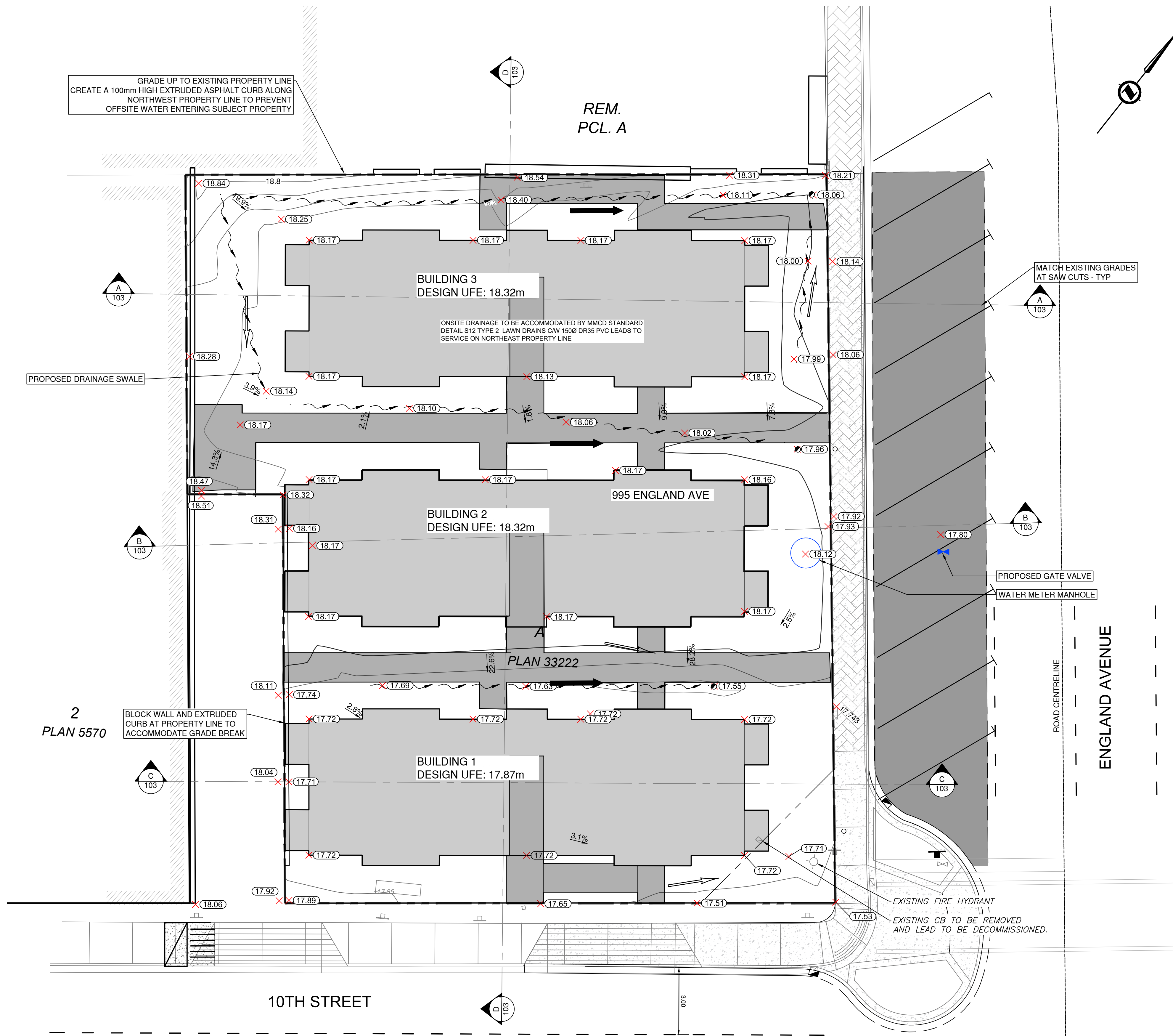
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 DRAWN: JLC
 CHECKED: JM
 SURVEYED: OTHER
 DATE: SEPT 2020

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 ENGINEERING LTD.
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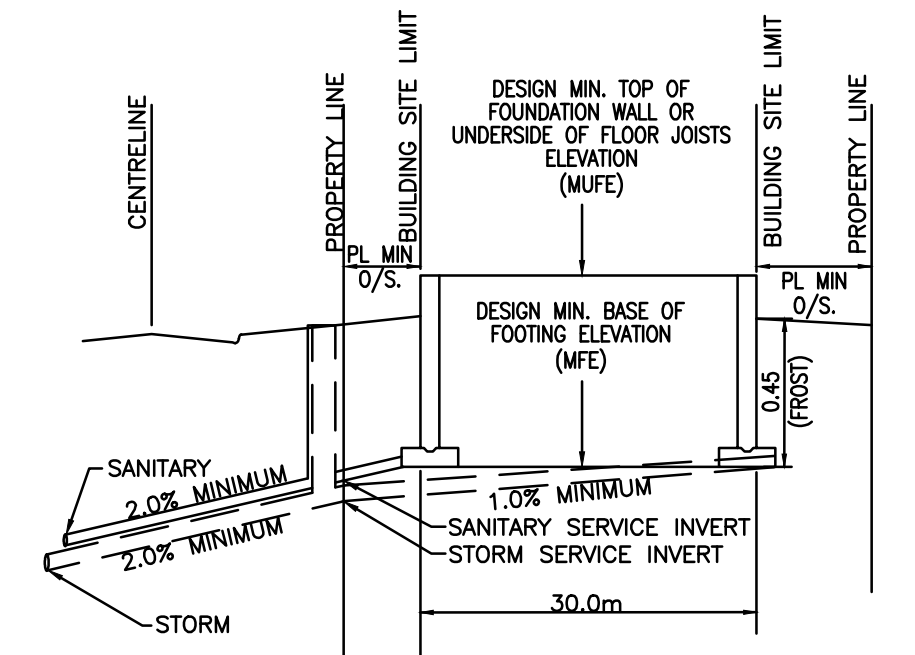
CANADIAN COMMUNITY HOUSING
 995 ENGLAND AVENUE SERVICING
 SITE SERVICING PLAN

CLIENT PROJECT NO.
 OEL PROJECT NO. 1951-1
 DRAWING NO. 101
 SHEET: 4 OF 7 REV A





- NOTES:
- 1) CONTRACTOR TO OBTAIN A FILLING PERMIT FROM THE CITY PRIOR TO GRADING SITE.
 - 2) THE DESIGN HABITABLE FLOOR ELEVATIONS ARE NOT TO BE USED TO STRIKE SLAB OR JOIST ELEVATIONS. RATHER, ACTUAL "AS BUILT" STORM AND SANITARY SERVICE POINT ELEVATIONS MUST BE VERIFIED FROM RECORD CARDS IN CONJUNCTION WITH CITY BUILDING DIVISION (OR BY DIRECT EXCAVATION IN THE FIELD) PRIOR TO BUILDING CONSTRUCTION. DETAIL THIS SHEET TO THEN BE USED TO DETERMINE MINIMUM UNDERSIDE OF FLOOR JOIST ELEVATIONS.
 - 3) THE DEVELOPER/CONTRACTOR MUST GRADE LOT AS PER THE DESIGN AS SHOWN. ENGINEER OF RECORD OR THEIR DESIGNATE TO CERTIFY AT TIME OF COMPLETION THAT OVERALL SURFACE DRAINAGE AND 100 YEAR FLOOD ROUTE ARE AS PER THE GRADING DESIGN, "ISSUED FOR CONSTRUCTION". OR ENGINEER OF RECORD APPROVED AMENDMENTS THEREOF.
 - 4) THE DEVELOPER/CONTRACTOR MAY WISH TO ARRANGE FOR TEST HOLES TO BE EXCAVATED WITHIN THE BUILDING ENVELOPES TO ENSURE THAT PREVIOUS OWNERS HAVE NOT HAD FILL MATERIAL PLACED ON THE LAND. ANY TEST HOLE LOGS MUST BE MADE AVAILABLE TO THE ENGINEER OF RECORD. THE DEVELOPER/CONTRACTOR MUST ADVISE THE ENGINEER OF RECORD OF ANY AREAS OF PREVIOUS FILL THAT ARE ENCOUNTERED WITHIN THE LOTS DURING THE CONSTRUCTION OF THE DEVELOPMENT. ELEVATIONS AT PROPERTY LINE ARE BASED ON LOCAL SITE SURVEY AND ACTUAL CONDITIONS AT PROPERTY LINE ARE TO BE MATCHED.



HIGHEST INVERT +0.35m FOR MIN U/S FOOTING (MFE) & MFE + FROST (0.45) + FDN WALL ABOVE GRADE (0.15) FOR MIN U/S FLOOR JOISTS OR TOP OF SLAB ELEVATION (MUFE)

HABITABLE FLOOR CONFIGURATION DETAIL

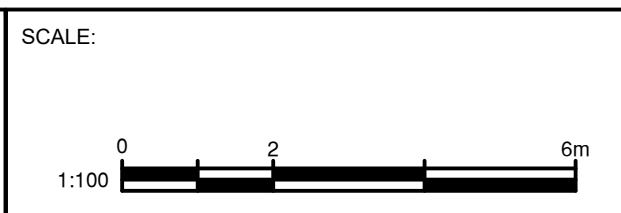
- GRADING LEGEND:
- MAJOR OVERLAND FLOOD ROUTING (100 YEAR)
 - FLOW ON LOT
 - PROPOSED FINISHED GRADE
 - MFE MINIMUM UNDERSIDE OF FOOTING ELEVATION
 - MUFE MINIMUM UNDERSIDE OF JOIST / TOP OF SLAB ELEVATION

ELEVATIONS ARE GEODETIC AND ARE BASED ON CANADIAN VERTICAL DATUM 2013.
CONTOUR INTERVAL = 0.2m

SITE PLAN SCALE 1:100

U:\Projects\1951\114\Drawings\AutoCAD\1951-1-1 Subdivision Servicing Plan Rev A - Townhomes.dwg DATE: 18/10/2019 3:51 PM BY: Jessica Currie

REV NO	REVISIONS	DATE	DRAWN	APPRD
A	ISSUED FOR PERMIT APPROVAL	09/18/2020	JLC	MH



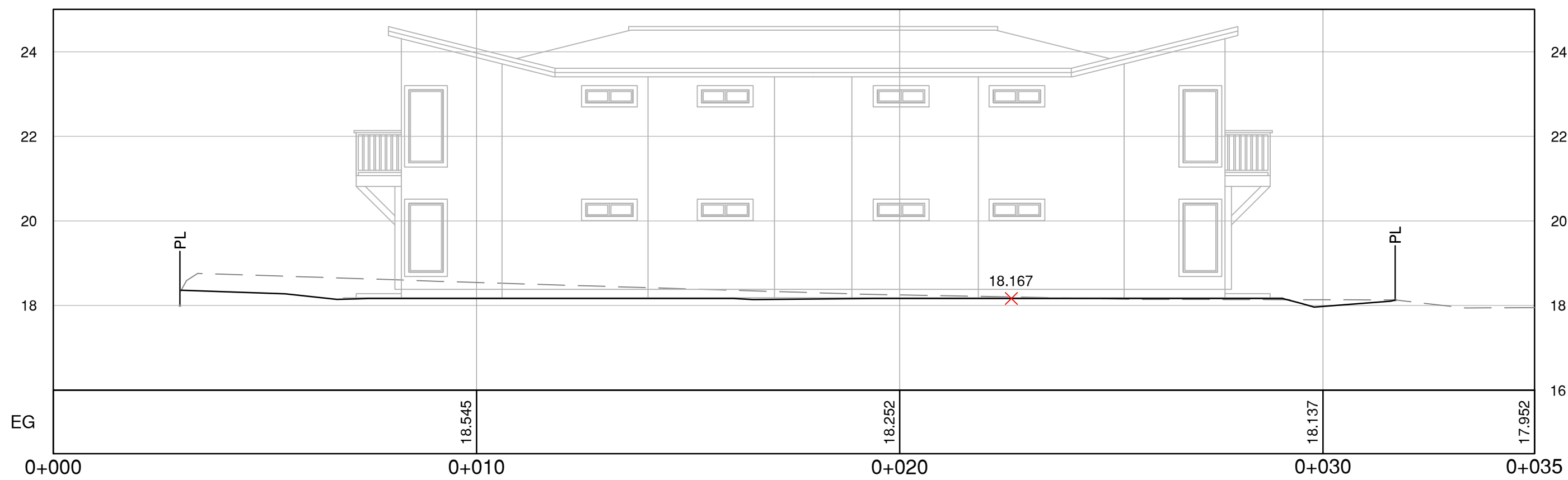
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SURVEYED: OTHER
DATE: SEPT 2020

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CANADIAN COMMUNITY HOUSING
995 ENGLAND AVENUE SERVICING
PROPOSED SITE GRADING

CLIENT PROJECT NO.
OEL PROJECT NO. 1951-1
DRAWING NO. 102
SHEET: 5 OF 7 REV A

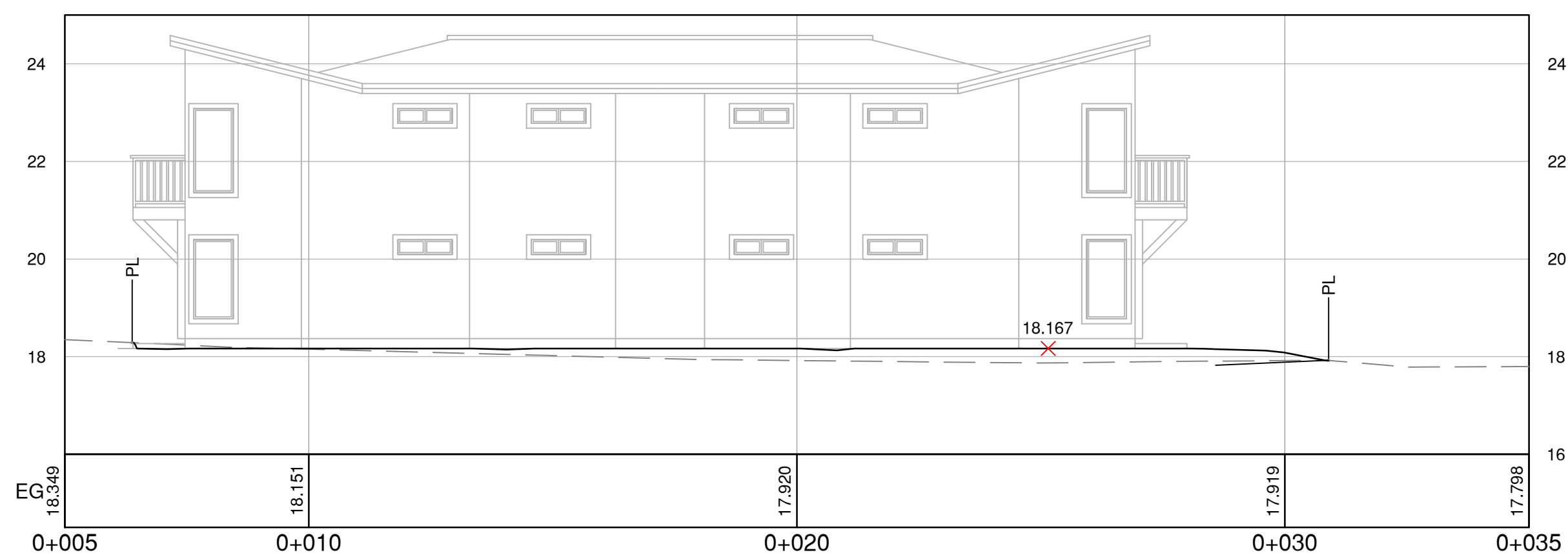




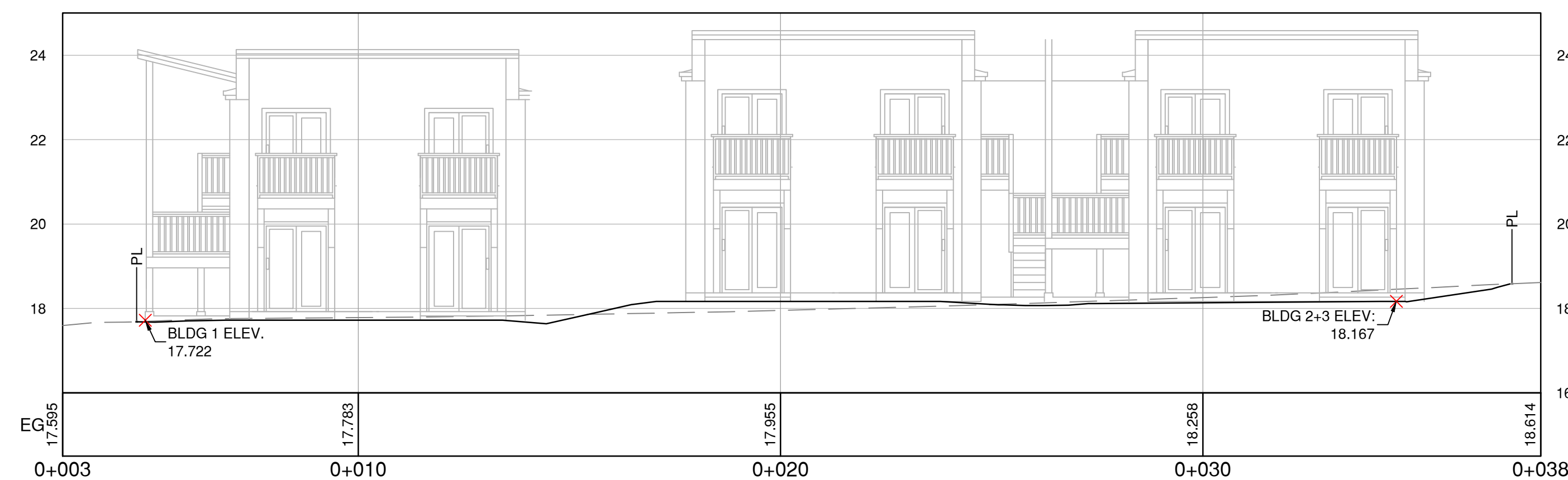
A SECTION
102 SCALE 1:100



C SECTION
102 SCALE 1:100



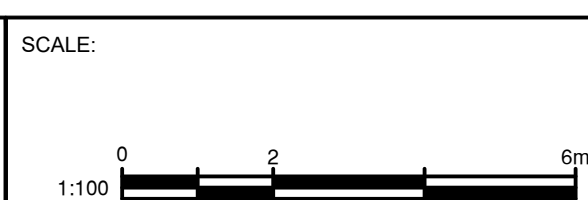
B SECTION
102 SCALE 1:100



D SECTION
102 SCALE 1:100

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DATE: 18/10/2019 3:51 PM BY: Jessica Currie

REV NO	REVISIONS	DATE	DRAWN	APPRD
A	ISSUED FOR PERMIT APPROVAL	09/18/2020	JLC	MH



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CANADIAN COMMUNITY HOUSING
995 ENGLAND AVENUE SERVICING
SITE SECTIONS

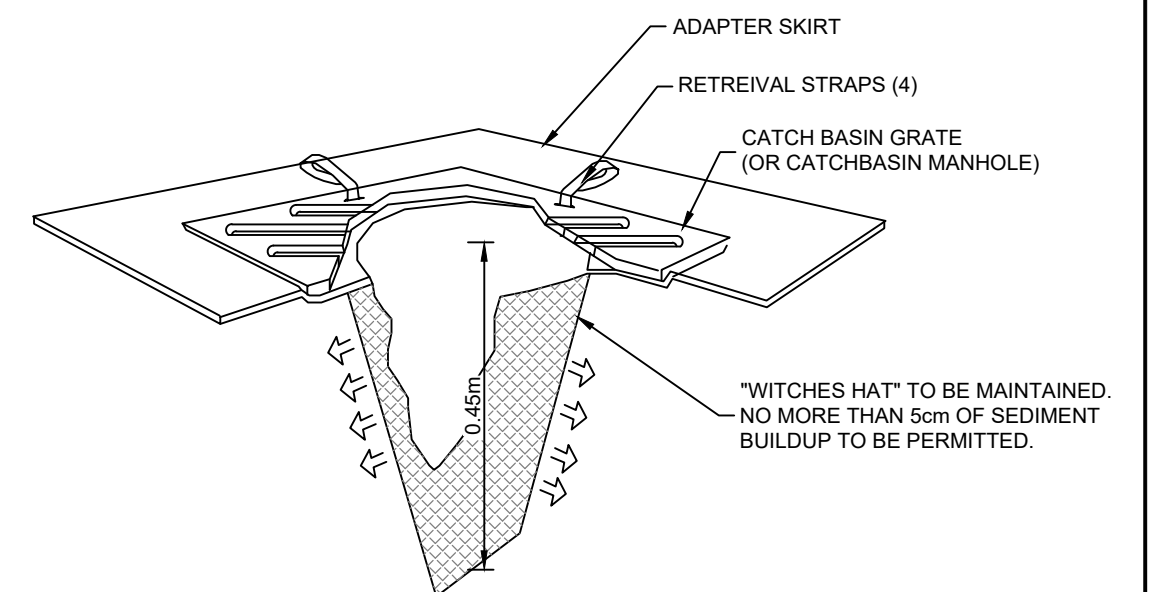
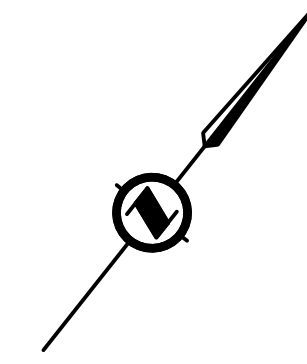
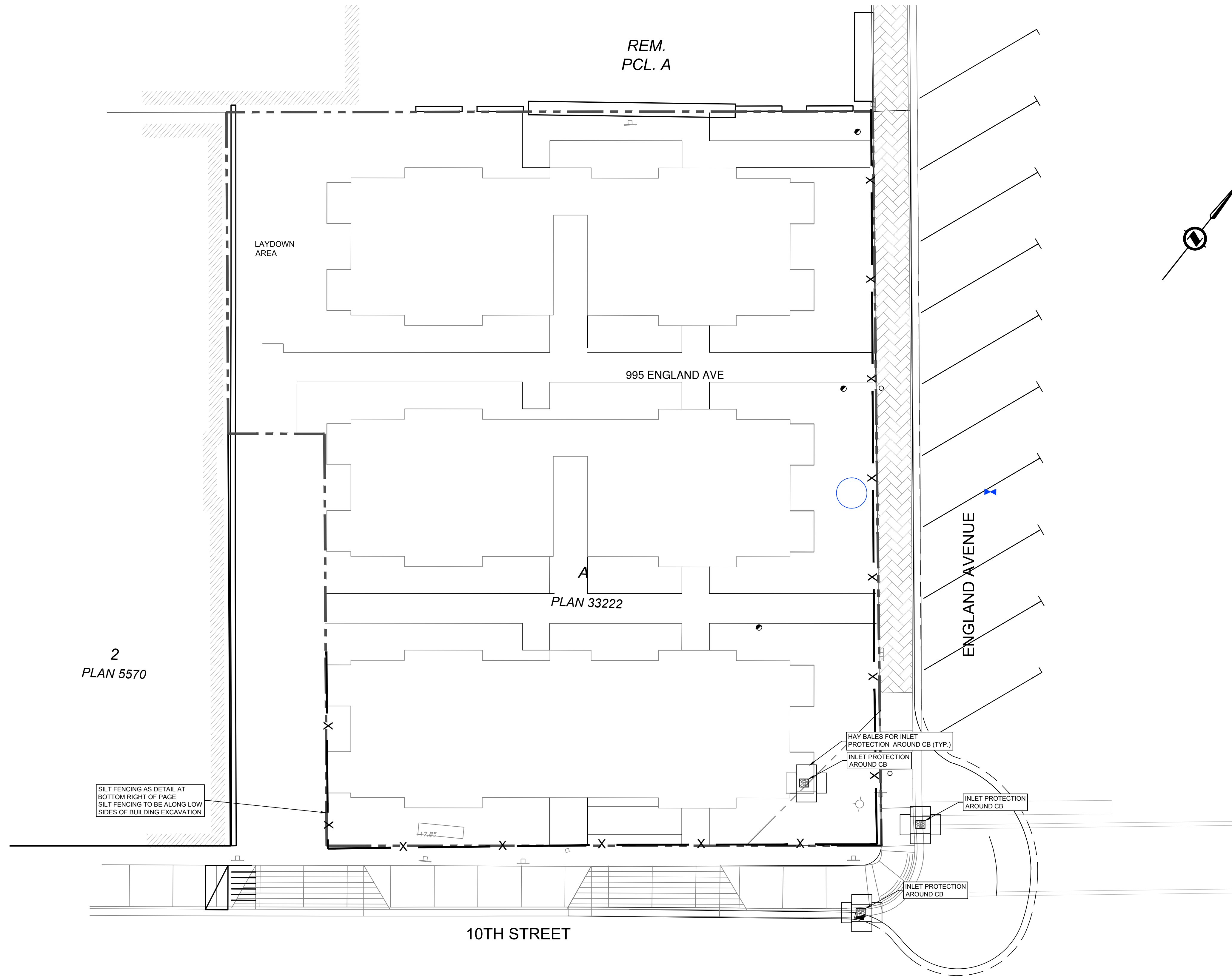
CLIENT PROJECT NO.	
OEL PROJECT NO.	1951-1
DRAWING NO.	103
SHEET:	6 OF 7



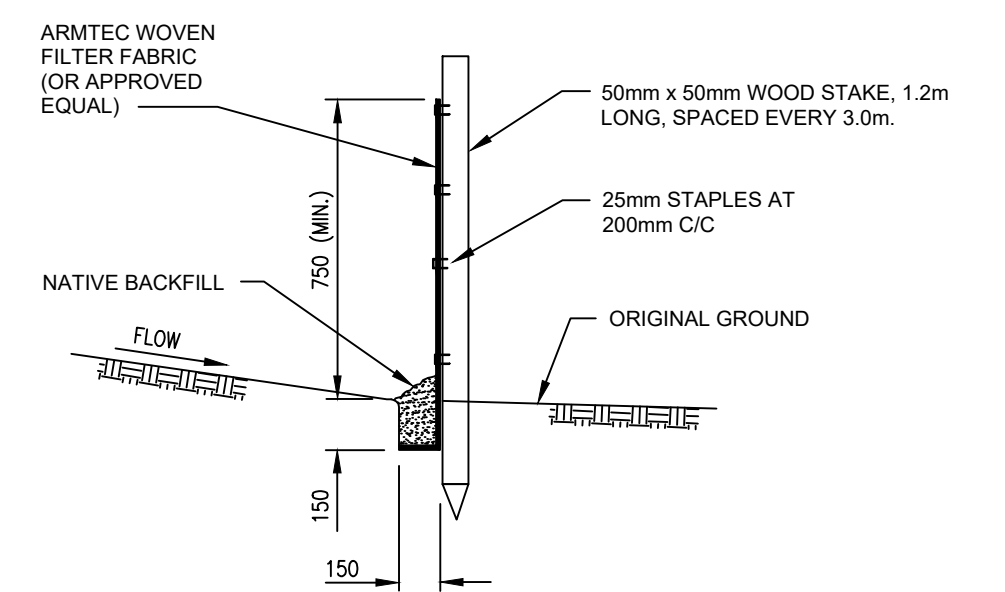
REV A

1. GENERAL SILTATION CONTROL NOTES:
- 1.1 DEVELOPMENT PERMIT HOLDER (THROUGH HIS CIVIL CONTRACTOR) SHALL BE RESPONSIBLE TO PROVIDE SITE EROSION AND SEDIMENT CONTROL (ESC) AS NECESSARY TO PREVENT THE RELEASE OF SEDIMENT OR SEDIMENT LADEN WATERS FROM ENTERING THE CITY DRAINAGE SYSTEMS DURING SITE CLEARING, AND CIVIL CONSTRUCTION STAGES OF THE DEVELOPMENT.
 - 1.2 THE ESC MONITOR (DESIGNATED BY THE DEVELOPER) SHALL BE RESPONSIBLE FOR THE FOLLOWING:
 - 1.2.1 VISUALLY MONITOR ANY RECEIVING WATERS, INCLUDING WATERCOURSES, DITCHES, SWALES OR BODIES OF WATER UP TO 50 METRES OUTSIDE OF THE CONSTRUCTION AREA.
 - 1.2.2 STANDARD TURBIDITY LIMITS ARE:

25 NTUS	DURING DRY CONDITIONS
100 NTUS	DURING WET CONDITIONS
 - 1.3 A WRITTEN RECORD OF THESE CONDITIONS IS RECOMMENDED. THE EROSION AND SEDIMENT CONTROL (ESC) PLANS ARE DEEMED TO BE A MINIMUM LEVEL OF CONTROL FOR THIS PROJECT.
 - 1.4 DEVELOPER'S CIVIL CONTRACTOR IS TO ENSURE THAT APPROPRIATE ESC MEASURES ARE IN PLACE, PROPERLY MAINTAINED, AND OPERATIONAL ALSO ON WEEKENDS, HOLIDAYS, AFTER CONSTRUCTION ACTIVITIES AND UNTIL THE DATE OF COMPLETION.



INLET PROTECTION
ALL STORM STRUCTURES WITH TOP INLETS
NTS



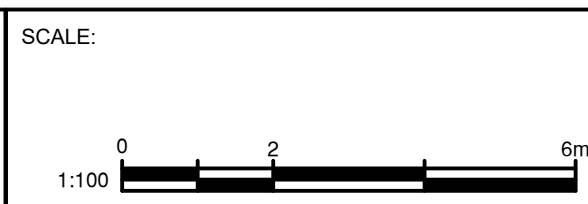
SILT FENCE
NTS



EROSION & SEDIMENT CONTROL PLAN

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DATE: 16/10/2019 3:51 PM BY: Jessica Currie

REV NO	REVISIONS	DATE	DRAWN	APPRD
A	ISSUED FOR PERMIT APPROVAL	09/18/2020	JLC	MH



DESIGNED: MH
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CANADIAN COMMUNITY HOUSING
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EROSION AND SEDIMENT CONTROL PLAN

CLIENT PROJECT NO.
OEL PROJECT NO. 1951-1
DRAWING NO. 104
SHEET: 7 OF 7 REV A