

PROJECT DATA

PROJECT INFORMATION	PROJECT DESCRIPTION THIS PROJECT CONSISTS OF A 3-MULTI-FAMILY RESIDENTIAL BUILDINGS WITH ONE LEVEL PARKADE / FIVE LEVELS OF RESIDENTIAL					
	BUILDING CODE THE APPLICABLE BUILDING CODE IS THE BCBC OF THE 2018 INCLUDING ALL ADDENDA					
	PROJECT DATA					
	MUNICIPAL ADDRESS	801 RYAN ROAD				
	LEGAL DESCRIPTION	LOT 1, SECTION 14, COMOX DISTRICT, PLAN 27905 EXCEPT PARTS IN PLANS 38112 AND VIP53727				
	ZONING	PERMITTED C1-A	PROPOSED CD	NOTES		
	MUNICIPALITY	COURTENAY				
	LOT AREA (SF)	216042.55 SQ FT (4.96 ACRES / 2.0 HA)				
	DENSITY	251 UNITS / 4.96 Ac = 50.6 DU/ACRES				
	LOT COVERAGE % (SF)	PERMITTED -	PROPOSED 24.5 % 53100.5 SQ FT			
BUILDING SETBACKS	REQUIRED PROPOSED	FRONT	REAR	INTER. SIDE	CORN. SIDE	
		24'-7 1/8" (7.5m)	19'-8 1/4" (6.0m)	9'-10 1/8" (3.0m)	-	
BUILDING HEIGHT	PERMITTED	PROPOSED				
		## m	16 m			
USABLE OPEN SPACE	UNIT COUNT (251) X 20 SQ M = 5,020 SQ M	DECK = UNIT COUNT * AREA				
		DECK A = 251 * 6.96 = 1746.96 DECK B = 10 * 14.77 = 147.70 DECK C = 2 * 232 = 464.00 2358.66 OUTDOOR AREA 1 = 419.73 OUTDOOR AREA 2 = 2206.08 OUTDOOR AREA 3 = 136.28 2762.09 TOTAL = 5120.75				
INDOOR AMENITY SPACE	0	DOG WASH = 18.11 BUSINESS CENTRE = 170.84 188.96				
BUILDING	FLOOR AREA RATIO (SF)	PERMITTED		PROPOSED		
		-		1.24		
	AREA	-		268934.5 SQ FT		
		PARKADE SF NOT INCLUDED				
	BUILDING A	63164.5		63164.5		
		BUILDING B	102885		102885	
	BUILDING C	102885		102885		
	TOTAL		268,934.5 SQ FT			
	UNIT BREAKDOWN *EXCLUDES DECKS / PATIOS	UNITS	TYPE	NUMBER	(SF)	(SF) TOTAL
		A2	2 BED / 2 BATH	16	948	15168
A3,A4,A5,A6		2 BED / 2 BATH	62	965	59830	
D2		2 BED / 2 BATH	6	928	5568	
D3,D4,D5		2 BED / 2 BATH	18	944	16992	
D6A		1 BED / 1 BATH	4	790	3160	
E2		3 BED / 2 BATH	6	1030	6180	
E3,E4,E5		3 BED / 2 BATH	18	1046	18828	
E6A		2 BED / 2 BATH	6	888	5328	
F2		1 BED / 1 BATH	7	635	4445	
F3,F4,F5,F6		1 BED / 1 BATH	38	652	24776	
L2		2 BED / 1 BATH	3	852	2556	
L3,L4,L5,L6		2 BED / 1 BATH	12	868	10416	
O2		2 BED / 1 BATH	3	866	2598	
O3,O4,O5,O6		2 BED / 1 BATH	12	882	10584	
N2	2 BED / 2 BATH	8	948	7584		
N3,N4,N5,N6	2 BED / 2 BATH	32	965	30880		
TOTAL		251		224,893		
PARKING	PROPOSED PARKING	SMALL CAR	-	22	-	
		STANDARD CAR	135	151	-	
		ACCESSIBLE	-	6	-	
		TOTAL	314			
	31 SPOTS (10%) TO BE DESIGNATED VISITOR					
	REQUIRED PARKING	REQUIRED				
		APARTMENTS	-	314	-	-
		1.25 DWELLING UNITS	-	-	-	-
	TOTAL		314			
	BIKE STORAGE 1:1	REQUIRED		PROVIDED		
SHORT TERM		-	-	32	-	
LONG TERM		-	-	254	-	
TOTAL		251		286		

DRAWING INDEX

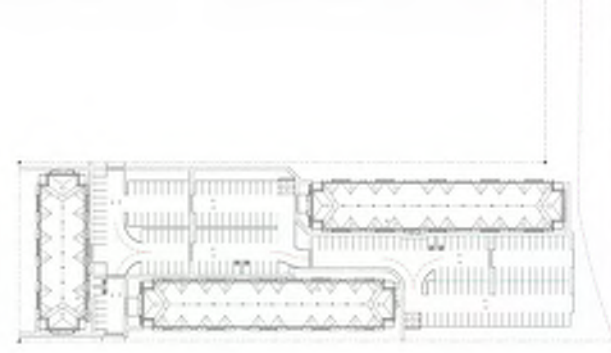
Sheet Number	Sheet Name
A0.0	COVER SHEET
A1.0	SITE PLAN
A1.1	SITE PLAN - PARKING
A1.2	SITE - OFFSITE
A1.3	SHED ROOF PERGOLA
A1.4	SITE ACCESSORIES
A1.5	SITE ACCESSORIES
A1.6	SITE PERSPECTIVE
A1.7	SITE PERSPECTIVE
A2.0	PARKADE PLAN - BUILDING A
A2.3	BUILDING SECOND FLOOR PLAN - BUILDING A
A2.4	THIRD AND FOURTH FLOOR PLAN - BUILDING A
A2.5	FIFTH FLOOR AND SIXTH PLAN - BUILDING A
A2.6	ROOF PLAN - BUILDING A
A2.7	PARKADE PLAN - BUILDING B
A2.10	SECOND FLOOR PLAN - BUILDING B
A2.11	THIRD FLOOR PLAN - BUILDING B
A2.12	FOURTH FLOOR PLAN - BUILDING B
A2.13	FIFTH FLOOR PLAN - BUILDING B
A2.14	SIXTH FLOOR PLAN - BUILDING B
A2.15	ROOF PLAN - BUILDING B
A2.16	PARKADE PLAN - BUILDING C
A2.19	SECOND FLOOR PLAN - BUILDING C
A2.20	THIRD FLOOR PLAN - BUILDING C
A2.21	FOURTH FLOOR PLAN - BUILDING C
A2.22	FIFTH FLOOR PLAN - BUILDING C
A2.23	SIXTH FLOOR PLAN - BUILDING C
A2.24	ROOF PLAN - BUILDING C
A3.1	ELEVATIONS 1 OF 2 - BUILDING A
A3.2	ELEVATIONS 2 OF 2 - BUILDING A
A3.3	ELEVATIONS 1 OF 2 - BUILDING B
A3.4	ELEVATIONS 2 OF 2 - BUILDING B
A3.5	ELEVATIONS 1 OF 2 - BUILDING C
A3.6	ELEVATIONS 2 OF 2 - BUILDING C
A3.7	COLOUR ELEVATIONS 1 OF 2 - BUILDING A
A3.8	COLOUR ELEVATIONS 2 OF 2 - BUILDING A
A3.9	COLOUR ELEVATIONS 1 OF 2 - BUILDING B
A3.10	COLOUR ELEVATIONS 2 OF 2 - BUILDING B
A3.11	COLOUR ELEVATIONS 1 OF 2 - BUILDING C
A3.12	COLOUR ELEVATIONS 2 OF 2 - BUILDING C

VICINITY MAP



VICINITY MAP IS ONLY AN APPROXIMATION OF PROJECT LOCATION

SITE MAP:



PROJECT STATUS:

RE-ISSUED FOR VENDOR

Revision Schedule

No.	Description	Revision Date
A	CITY PRE-APP	03/05/2020
B	ISSUED FOR VENDOR APP.	06/05/2020
C	ISSUED FOR REZONING	07/09/2020
D	RE-ISSUED FOR VENDOR	08/04/2020

SEAL: **ABELEARCHITECTURE**
THOMAS C. ABLE, ARCHITECT ABC. T. 604-682-6818

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PROJECT NAME:

GLENHART VIEWS

PROJECT NUMBER:

-

ADDRESS:

801 RYAN ROAD
COURTENAY, BC

DRAWING TITLE:

COVER SHEET

DRAWN BY: PD

CHECKED BY: RF

DATE: 08/04/2020

SCALE: 1/4" = 1'-0"

DRAWING #:

A0.0

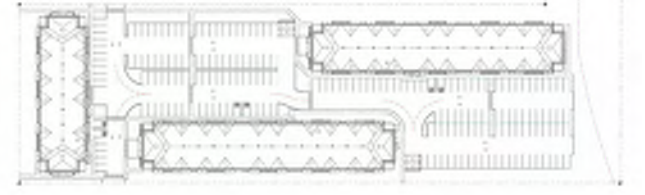
REV #:

D

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SITE MAP:



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GLENHART VIEWS

PROJECT NUMBER:

ADDRESS:

801 RYAN ROAD
COURTENAY, BC

DRAWING TITLE:

SITE PLAN

DRAWN BY: PD

CHECKED BY: RF

DATE: 08/04/2020

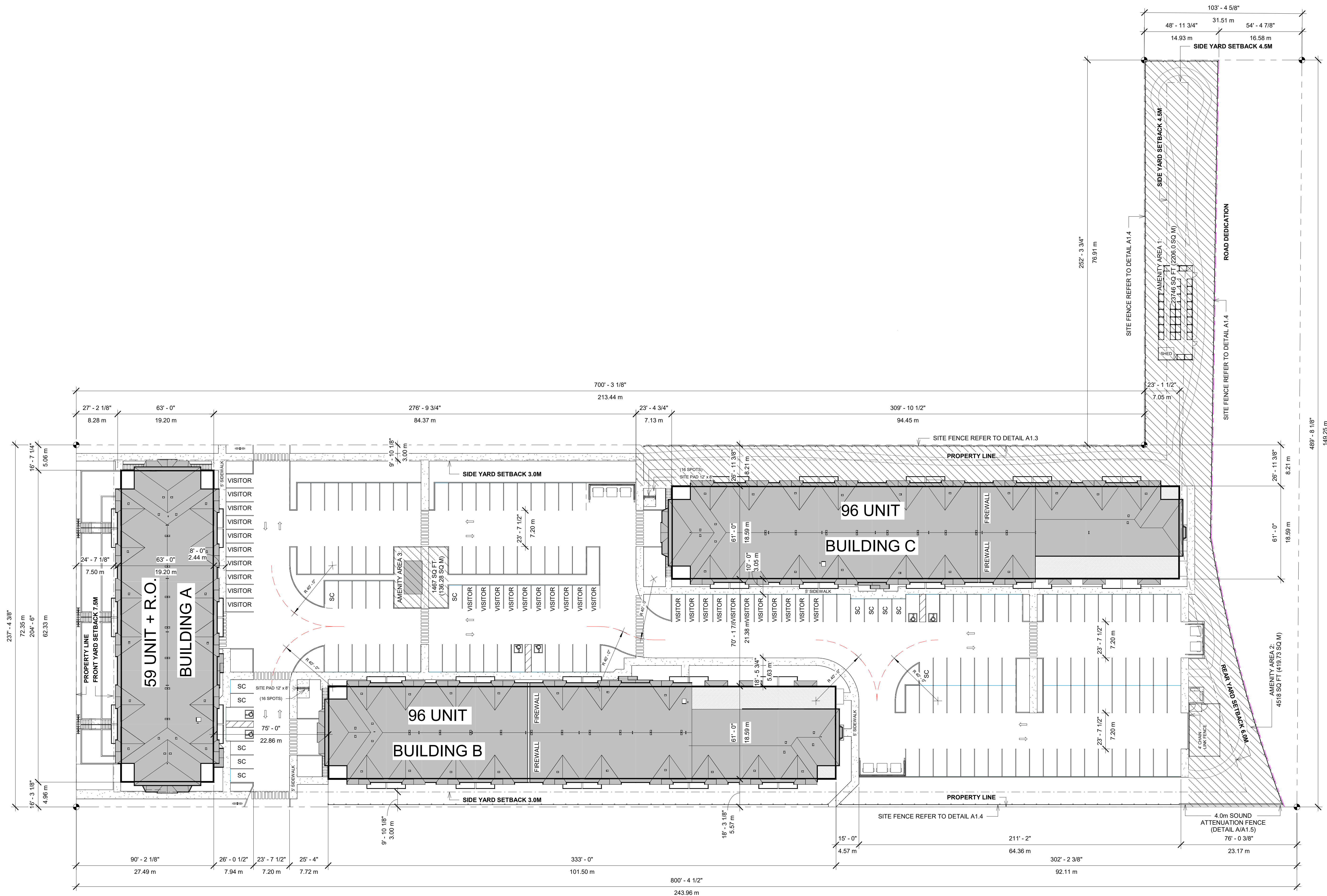
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REV #:

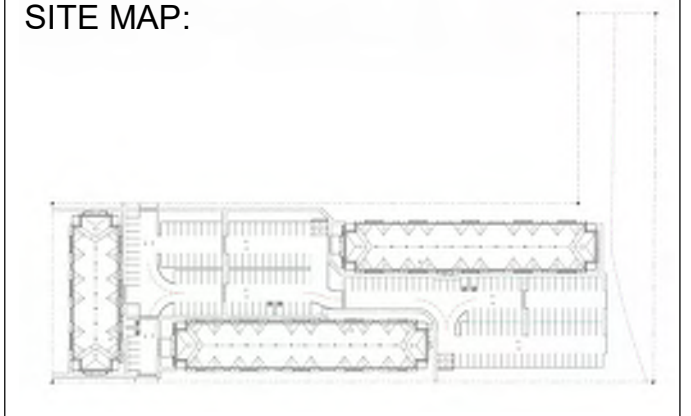
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1 SITE PLAN LAYOUT
1" = 30'-0"

RE-ISSUED FOR VENDOR

08/04/2020 9:29:06 AM



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PROJECT NUMBER:
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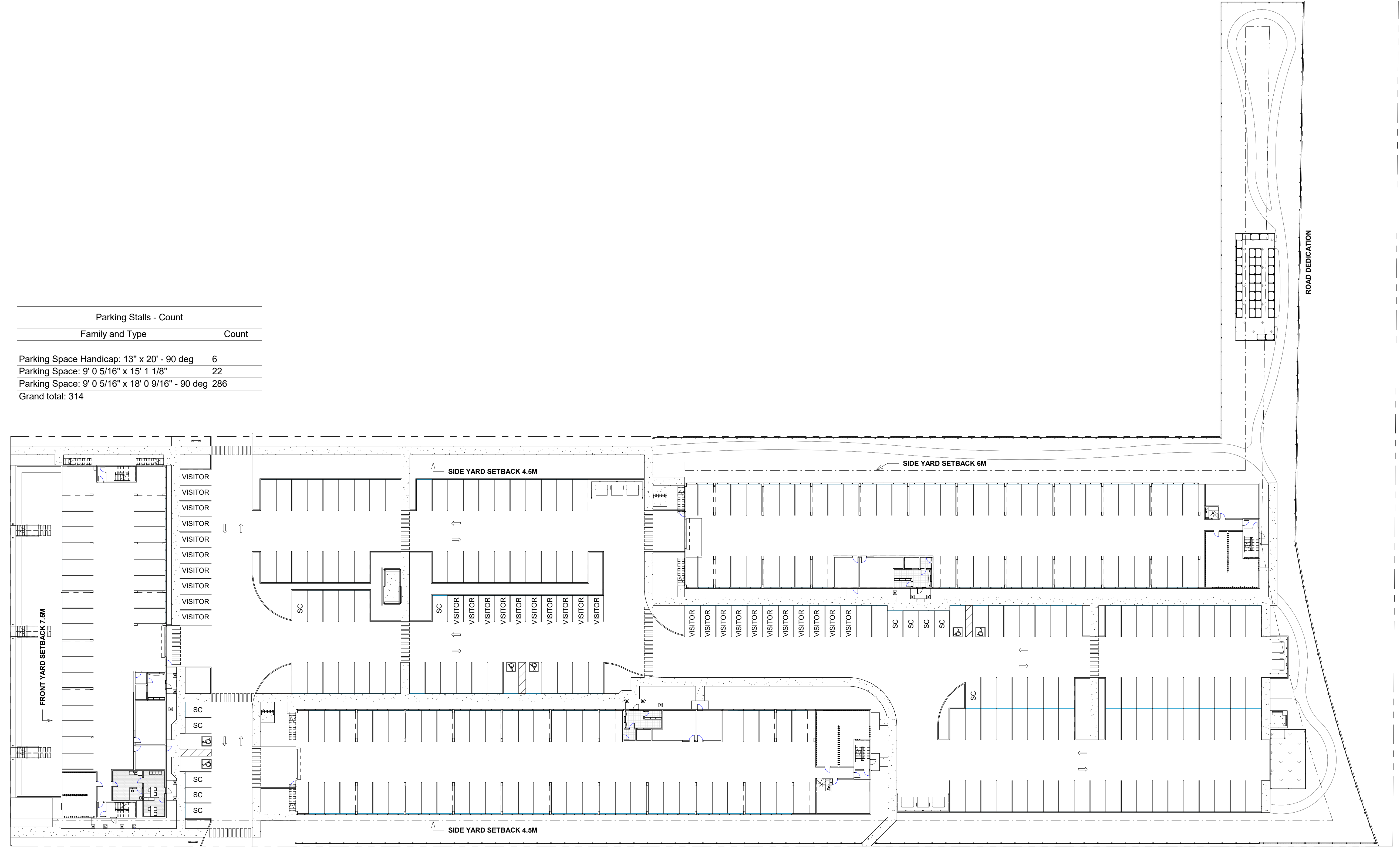
ADDRESS:
801 RYAN ROAD
COURTENAY, BC

DRAWING TITLE:
SITE PLAN - PARKING

DRAWN BY: PD
CHECKED BY: RF
DATE: 08/04/2020
SCALE: 1" = 30'-0"

DRAWING #: **A1.1** REV #: **D**

Parking Stalls - Count	
Family and Type	Count
Parking Space Handicap: 13" x 20' - 90 deg	6
Parking Space: 9' 0 5/16" x 15' 1 1/8"	22
Parking Space: 9' 0 5/16" x 18' 0 9/16" - 90 deg	286
Grand total:	314

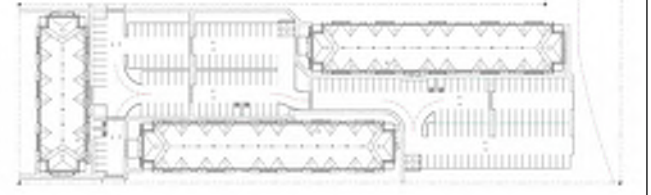


1 SITE PARKING - LAYOUT
1" = 30'-0"

08/04/2020 9:29:14 AM

RE-ISSUED FOR VENDOR

SITE MAP:



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801 RYAN ROAD
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DRAWING TITLE:

SITE - OFFSITE

DRAWN BY: PD

CHECKED BY: RF

DATE: 08/04/2020

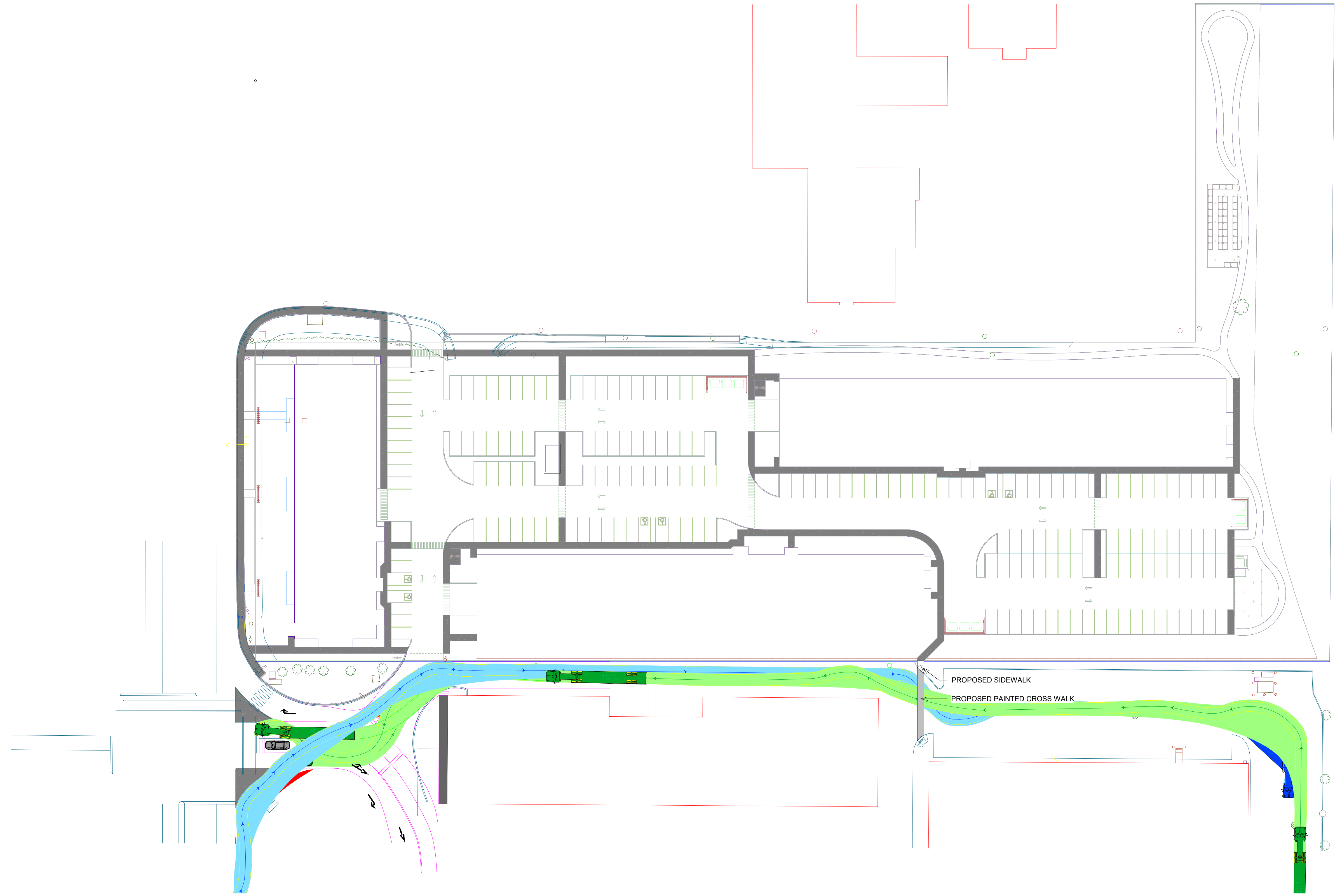
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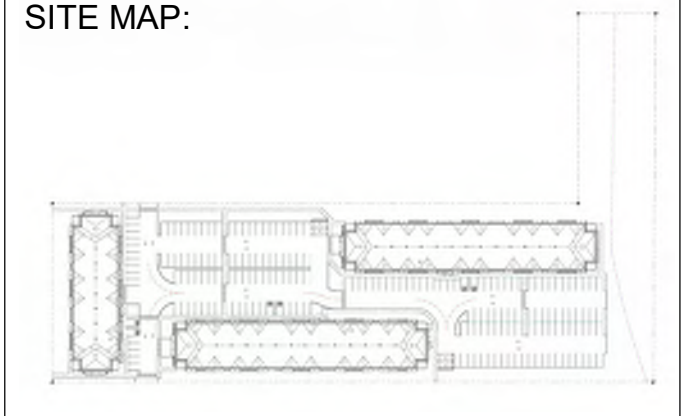
REV #:

D



① SITE PLAN - FLOOR PLAN
1" = 40'-0"

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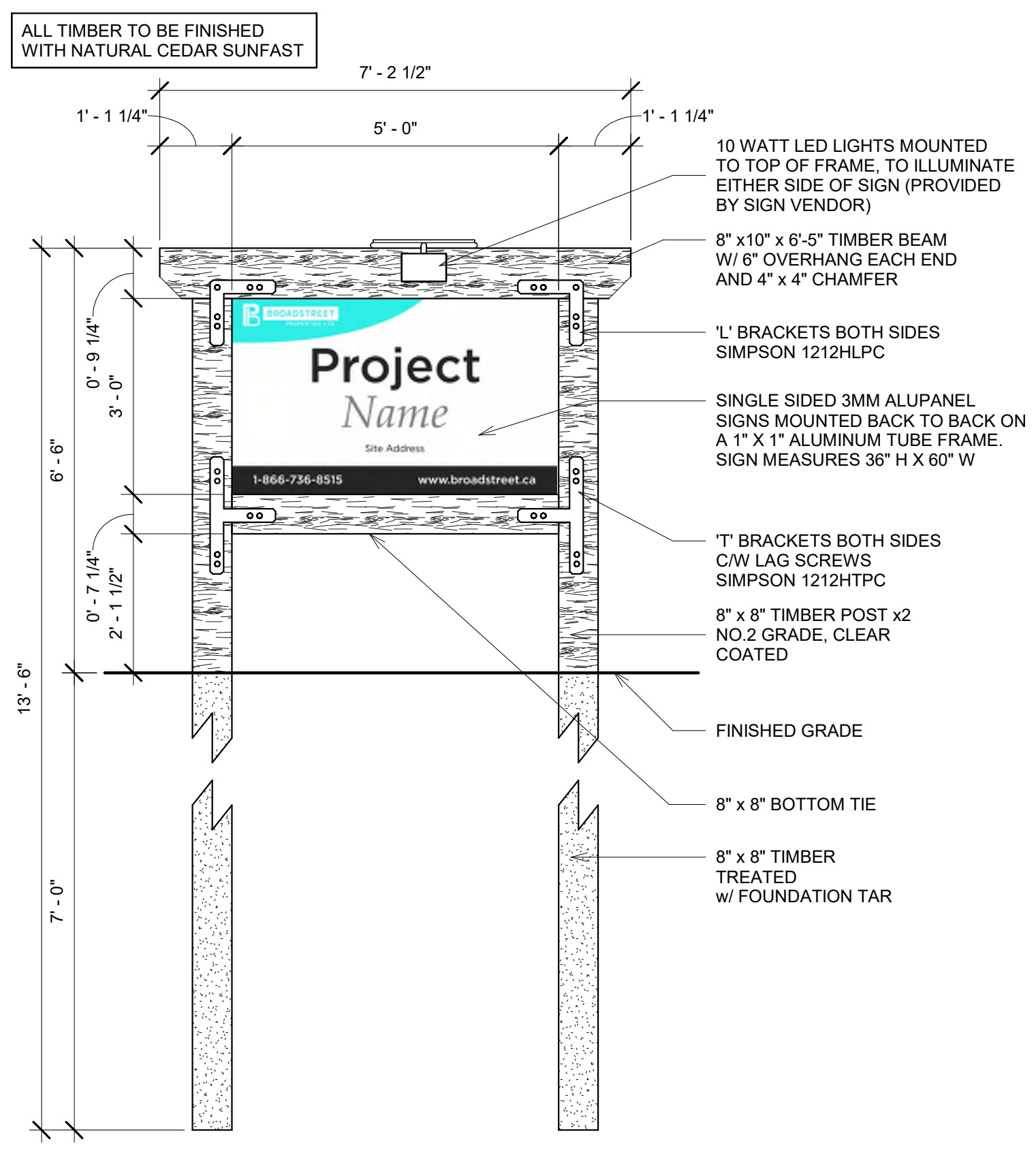
PROJECT NUMBER:
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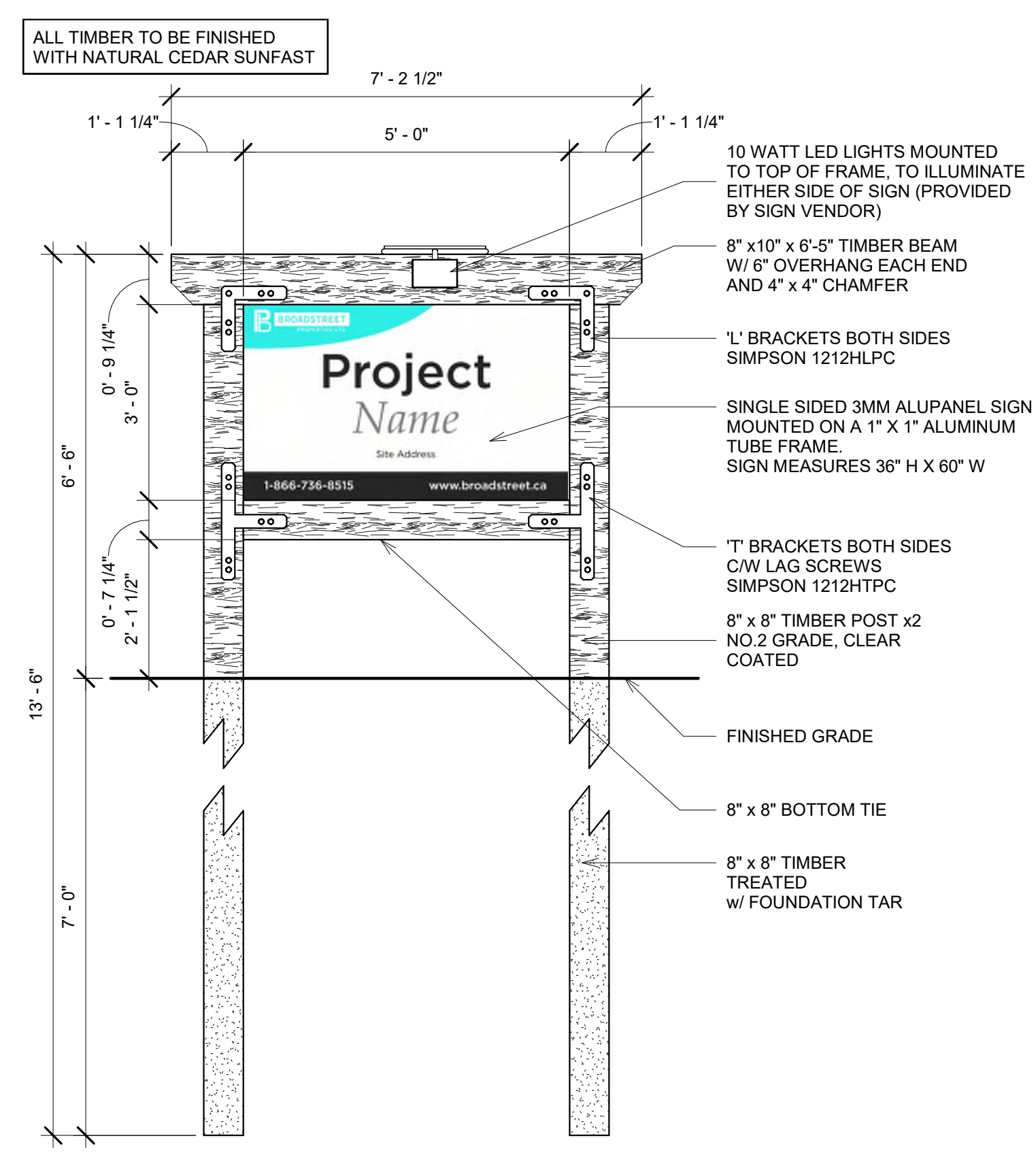
DRAWING TITLE:
SITE ACCESSORIES

DRAWN BY: PD
CHECKED BY: RF
DATE: 08/04/2020
SCALE: As indicated

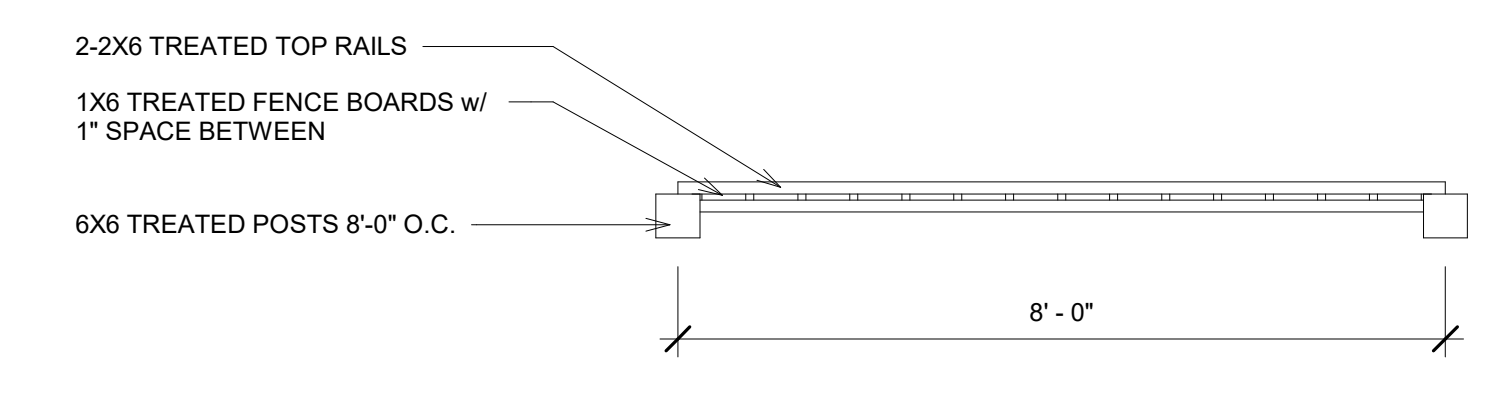
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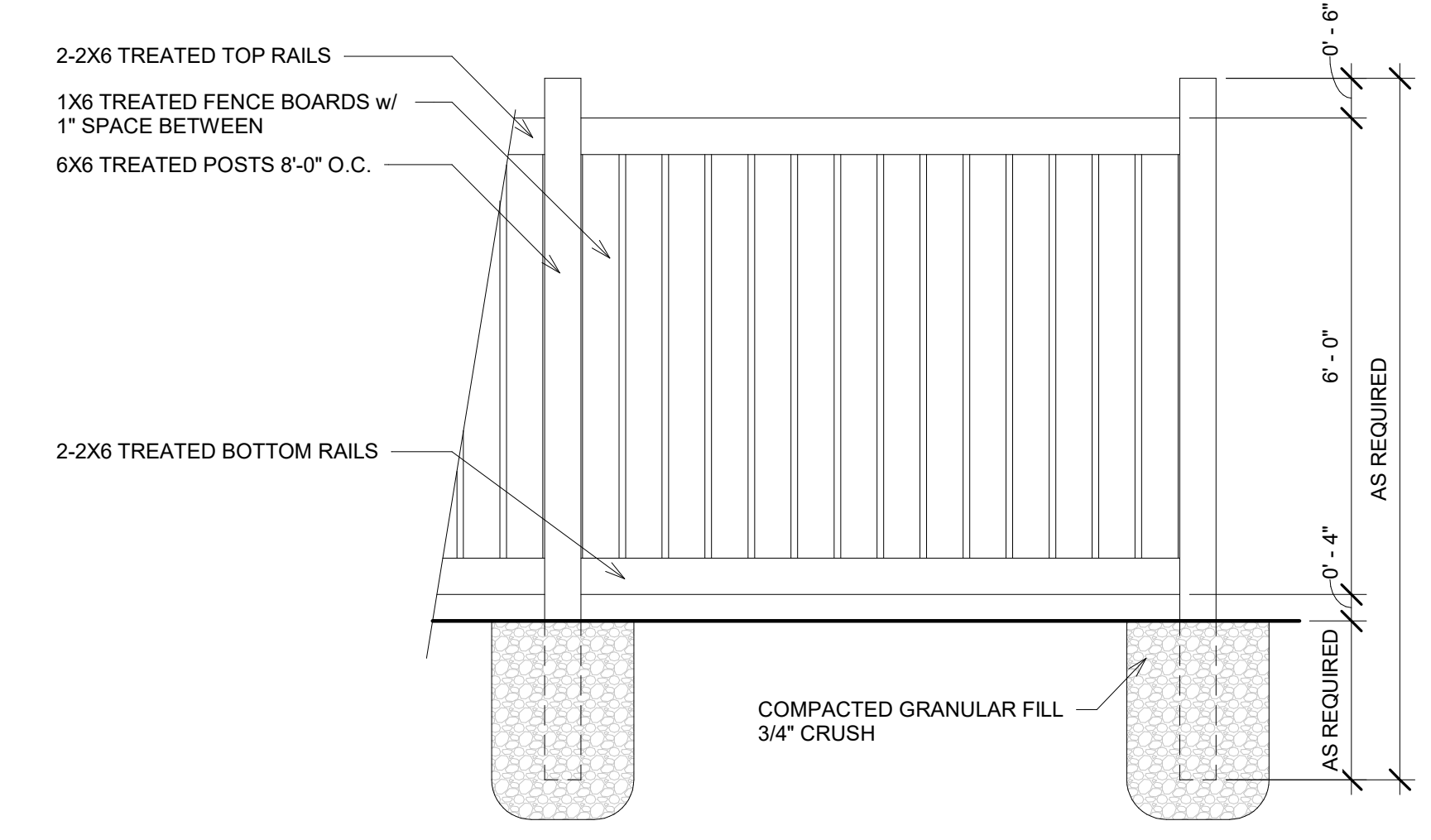
1 ENTRY SIGN
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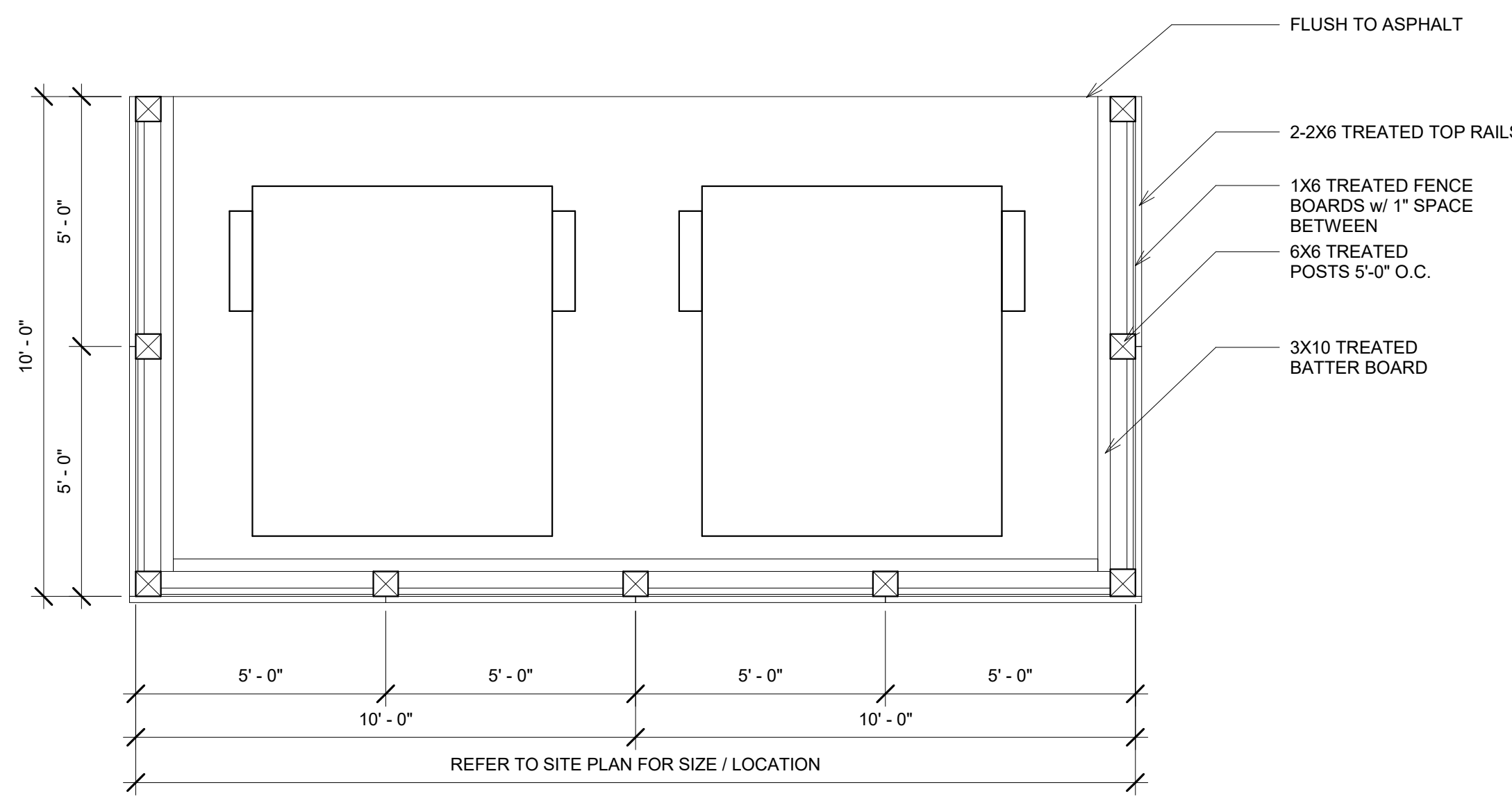
10a RENTAL OFFICE DIRECTION SIGN
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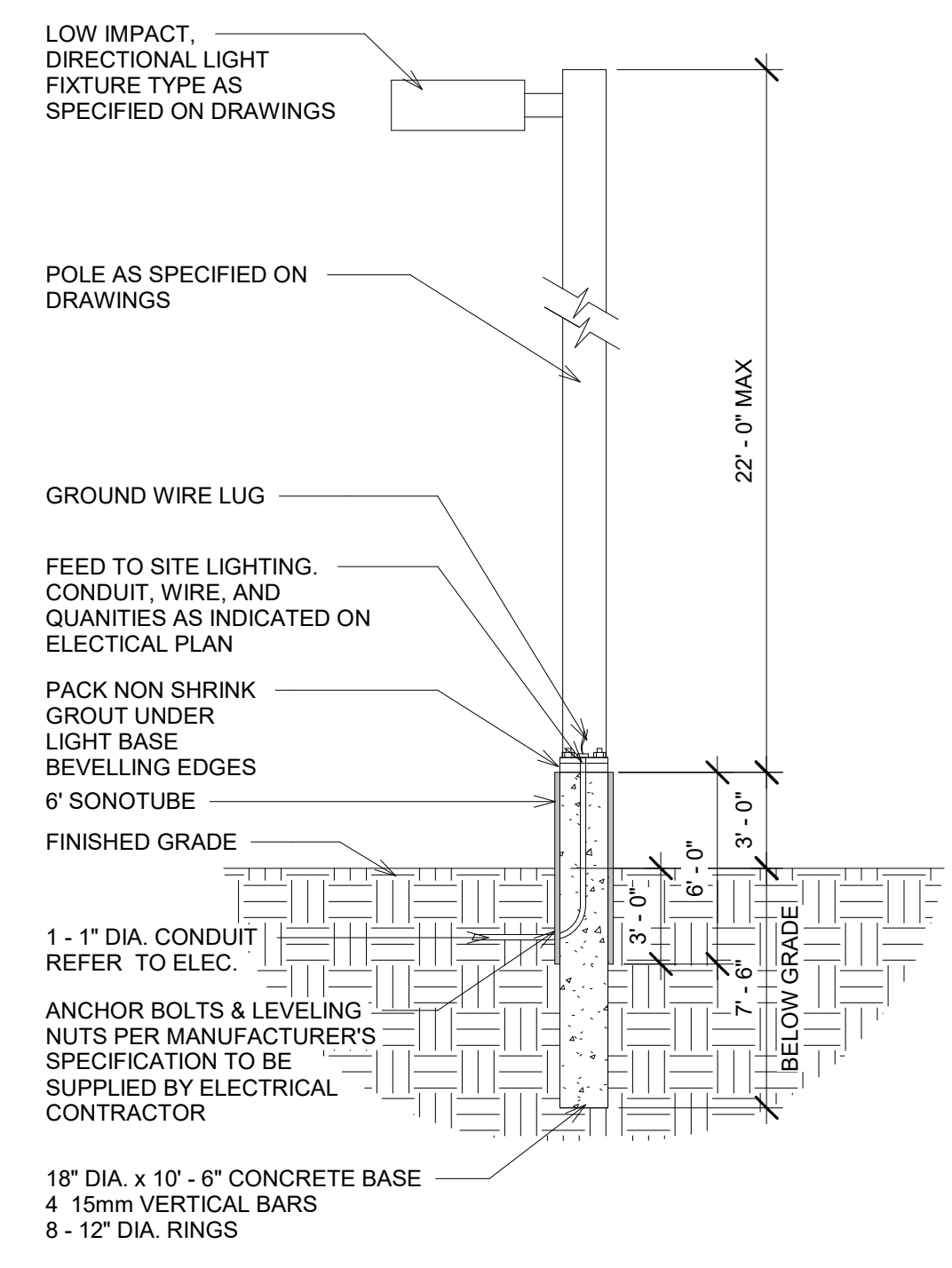
5 SITE FENCE PLAN DETAIL
1/2" = 1'-0"



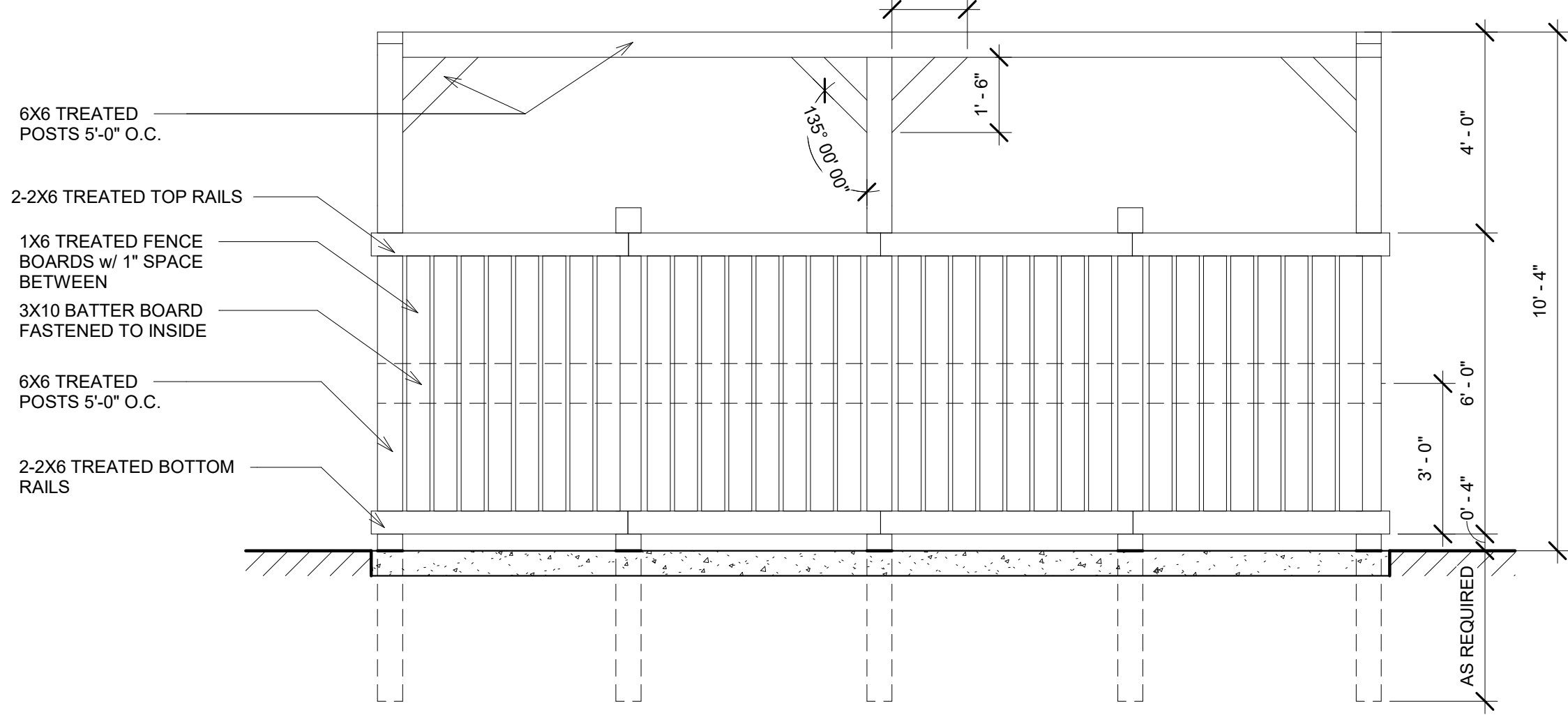
4 SITE FENCE TYPE (1) ELEVATION DETAIL
1/2" = 1'-0"



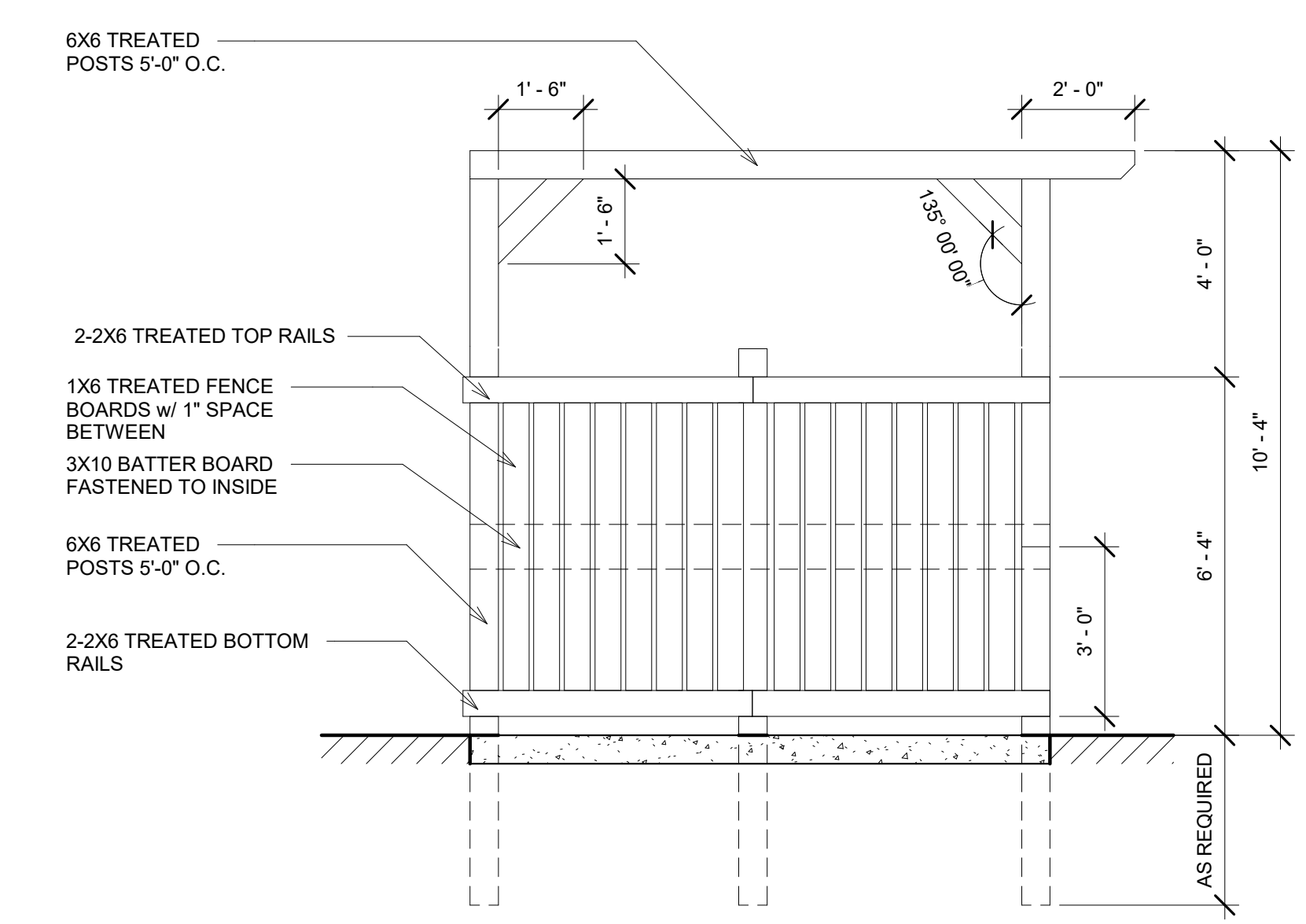
7 GARBAGE ENCLOSURE EX. (TWO BIN)
3/8" = 1'-0"



6 TYPICAL SITE LIGHTING
3/16" = 1'-0"



8 GARBAGE ENCLOSURE ELEVATION
3/8" = 1'-0"

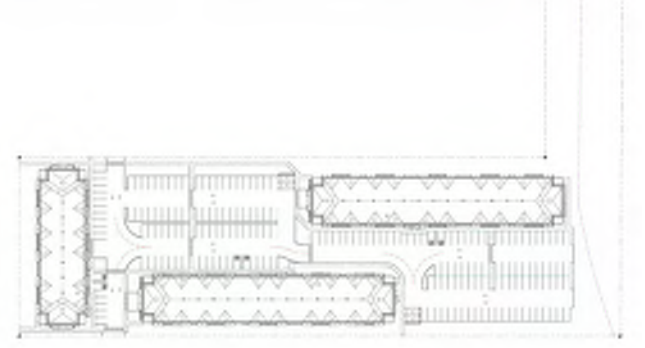


9 GARBAGE ENCLOSURE SIDE ELEVATION
3/8" = 1'-0"

08/04/2020 9:29:20 AM

RE-ISSUED FOR VENDOR

SITE MAP:



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PROJECT NUMBER:

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801 RYAN ROAD
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CHECKED BY: RF

DATE: 08/04/2020

SCALE: As indicated

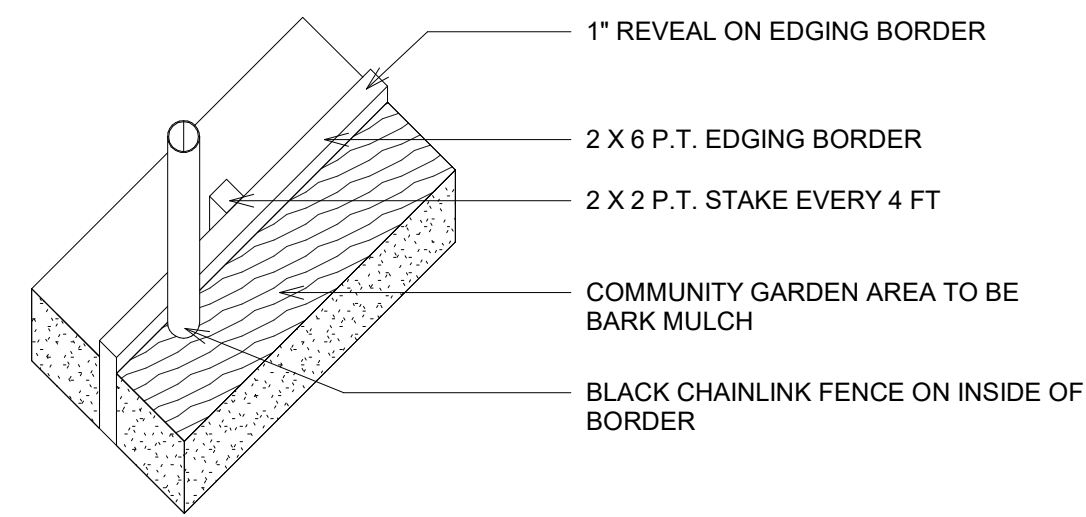
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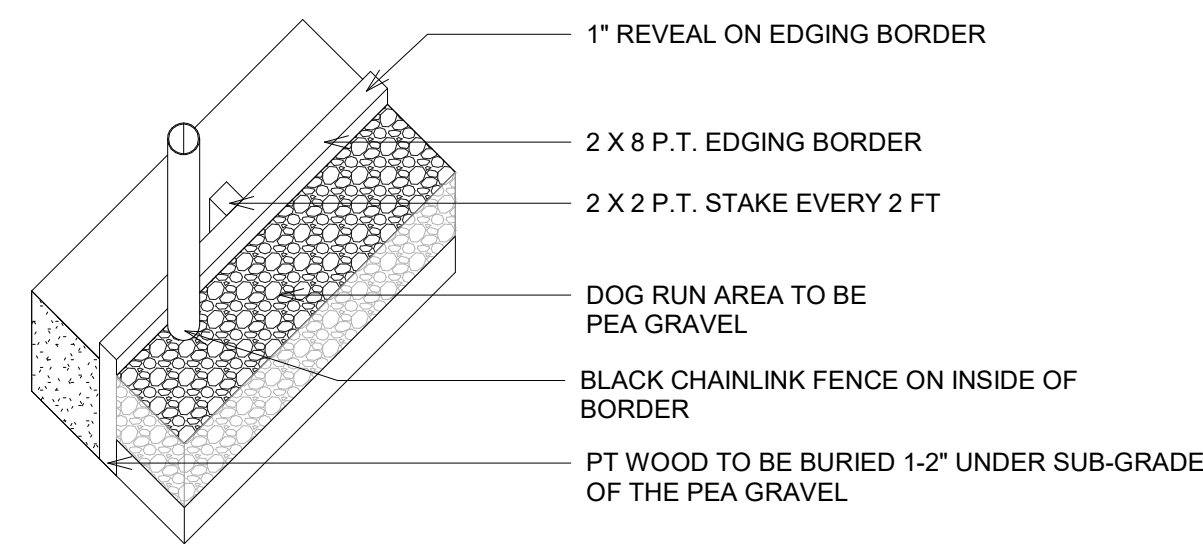
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D

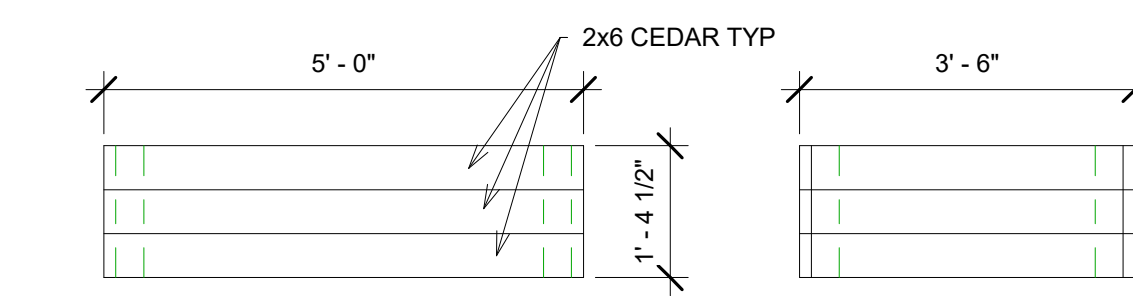
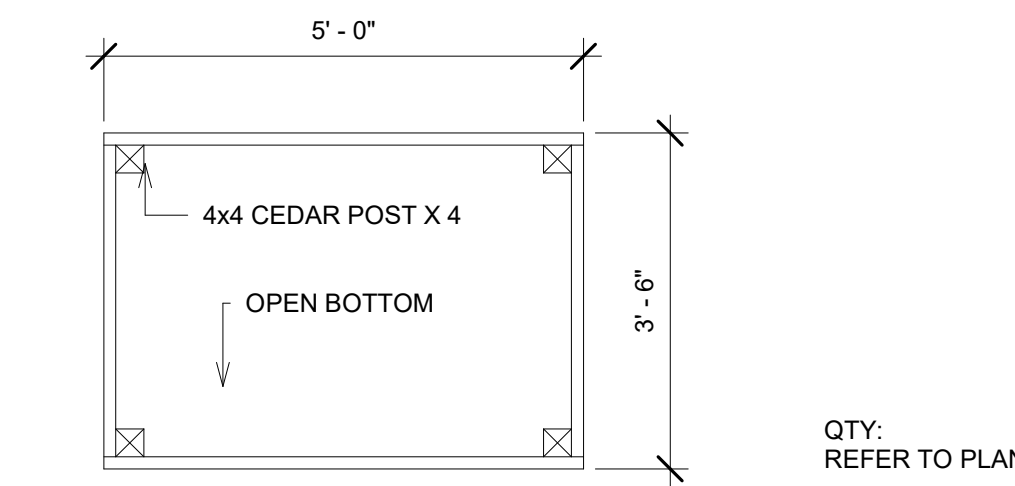
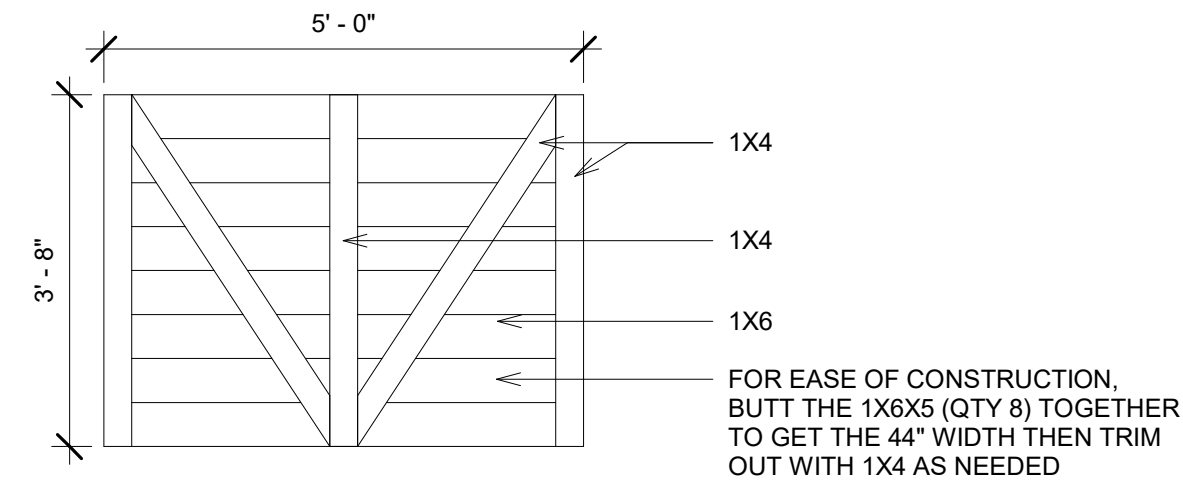
RE-ISSUED FOR VENDOR



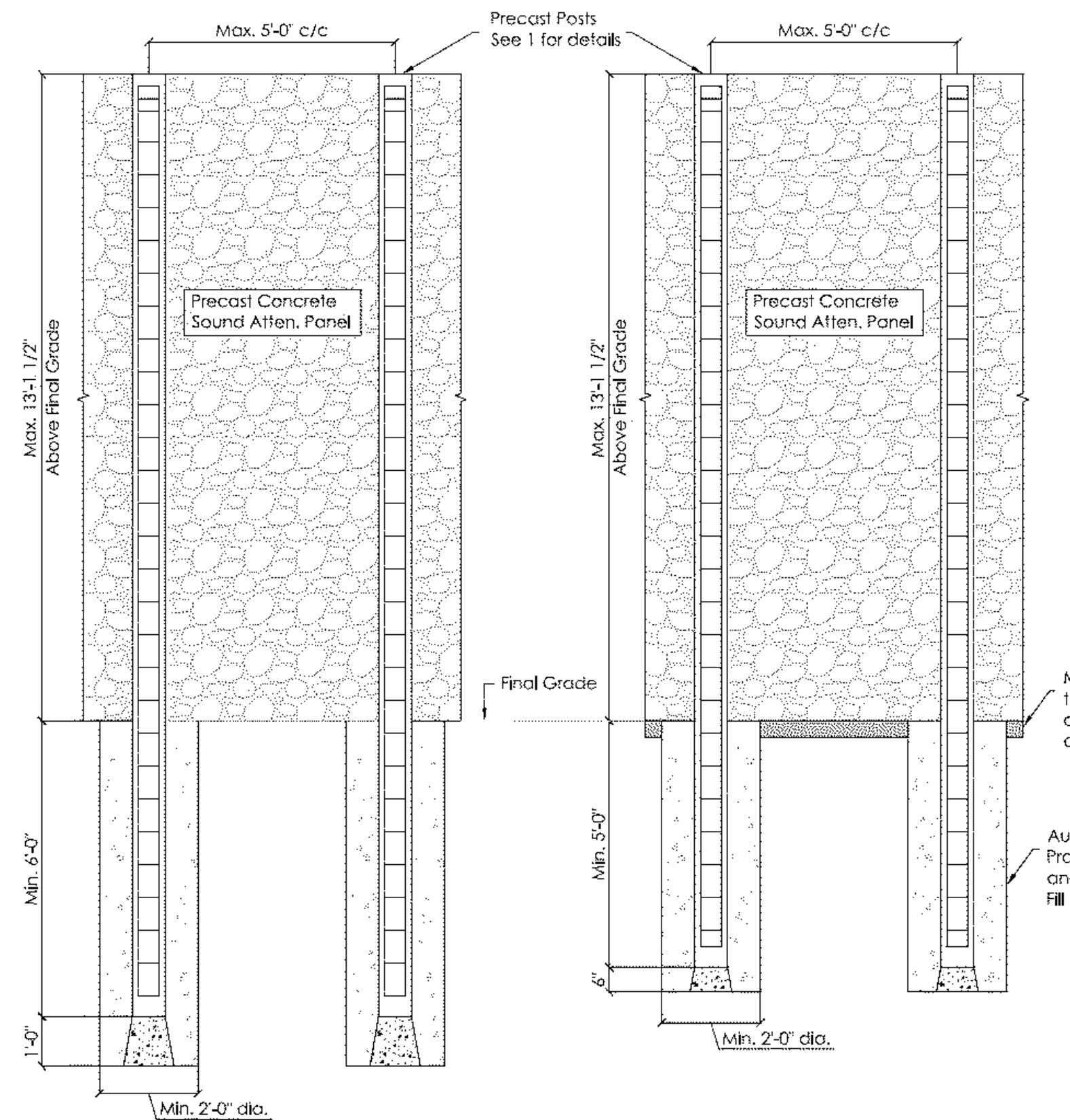
1 GARDEN RUN BORDER
1" = 1'-0"



2 DOG RUN BORDER
1" = 1'-0"

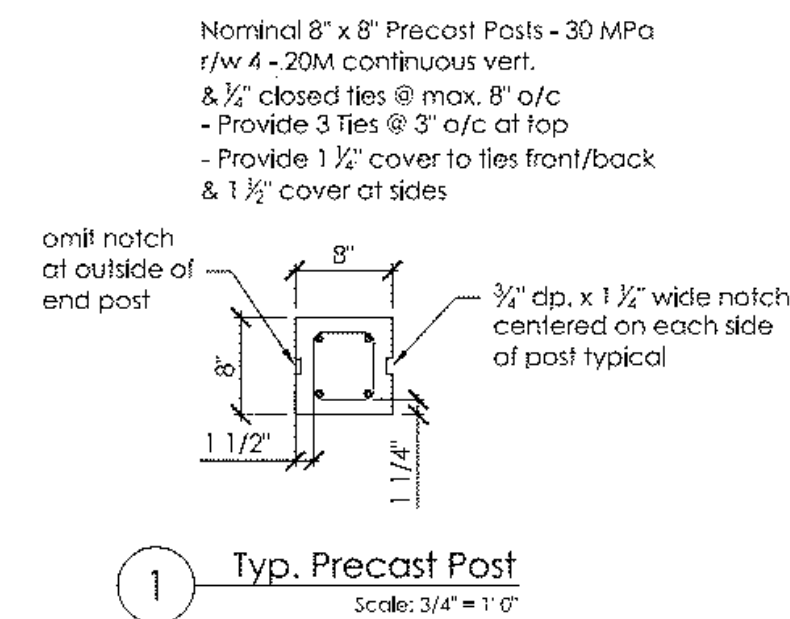


3 COMMUNITY GARDEN PLANTER BOX
1/2" = 1'-0"



A Sound Attenuation Fence Typ. at Soft Landscaping Scale: 3/8" = 1'-0"

B Sound Attenuation Fence Typ. at Conc. Slab/Footings Scale: 3/8" = 1'-0"





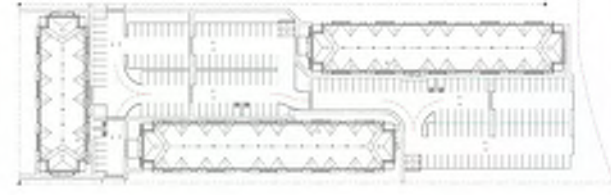
THIS IS AN ARTIST'S RENDERING BASED ON CURRENT DEVELOPMENT CONCEPTS, WHICH ARE SUBJECT TO CHANGE WITHOUT NOTICE. NO GUARANTEE IS MADE THAT THE FACILITIES DEPICTED WILL BE BUILT, OR IF BUILT, WILL BE OF THE SAME TYPE, SIZE, OR NATURE AS DEPICTED.



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08/04/2020 9:29:22 AM

SITE MAP:



PROJECT STATUS:

RE-ISSUED FOR VENDOR

Revision Schedule

No.	Description	Revision Date
A	CITY PRE-APP	03/05/2020
B	ISSUED FOR VENDOR APP.	06/05/2020
C	ISSUED FOR REZONING	07/09/2020
D	RE-ISSUED FOR VENDOR	08/04/2020

SEAL: **ABELEARCHITECTURE**
THOMAS C. ABLE, ARCHITECT AIBC, T. 604-682-6818

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PROJECT NAME:

GLENHART VIEWS

PROJECT NUMBER:

-

ADDRESS:

801 RYAN ROAD
COURTENAY, BC

DRAWING TITLE:

SITE PERSPECTIVE

DRAWN BY: PD

CHECKED BY: RF

DATE: 08/04/2020

SCALE:

DRAWING #:

A1.6

REV #:

D

RE-ISSUED FOR VENDOR



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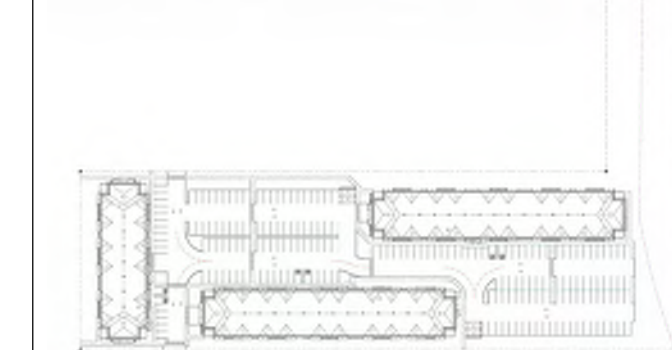


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SITE MAP:



PROJECT STATUS:

RE-ISSUED FOR VENDOR

Revision Schedule

No.	Description	Revision Date
A	CITY PRE-APP	03/05/2020
B	ISSUED FOR VENDOR APP.	06/05/2020
C	ISSUED FOR REZONING	07/09/2020
D	RE-ISSUED FOR VENDOR	08/04/2020

SEAL: **ABELEARCHITECTURE**
THOMAS C. ABLE, ARCHITECT AIBC, T. 604-682-6818

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PROJECT NAME:

GLENHART VIEWS

PROJECT NUMBER:

-

ADDRESS:

801 RYAN ROAD
COURTENAY, BC

DRAWING TITLE:

SITE PERSPECTIVE

DRAWN BY: PD

CHECKED BY: RF

DATE: 08/04/2020

SCALE:

DRAWING #:

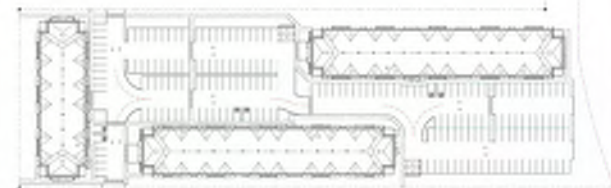
A1.7

REV #:

D

RE-ISSUED FOR VENDOR

SITE MAP:



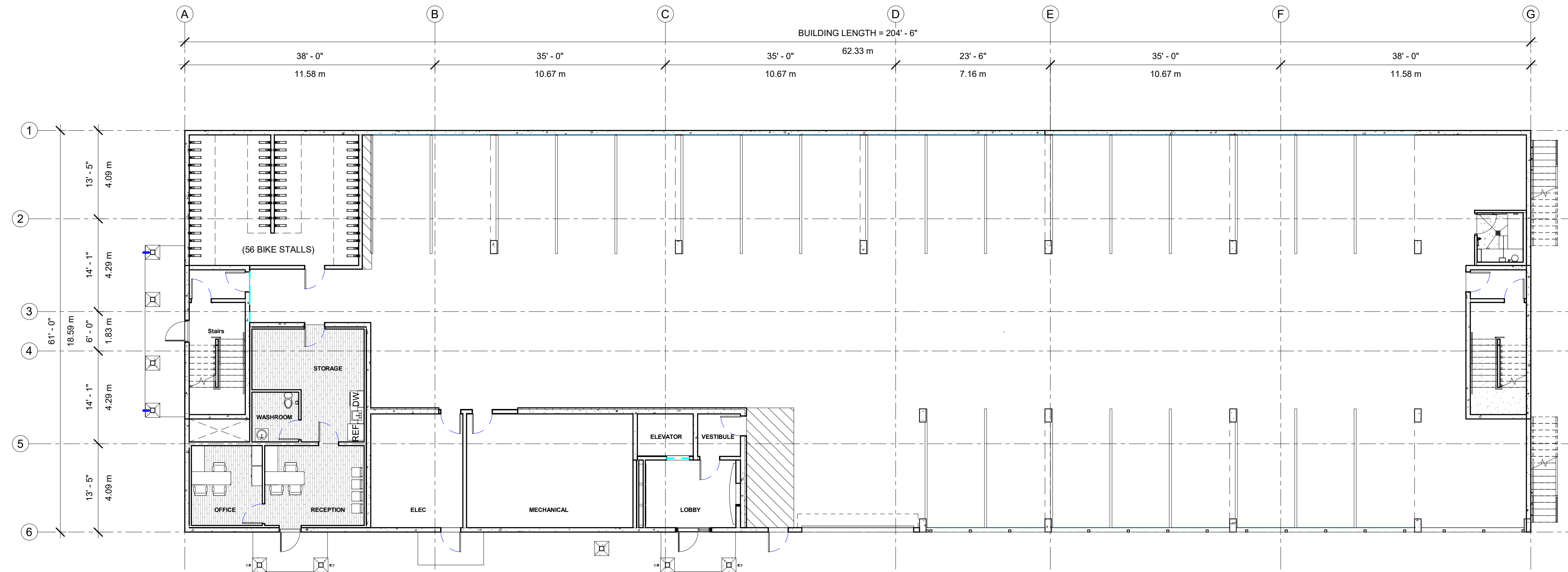
PROJECT STATUS:

RE-ISSUED FOR VENDOR

Revision Schedule

No.	Description	Revision Date
A	CITY PRE-APP	03/05/2020
B	ISSUED FOR VENDOR APP.	06/05/2020
C	ISSUED FOR REZONING	07/09/2020
D	RE-ISSUED FOR VENDOR	08/04/2020

SEAL: **ABELEARCHITECTURE**
THOMAS C. ABLE, ARCHITECT AIBC, T. 604-682-6818



1 PARKING GARAGE - BUILDING A
Scale: 1" = 10'-0"

FLOOR AREA = 12474.5 SQ FT

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PROJECT NAME:

GLENHART VIEWS

PROJECT NUMBER:

-

ADDRESS:

801 RYAN ROAD
COURTENAY, BC

DRAWING TITLE:

PARKADE PLAN - BUILDING A

DRAWN BY: PD

CHECKED BY: RF

DATE: 08/04/2020

SCALE: 1" = 10'-0"

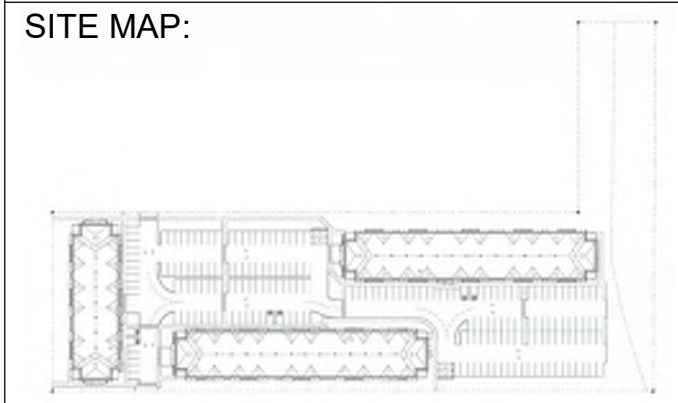
DRAWING #:

A2.0

REV #:

D

RE-ISSUED FOR VENDOR



PROJECT STATUS:
 RE-ISSUED FOR VENDOR

Revision Schedule		
No.	Description	Revision Date
A	CITY PRE-APP	03/05/2020
B	ISSUED FOR VENDOR APP.	06/05/2020
C	ISSUED FOR REZONING	07/09/2020
D	RE-ISSUED FOR VENDOR	08/04/2020

SEAL: **ABELARCHITECTURE**
THOMAS C. ABLE, ARCHITECT AIBC, T. 604-682-6818

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PROJECT NAME:
 GLENHART VIEWS

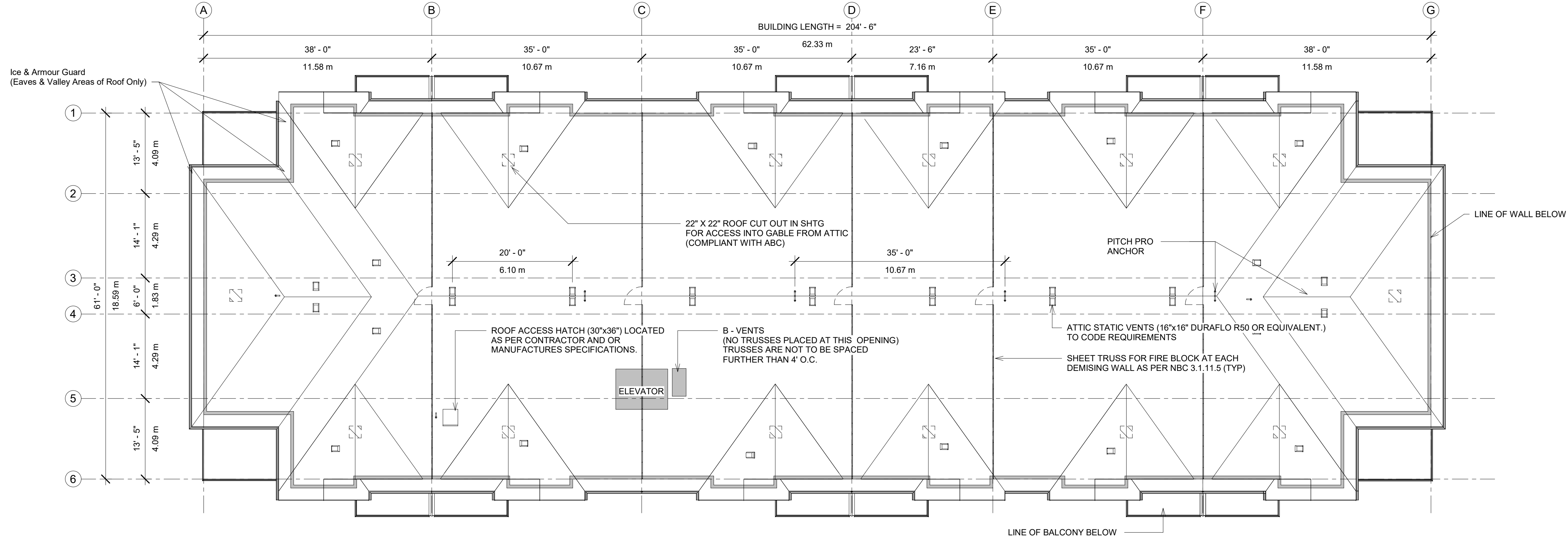
PROJECT NUMBER:
 -

ADDRESS:
 801 RYAN ROAD
 COURTENAY, BC

DRAWING TITLE:
 ROOF PLAN - BUILDING A

DRAWN BY: Author
 CHECKED BY: Checker
 DATE: 08/04/2020
 SCALE: 3/32" = 1'-0"
 DRAWING #: **A2.6** REV #: **D**

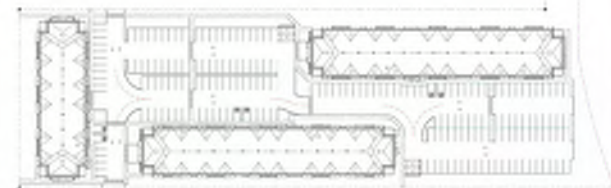
RE-ISSUED FOR VENDOR



1 ROOF PLAN - BUILDING A
 Scale: 3/32" = 1'-0"

08/04/2020 9:49:37 AM

SITE MAP:



PROJECT STATUS:

RE-ISSUED FOR VENDOR

Revision Schedule

No.	Description	Revision Date
A	CITY PRE-APP	03/05/2020
B	ISSUED FOR VENDOR APP.	06/05/2020
C	ISSUED FOR REZONING	07/09/2020
D	RE-ISSUED FOR VENDOR	08/04/2020

SEAL: **ABELEARCHITECTURE**
THOMAS C. ABLE, ARCHITECT ABC, T. 604-682-6818

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PROJECT NAME:

GLENHART VIEWS

PROJECT NUMBER:

ADDRESS:

801 RYAN ROAD
COURTENAY, BC

DRAWING TITLE:

PARKADE PLAN - BUILDING B

DRAWN BY: PD

CHECKED BY: RF

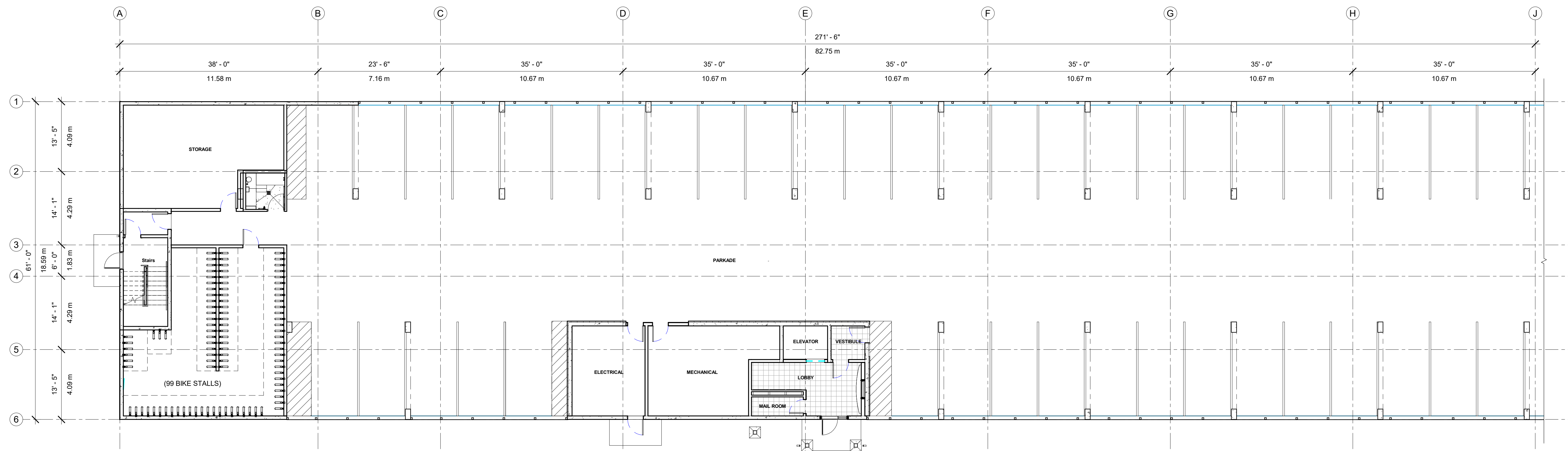
DATE: 08/04/2020

SCALE: 1" = 10'-0"

DRAWING #: REV #:

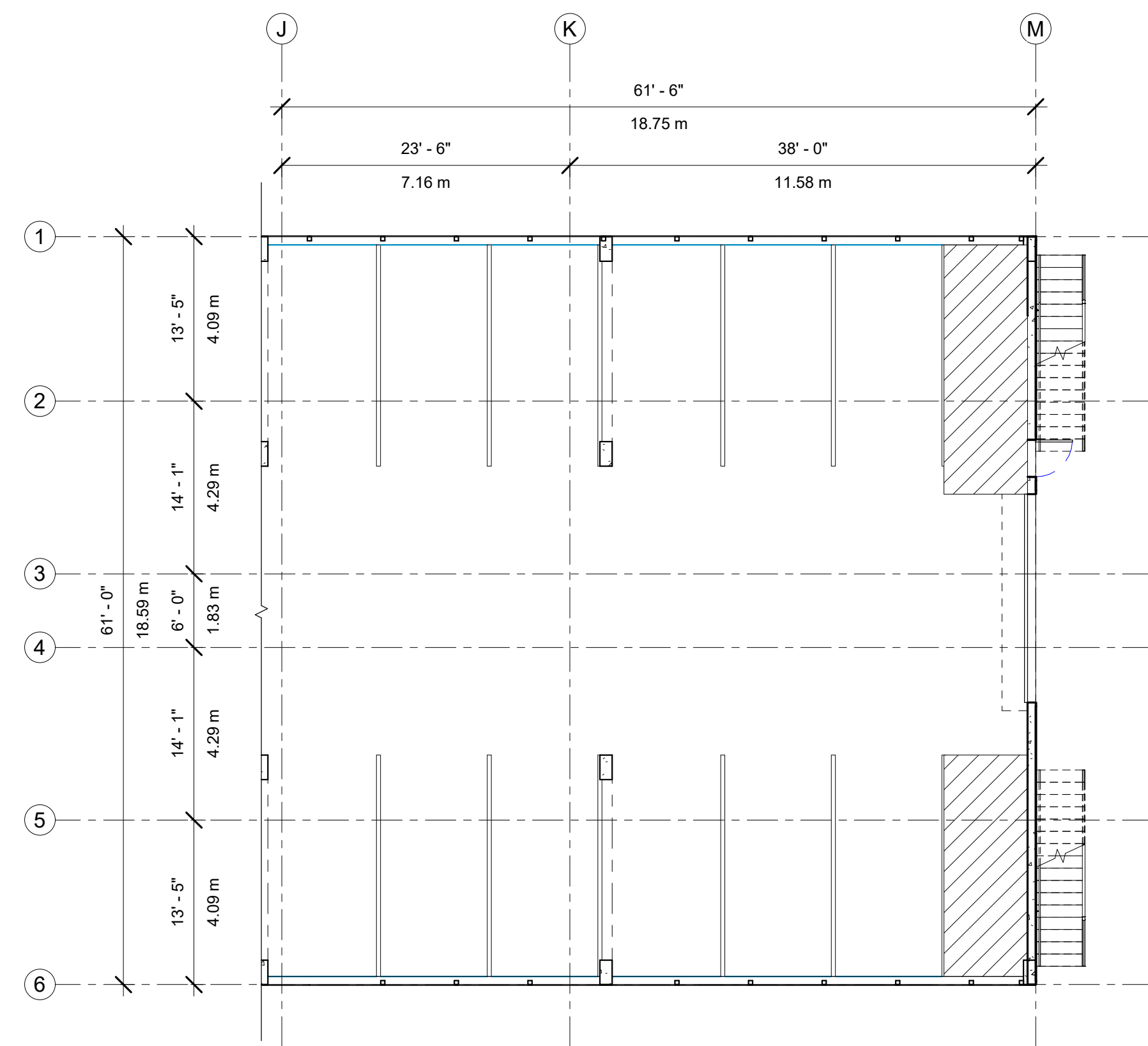
A2.7

D



1 PARKING GARAGE - BUILDING B - 1 OF 2
Scale: 1" = 10'-0"

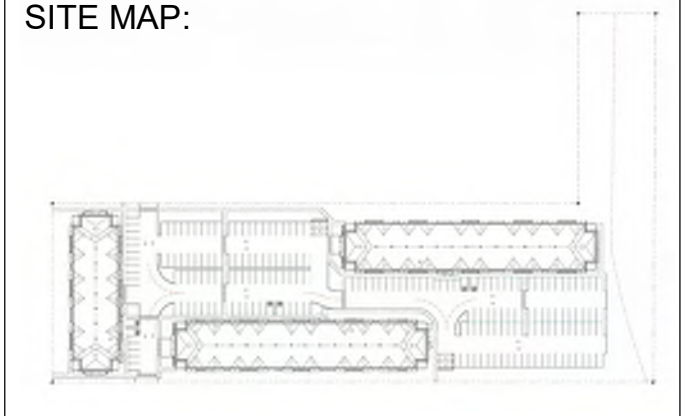
FLOOR AREA = 20313 SQ FT



2 PARKING GARAGE - BUILDING B - 2 OF 2
Scale: 1" = 10'-0"

08/04/2020 9:38:44 AM

RE-ISSUED FOR VENDOR



PROJECT STATUS:
RE-ISSUED FOR VENDOR

Revision Schedule

No.	Description	Revision Date
A	CITY PRE-APP	03/05/2020
B	ISSUED FOR VENDOR APP.	06/05/2020
C	ISSUED FOR REZONING	07/09/2020
D	RE-ISSUED FOR VENDOR	08/04/2020

SEAL: **ABELEARCHITECTURE**
THOMAS C. ABLE, ARCHITECT ABC, T. 604-682-6818

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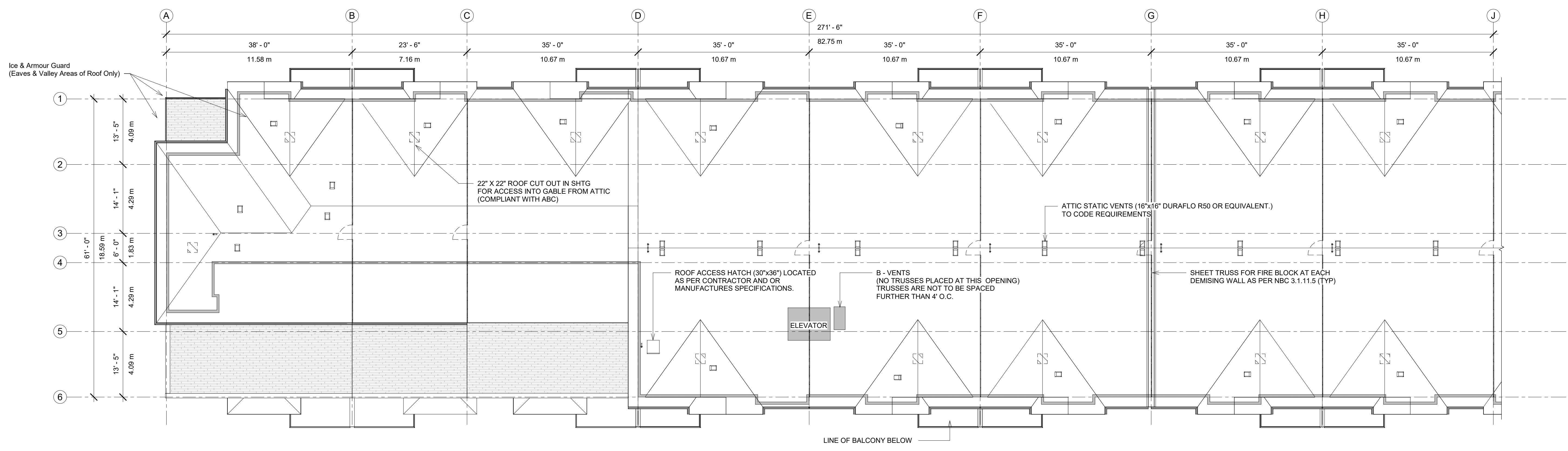
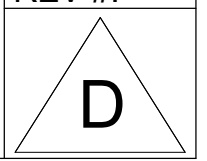
PROJECT NAME:
GLENHART VIEWS

PROJECT NUMBER:
-

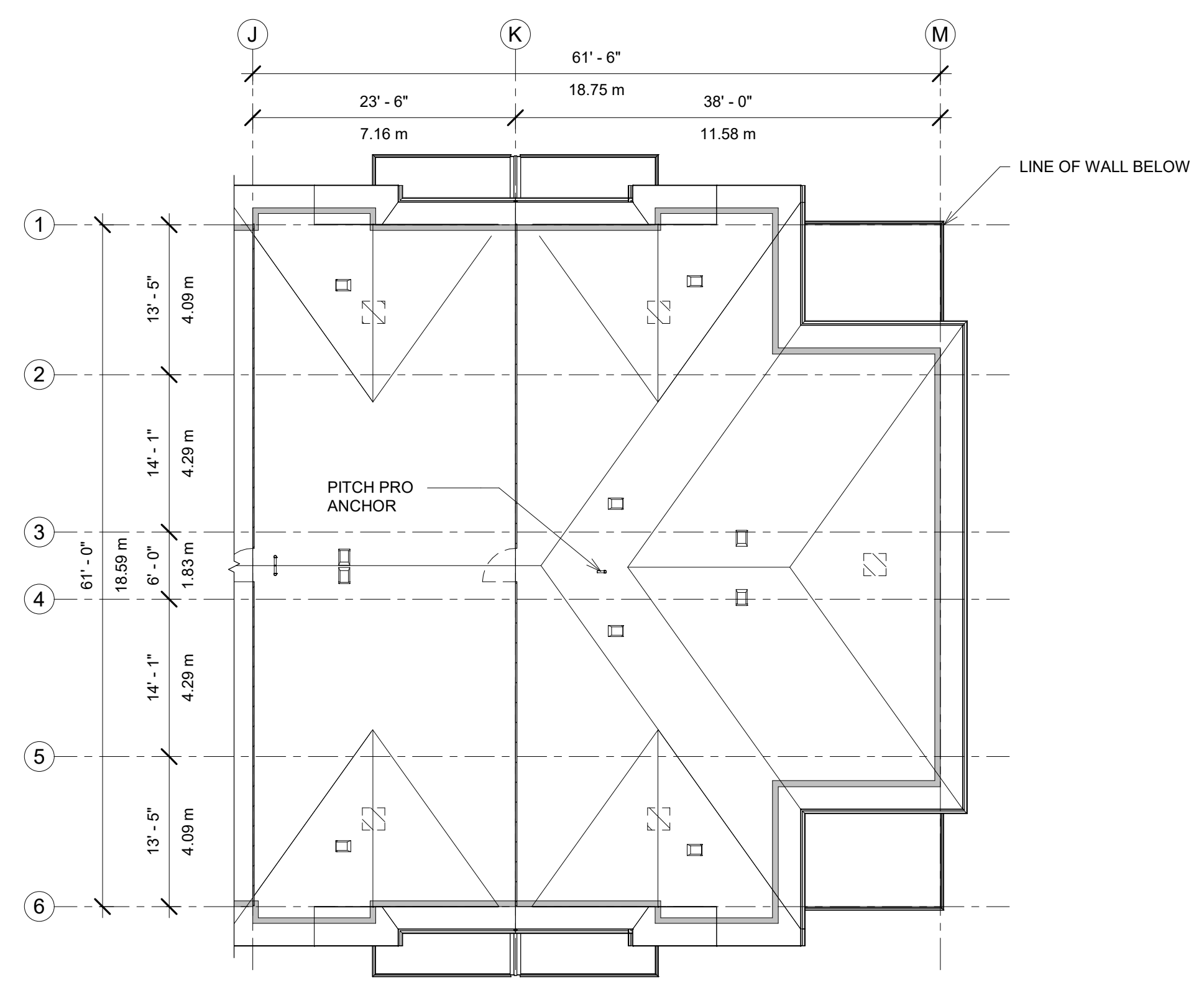
ADDRESS:
801 RYAN ROAD
COURTENAY, BC

DRAWING TITLE:
ROOF PLAN - BUILDING B

DRAWN BY: Author
CHECKED BY: Checker
DATE: 08/04/2020
SCALE: 3/32" = 1'-0"
DRAWING #: **A2.15**
REV #:



1 ROOF PLAN - BUILDING B - 1 OF 2
Scale: 3/32" = 1'-0"

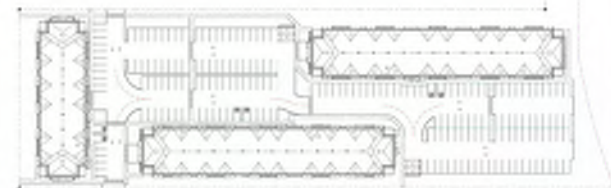


2 ROOF PLAN - BUILDING B - 2 OF 2
Scale: 3/32" = 1'-0"

08/04/2020 9:39:12 AM

RE-ISSUED FOR VENDOR

SITE MAP:



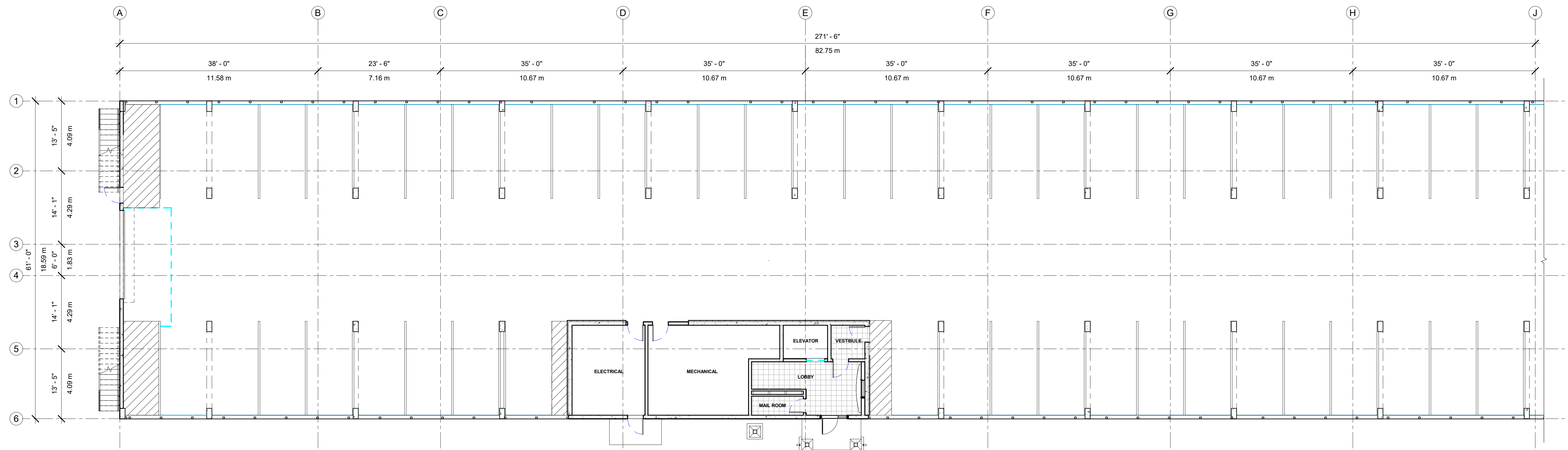
PROJECT STATUS:

RE-ISSUED FOR VENDOR

Revision Schedule

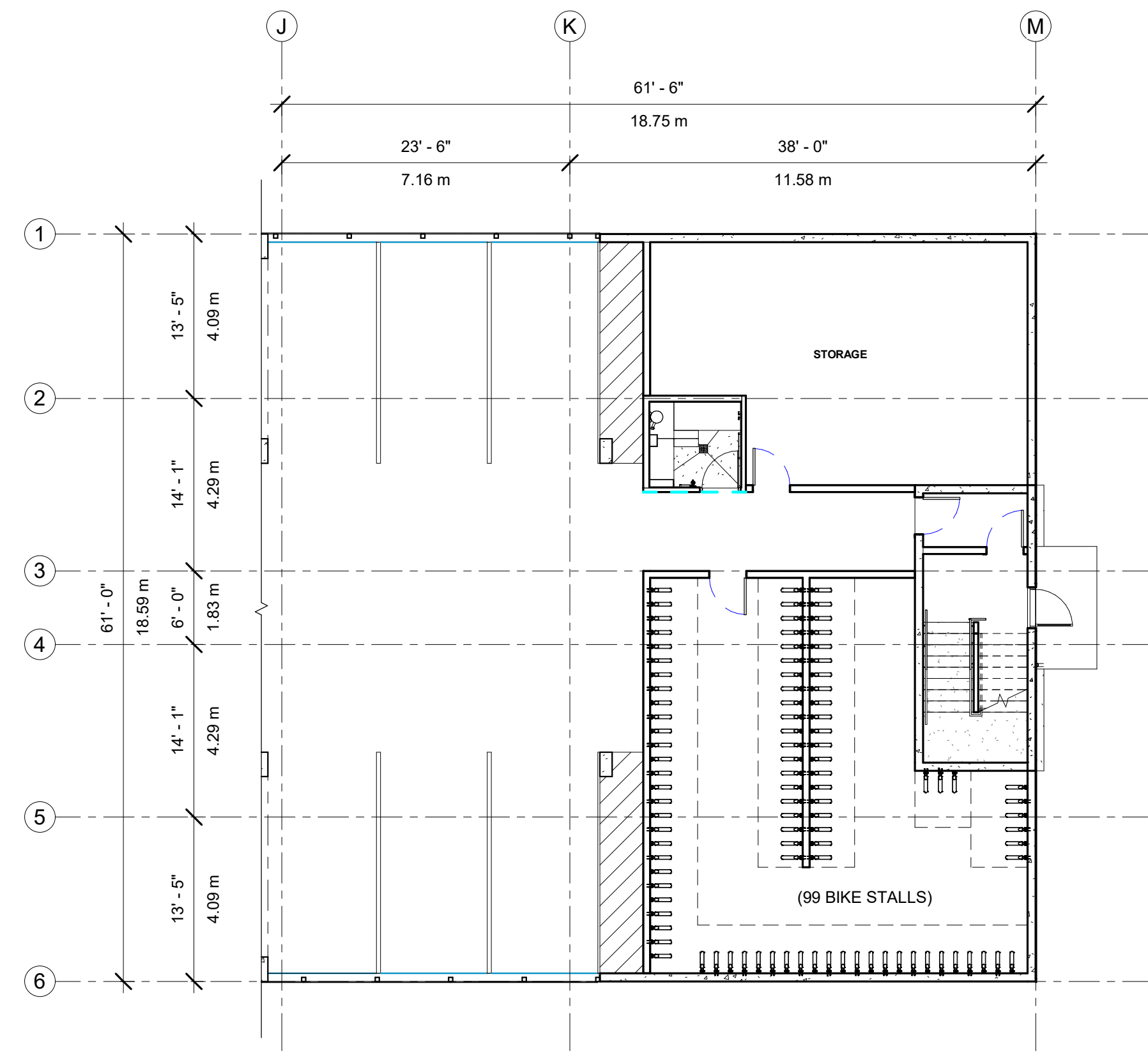
No.	Description	Revision Date
A	CITY PRE-APP	03/05/2020
B	ISSUED FOR VENDOR APP.	06/05/2020
C	ISSUED FOR REZONING	07/09/2020
D	RE-ISSUED FOR VENDOR	08/04/2020

SEAL: **ABELEARCHITECTURE**
THOMAS C. ABLE, ARCHITECT ABC, T. 604-682-6818



1 PARKING GARAGE - BUILDING C - 1 OF 2
Scale: 1" = 10'-0"

FLOOR AREA = 20313 SQ FT



2 PARKING GARAGE - BUILDING C - 2 OF 2
Scale: 1" = 10'-0"

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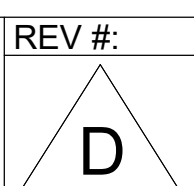
PROJECT NAME:
GLENHART VIEWS

PROJECT NUMBER:
-

ADDRESS:
801 RYAN ROAD
COURTENAY, BC

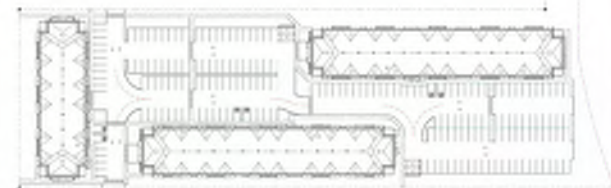
DRAWING TITLE:
PARKADE PLAN - BUILDING C

DRAWN BY: PD
CHECKED BY: RF
DATE: 08/04/2020
SCALE: 1" = 10'-0"
DRAWING #: **A2.16**
REV #:



RE-ISSUED FOR VENDOR

SITE MAP:



PROJECT STATUS:

RE-ISSUED FOR VENDOR

Revision Schedule

No.	Description	Revision Date
A	CITY PRE-APP	03/05/2020
B	ISSUED FOR VENDOR APP.	06/05/2020
C	ISSUED FOR REZONING	07/09/2020
D	RE-ISSUED FOR VENDOR	08/04/2020

SEAL: **ABELEARCHITECTURE**
THOMAS C. ABLE, ARCHITECT ABC. T. 604-682-6818

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PROJECT NAME:

GLENHART VIEWS

PROJECT NUMBER:

-

ADDRESS:

801 RYAN ROAD
COURTENAY, BC

DRAWING TITLE:

ROOF PLAN - BUILDING C

DRAWN BY: Author

CHECKED BY: Checker

DATE: 08/04/2020

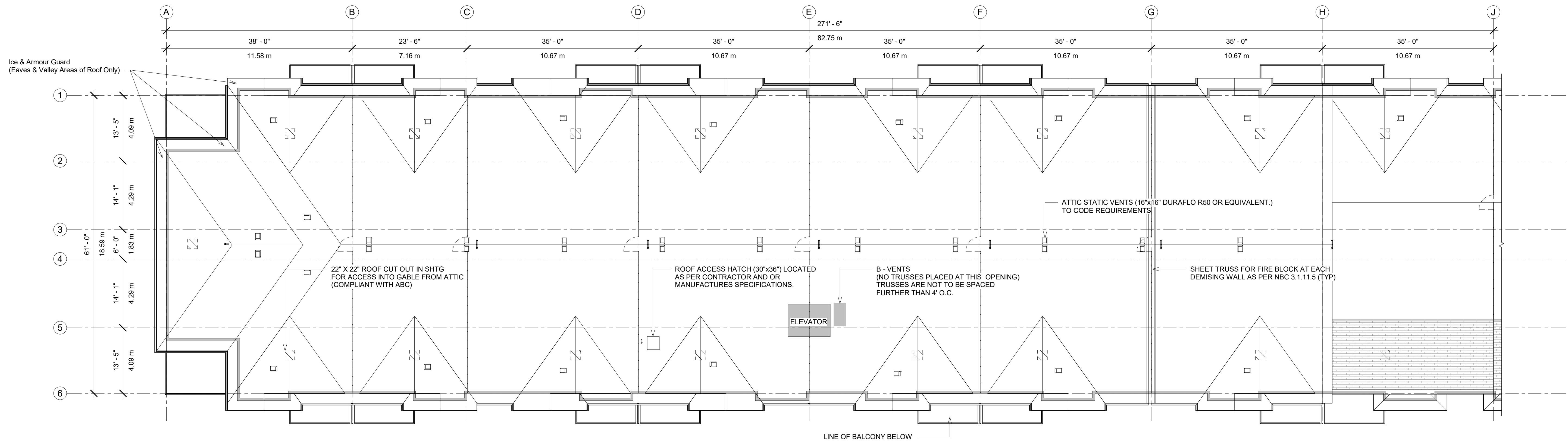
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DRAWING #:

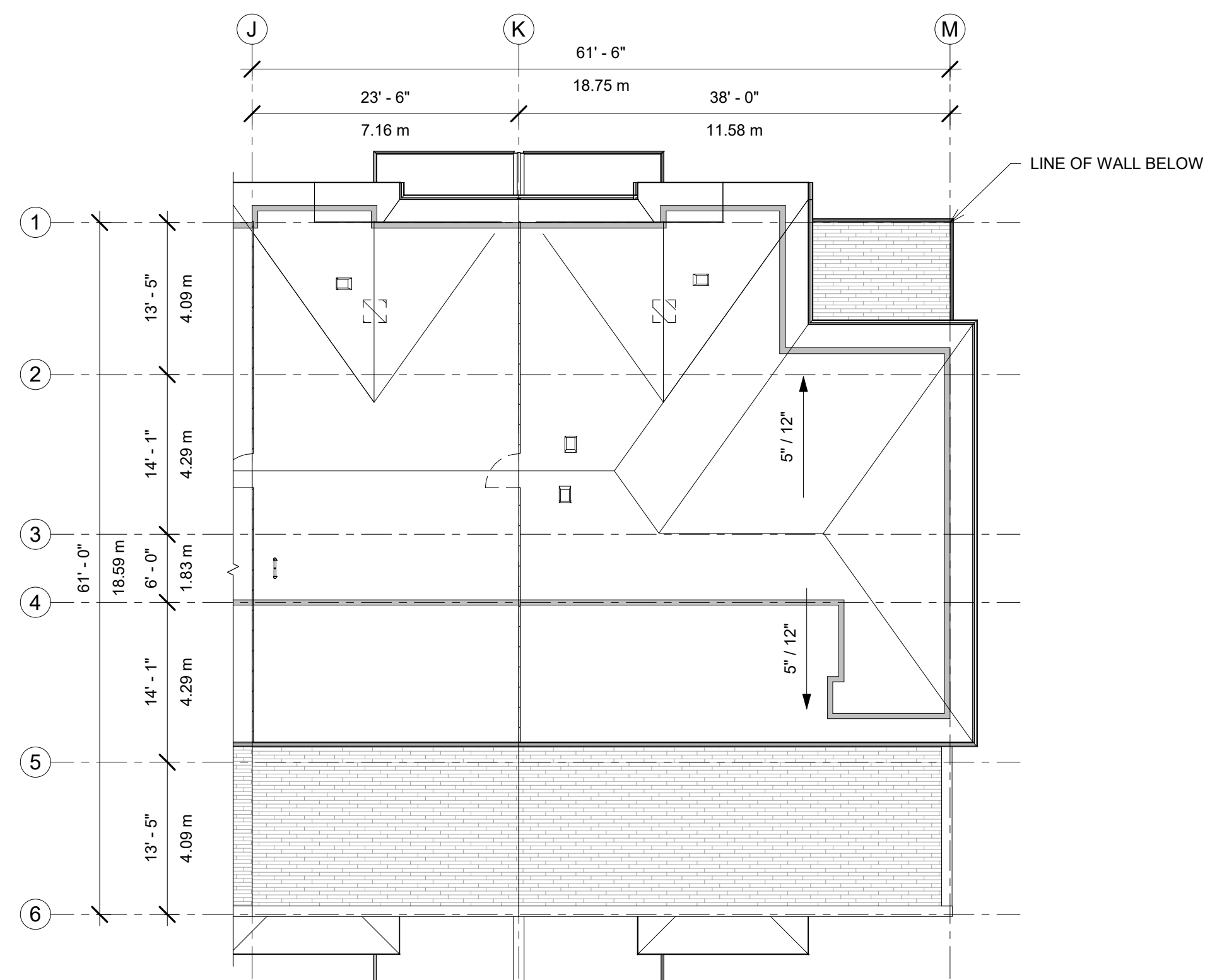
A2.24

REV #:

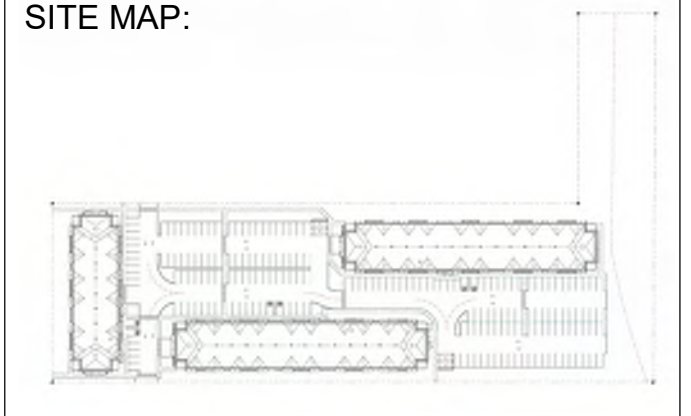
D



1 ROOF PLAN - BUILDING C - 1 OF 2
Scale: 3/32" = 1'-0"



2 ROOF PLAN - BUILDING C - 2 OF 2
Scale: 3/32" = 1'-0"



PROJECT STATUS:
RE-ISSUED FOR VENDOR

Revision Schedule

No.	Description	Revision Date
A	CITY PRE-APP	03/05/2020
B	ISSUED FOR VENDOR APP.	06/05/2020
C	ISSUED FOR REZONING	07/09/2020
D	RE-ISSUED FOR VENDOR	08/04/2020

SEAL: **ABELEARCHITECTURE**
THOMAS C. ABLE, ARCHITECT AIBC, T. 604-682-6818

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PROJECT NAME:
GLENHART VIEWS

PROJECT NUMBER:
-

ADDRESS:
801 RYAN ROAD
COURTENAY, BC

DRAWING TITLE:
ELEVATIONS 1 OF 2 - BUILDING A

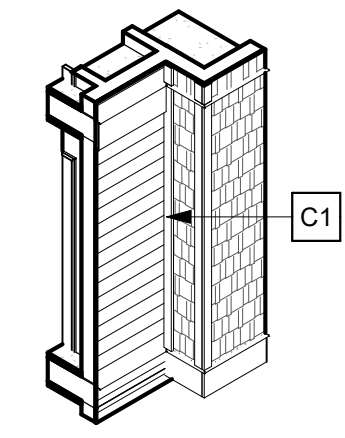
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CHECKED BY: RF
DATE: 08/04/2020
SCALE: As indicated
DRAWING #: **A3.1** REV #: **D**



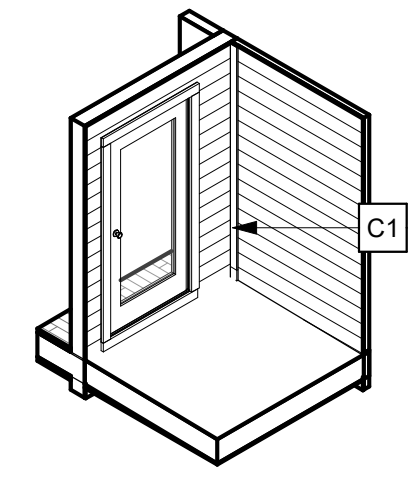
1 FRONT ELEVATION
Scale: 3/32" = 1'-0"



2 BACK ELEVATION
Scale: 3/32" = 1'-0"



3 3d Iso - Inside Corner Bumpout
Scale:



4 3d Iso - Inside Deck Corner
Scale:

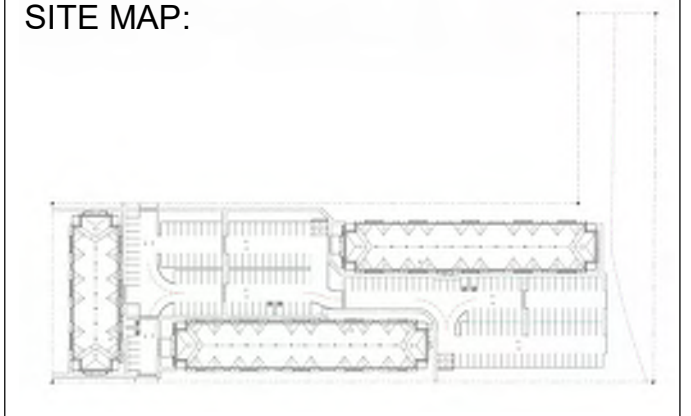
EXTERIOR CLADDING PRODUCT			
C#	DESCRIPTION	COLOR	LOCATION
C1	4" CEMENT BOARD TRIM	ARTIC WHITE	WINDOW & DOOR TRIM BALCONY WALLS
C2	12" CEMENT BOARD TRIM	ARTIC WHITE	BELLY BAND
C3	12" CEMENT BOARD TRIM	ARTIC WHITE	VERT. PARTITION WALL
C4	PLANK - CEDARMILL	DEEP OCEAN	LEVEL 1 - 3
C5	PLANK - CEDARMILL	BOOTHBAY BLUE	LEVEL 4 - 6
C6	PLANK - CEDARMILL	DEEP OCEAN	LEVEL 1 - 3 BALCONY/PTAC
C7	PLANK - CEDARMILL	BOOTHBAY BLUE	LEVEL 4 - 6 BALCONY / PTAC
C8	SHAKE - STRAIGHT EDGE	GRAY SLATE	BUMP OUT / BUILDING ENDS
C9	SHAKE - STRAIGHT EDGE	TRADITIONAL RED	BUMP OUT
C10	CULTURED STONE	EUCALYPTUS COUNTRY LEDGESTONE	FRONT CANOPIES POSTS & BUILDING ENDS
C11	TIMBER COLUMN	-	-
C12	TIMBER BEAM	-	-
C13	12" CEMENT BOARD TRIM	STAINED	-

EXTERIOR METAL PRODUCT			
M#	DESCRIPTION	COLOR	LOCATION
M1	ALUMINUM DOWNSPOUTS	BLACK	-
M2	ALUMINUM GUTTER 5" K STYLE	BLACK	REFER TO DETAIL 6/A4.2
M3	ALUMINUM RAILING	BLACK	REFER TO DETAIL 6/A4.3
M4	PREFINISHED FLAT COIL	WHITE	FASCIA BOARD
M5	4 PANEL CLASSIC SOFFIT	LINEN	REFER TO DETAIL 6/A4.2
M6	WALL FLASHING	BLACK	-
M7	SHINGLE STEP FLASHING	BLACK	-
M8	ROOF EDGE FLASHING	BLACK	REFER TO DETAIL 6/A4.2
M9	DRIP CAP FLASHING	WHITE	VARIOUS
M10	REVERSE DRIP FLASHING	WHITE	PLANK WINDOW TRIM
M11	PLASTIC VENT	BLACK	-
M12	GUTTER COIL FLASHING	-	-
M13	FOUNDATION TRANSITION F.	-	-

EXTERIOR ROOFING PRODUCT		
R#	DESCRIPTION	COLOR
R1	ROOFING SHINGLES - 30 YEAR LAMINATE	BLACK
R2	ATTIC STATIC VENT	-

NOTES	
1)	ALL RESIDENTIAL UNITS TO HAVE INDIVIDUAL AC UNIT
2)	ALL RESIDENTIAL UNITS TO HAVE WINDOWS WITH RATING OF STC-30

RE-ISSUED FOR VENDOR



PROJECT STATUS:
RE-ISSUED FOR VENDOR

Revision Schedule

No.	Description	Revision Date
A	CITY PRE-APP	03/05/2020
B	ISSUED FOR VENDOR APP.	06/05/2020
C	ISSUED FOR REZONING	07/09/2020
D	RE-ISSUED FOR VENDOR	08/04/2020

SEAL: **ABELEARCHITECTURE**
THOMAS C. ABELE, ARCHITECT AIBC, T. 604-682-6818

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PROJECT NAME:
GLENHART VIEWS

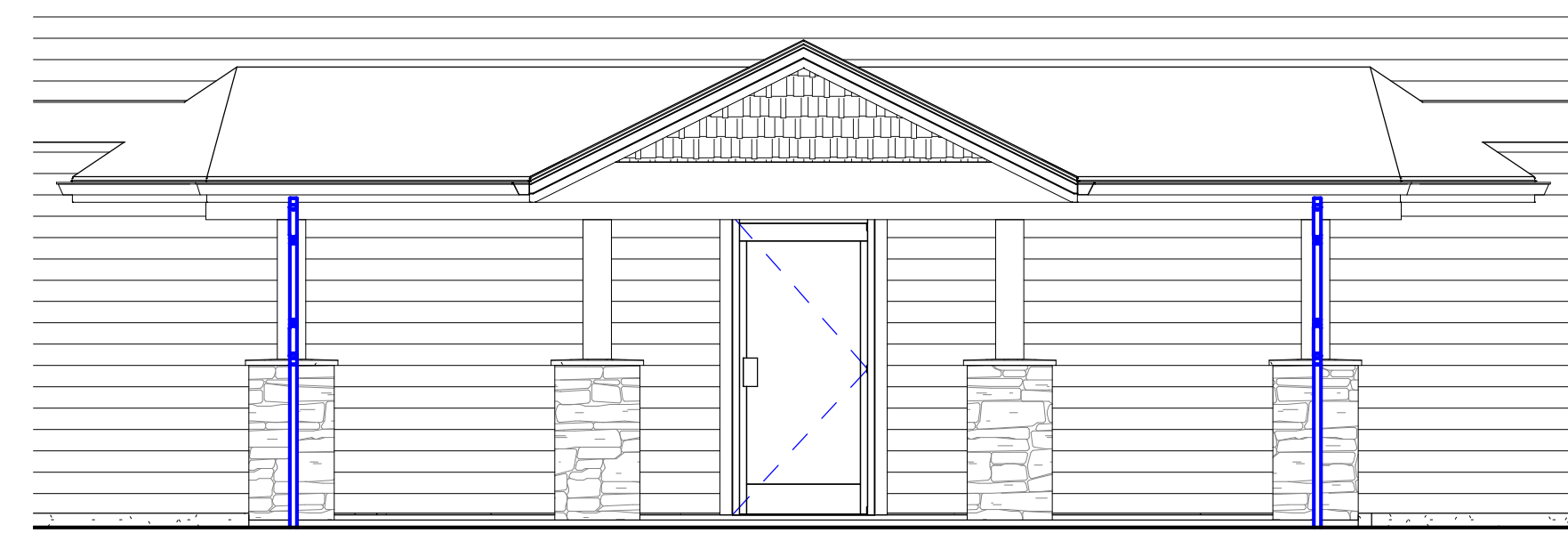
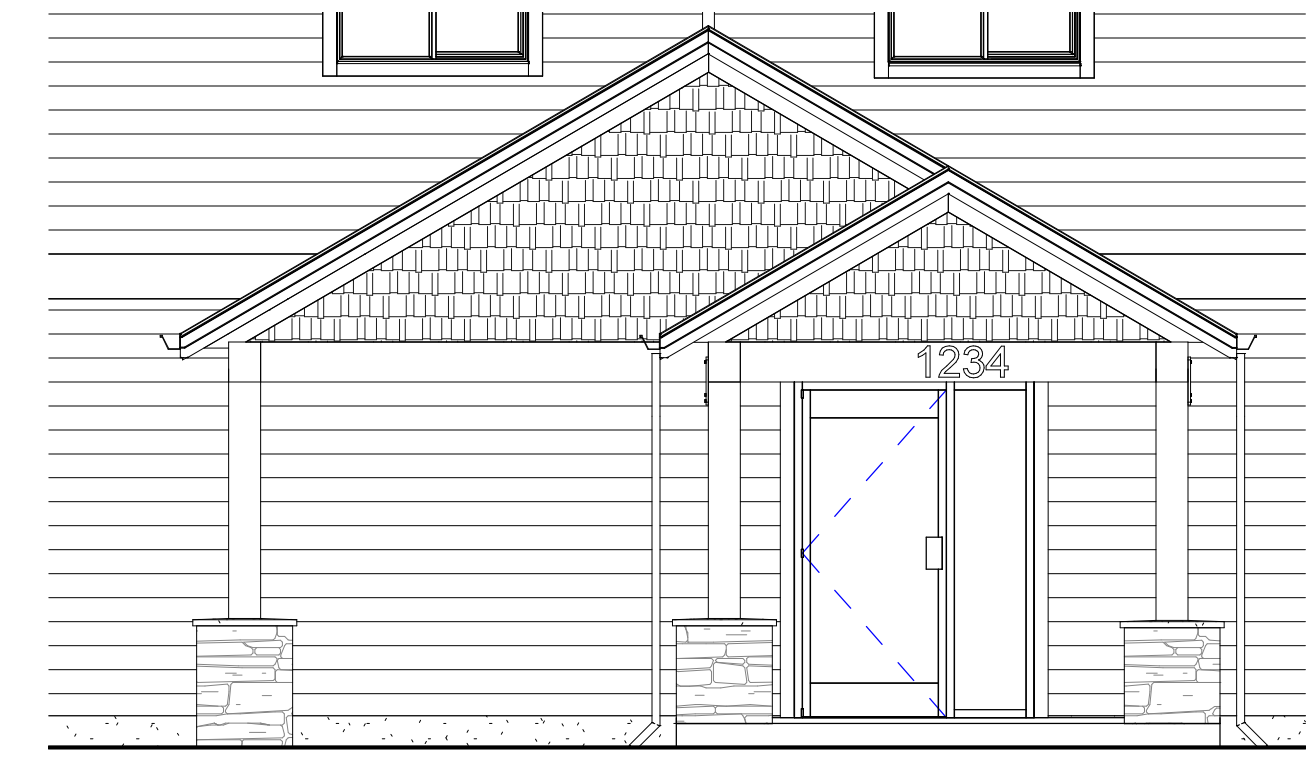
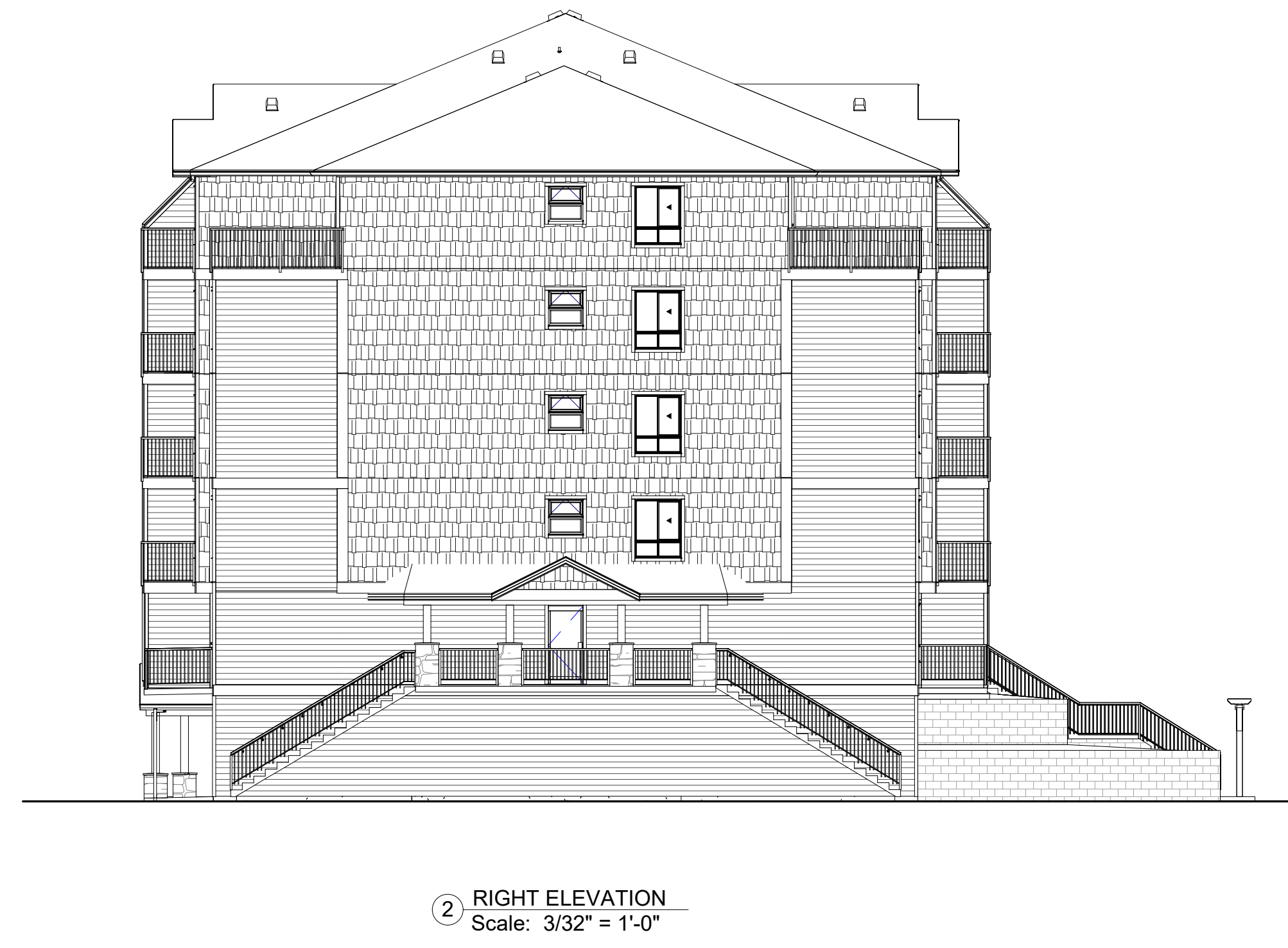
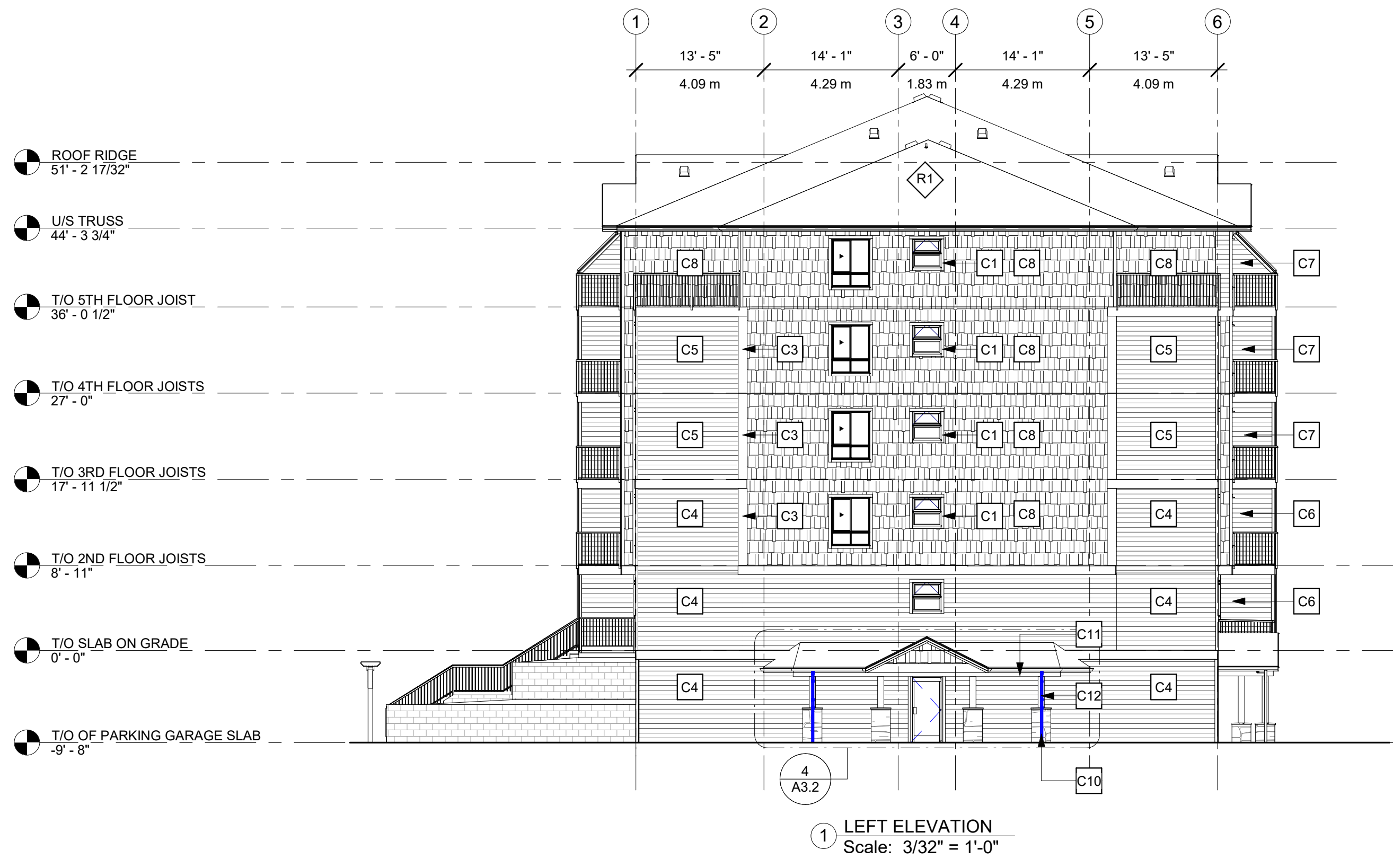
PROJECT NUMBER:
-

ADDRESS:
801 RYAN ROAD
COURTENAY, BC

DRAWING TITLE:
ELEVATIONS 2 OF 2 - BUILDING A

DRAWN BY: PD
CHECKED BY: RF
DATE: 08/04/2020
SCALE: As indicated

DRAWING #: **A3.2** REV #: **D**



EXTERIOR CLADDING PRODUCT			
C#	DESCRIPTION	COLOR	LOCATION
C1	4" CEMENT BOARD TRIM	ARTIC WHITE	WINDOW & DOOR TRIM BALCONY WALLS
C2	12" CEMENT BOARD TRIM	ARTIC WHITE	BELLY BAND
C3	12" CEMENT BOARD TRIM	ARTIC WHITE	VERT. PARTITION WALL
C4	PLANK - CEDARMILL	DEEP OCEAN	LEVEL 1 - 3
C5	PLANK - CEDARMILL	BOOTHBAY BLUE	LEVEL 4 - 6
C6	PLANK - CEDARMILL	DEEP OCEAN	LEVEL 1 - 3 BALCONY/PTAC
C7	PLANK - CEDARMILL	BOOTHBAY BLUE	LEVEL 4 - 6 BALCONY / PTAC
C8	SHAKE - STRAIGHT EDGE	GRAY SLATE	BUMP OUT / BUILDING ENDS
C9	SHAKE - STRAIGHT EDGE	TRADITIONAL RED	BUMP OUT
C10	CULTURED STONE	EUCALYPTUS COUNTRY LEDGESTONE	FRONT CANOPIES POSTS & BUILDING ENDS
C11	TIMBER COLUMN	-	-
C12	TIMBER BEAM	-	-
C13	12" CEMENT BOARD TRIM	STAINED	-

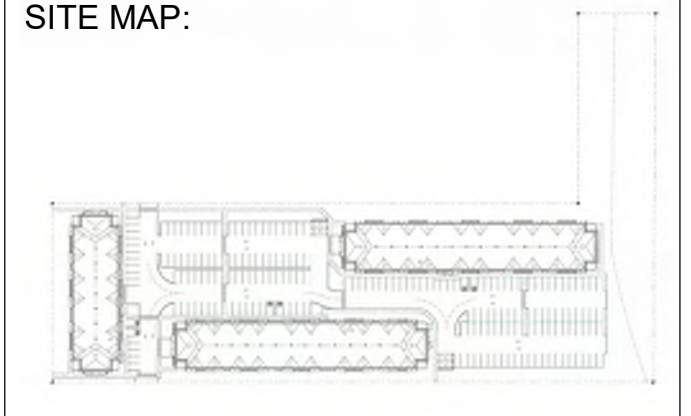
EXTERIOR METAL PRODUCT			
M#	DESCRIPTION	COLOR	LOCATION
M1	ALUMINUM DOWNSPOUTS	BLACK	-
M2	ALUMINUM GUTTER 5" K STYLE	BLACK	REFER TO DETAIL 6/A4.2
M3	ALUMINUM RAILING	BLACK	REFER TO DETAIL 6/A4.3
M4	PREFINISHED FLAT COIL	WHITE	FASCIA BOARD
M5	4 PANEL CLASSIC SOFFIT	LINEN	REFER TO DETAIL 6/A4.2
M6	WALL FLASHING	BLACK	-
M7	SHINGLE STEP FLASHING	BLACK	-
M8	ROOF EDGE FLASHING	BLACK	REFER TO DETAIL 6/A4.2
M9	DRIP CAP FLASHING	WHITE	VARIOUS
M10	REVERSE DRIP FLASHING	WHITE	PLANK WINDOW TRIM
M11	PLASTIC VENT	BLACK	-
M12	GUTTER COIL FLASHING	-	-
M13	FOUNDATION TRANSITION F.	-	-

EXTERIOR ROOFING PRODUCT		
R#	DESCRIPTION	COLOR
R1	ROOFING SHINGLES - 30 YEAR LAMINATE	BLACK
R2	ATTIC STATIC VENT	-

NOTES

1) ALL RESIDENTIAL UNITS TO HAVE INDIVIDUAL AC UNIT
2) ALL RESIDENTIAL UNITS TO HAVE WINDOWS WITH RATING OF STC-30

RE-ISSUED FOR VENDOR



PROJECT STATUS:
RE-ISSUED FOR VENDOR

Revision Schedule		
No.	Description	Revision Date
A	CITY PRE-APP	03/05/2020
B	ISSUED FOR VENDOR APP.	06/05/2020
C	ISSUED FOR REZONING	07/09/2020
D	RE-ISSUED FOR VENDOR	08/04/2020

SEAL: **ABELEARCHITECTURE**
THOMAS C. ABLE, ARCHITECT AIBC, T. 604-682-6818

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PROJECT NAME:
GLENHART VIEWS

PROJECT NUMBER:
-

ADDRESS:
801 RYAN ROAD
COURTENAY, BC

DRAWING TITLE:
ELEVATIONS 1 OF 2 - BUILDING B

DRAWN BY: PD
CHECKED BY: RF
DATE: 08/04/2020
SCALE: As indicated
DRAWING #: REV #:

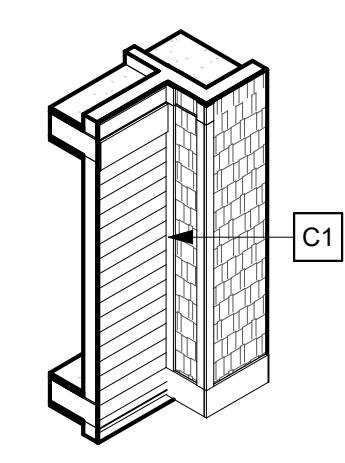
A3.3 **D**



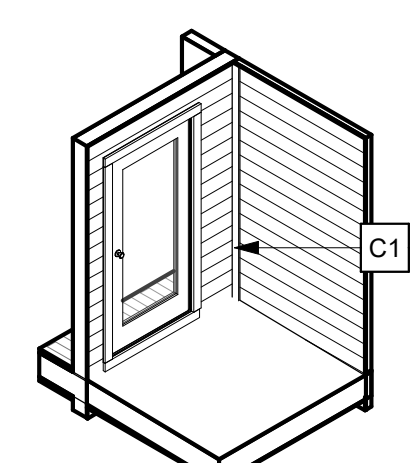
1 FRONT ELEVATION
Scale: 1 : 150



2 BACK ELEVATION
Scale: 1 : 150



3 3d Iso - Inside Corner Bumpout
Scale:



4 3d Iso - Inside Deck Corner
Scale:

EXTERIOR CLADDING PRODUCT			
C#	DESCRIPTION	COLOR	LOCATION
C1	4" CEMENT BOARD TRIM	ARTIC WHITE	WINDOW & DOOR TRIM BALCONY WALLS
C2	12" CEMENT BOARD TRIM	ARTIC WHITE	BELLY BAND
C3	12" CEMENT BOARD TRIM	ARTIC WHITE	VERT. PARTITION WALL
C4	PLANK - CEDARMILL	DEEP OCEAN	LEVEL 1 - 3
C5	PLANK - CEDARMILL	BOOTHBAY BLUE	LEVEL 4 - 6
C6	PLANK - CEDARMILL	DEEP OCEAN	LEVEL 1 - 3 BALCONY/PTAC
C7	PLANK - CEDARMILL	BOOTHBAY BLUE	LEVEL 4 - 6 BALCONY / PTAC
C8	SHAKE - STRAIGHT EDGE	GRAY SLATE	BUMP OUT / BUILDING ENDS
C9	SHAKE - STRAIGHT EDGE	TRADITIONAL RED	BUMP OUT
C10	CULTURED STONE	EUCALYPTUS COUNTRY LEDGESTONE	FRONT CANOPIES POSTS & BUILDING ENDS
C11	TIMBER COLUMN	-	-
C12	TIMBER BEAM	-	-
C13	12" CEMENT BOARD TRIM	STAINED	-

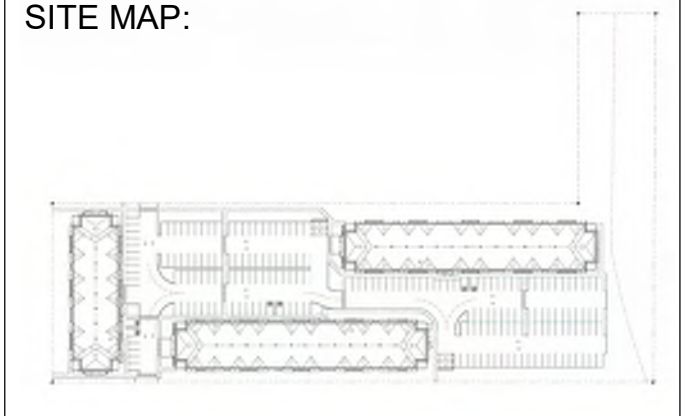
EXTERIOR METAL PRODUCT			
M#	DESCRIPTION	COLOR	LOCATION
M1	ALUMINUM DOWNSPOUTS	BLACK	-
M2	ALUMINUM GUTTER 5" K STYLE	BLACK	REFER TO DETAIL 6/A4.2
M3	ALUMINUM RAILING	BLACK	REFER TO DETAIL 6/A4.3
M4	PREFINISHED FLAT COIL	WHITE	FASCIA BOARD
M5	4 PANEL CLASSIC SOFFIT	LINEN	REFER TO DETAIL 6/A4.2
M6	WALL FLASHING	BLACK	-
M7	SHINGLE STEP FLASHING	BLACK	-
M8	ROOF EDGE FLASHING	BLACK	REFER TO DETAIL 6/A4.2
M9	DRIP CAP FLASHING	WHITE	VARIOUS
M10	REVERSE DRIP FLASHING	WHITE	PLANK WINDOW TRIM
M11	PLASTIC VENT	BLACK	-
M12	GUTTER COIL FLASHING	-	-
M13	FOUNDATION TRANSITION F.	-	-

EXTERIOR ROOFING PRODUCT		
R#	DESCRIPTION	COLOR
R1	ROOFING SHINGLES - 30 YEAR LAMINATE	BLACK
R2	ATTIC STATIC VENT	-

NOTES

1) ALL RESIDENTIAL UNITS TO HAVE INDIVIDUAL AC UNIT
2) ALL RESIDENTIAL UNITS TO HAVE WINDOWS WITH RATING OF STC-30

RE-ISSUED FOR VENDOR



PROJECT STATUS:
RE-ISSUED FOR VENDOR

Revision Schedule

No.	Description	Revision Date
A	CITY PRE-APP	03/05/2020
B	ISSUED FOR VENDOR APP.	06/05/2020
C	ISSUED FOR REZONING	07/09/2020
D	RE-ISSUED FOR VENDOR	08/04/2020

SEAL: **ABELEARCHITECTURE**
THOMAS C. ABELE, ARCHITECT AIBC, T. 604-682-6818

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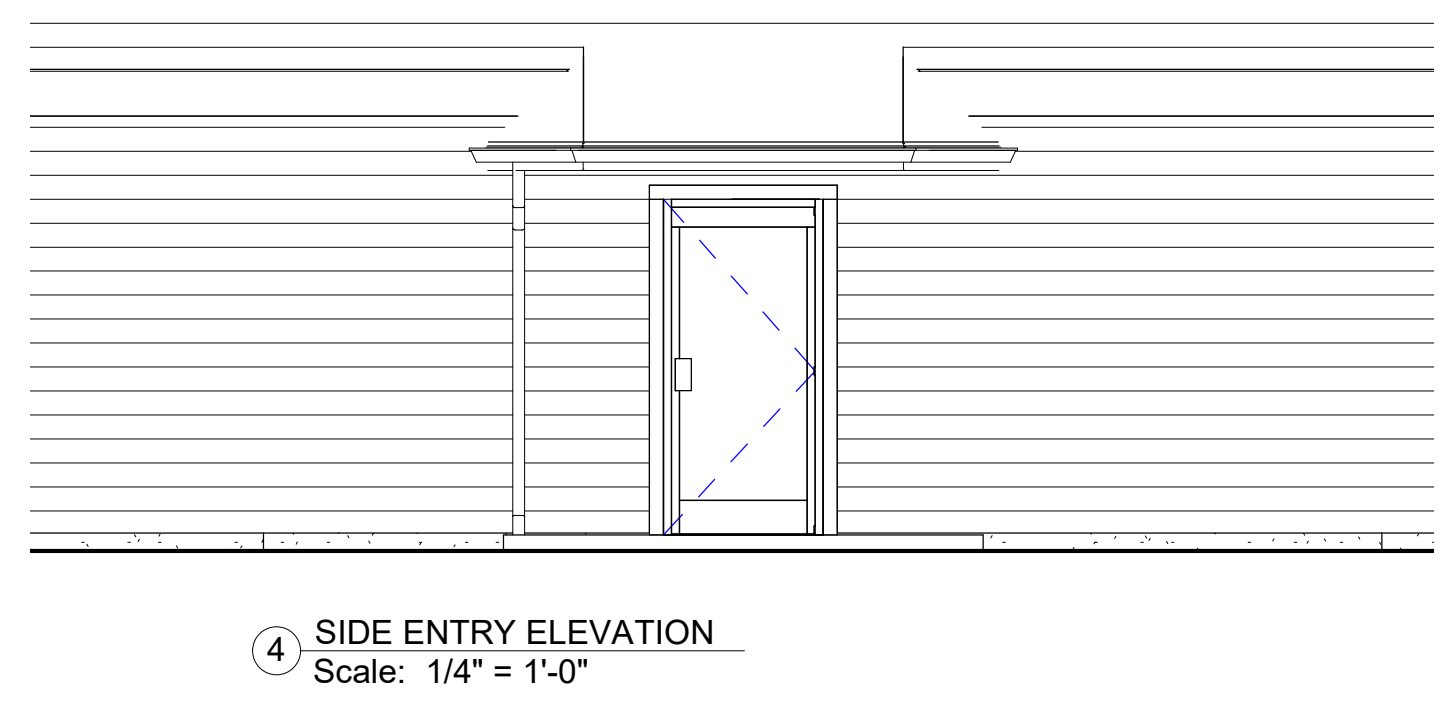
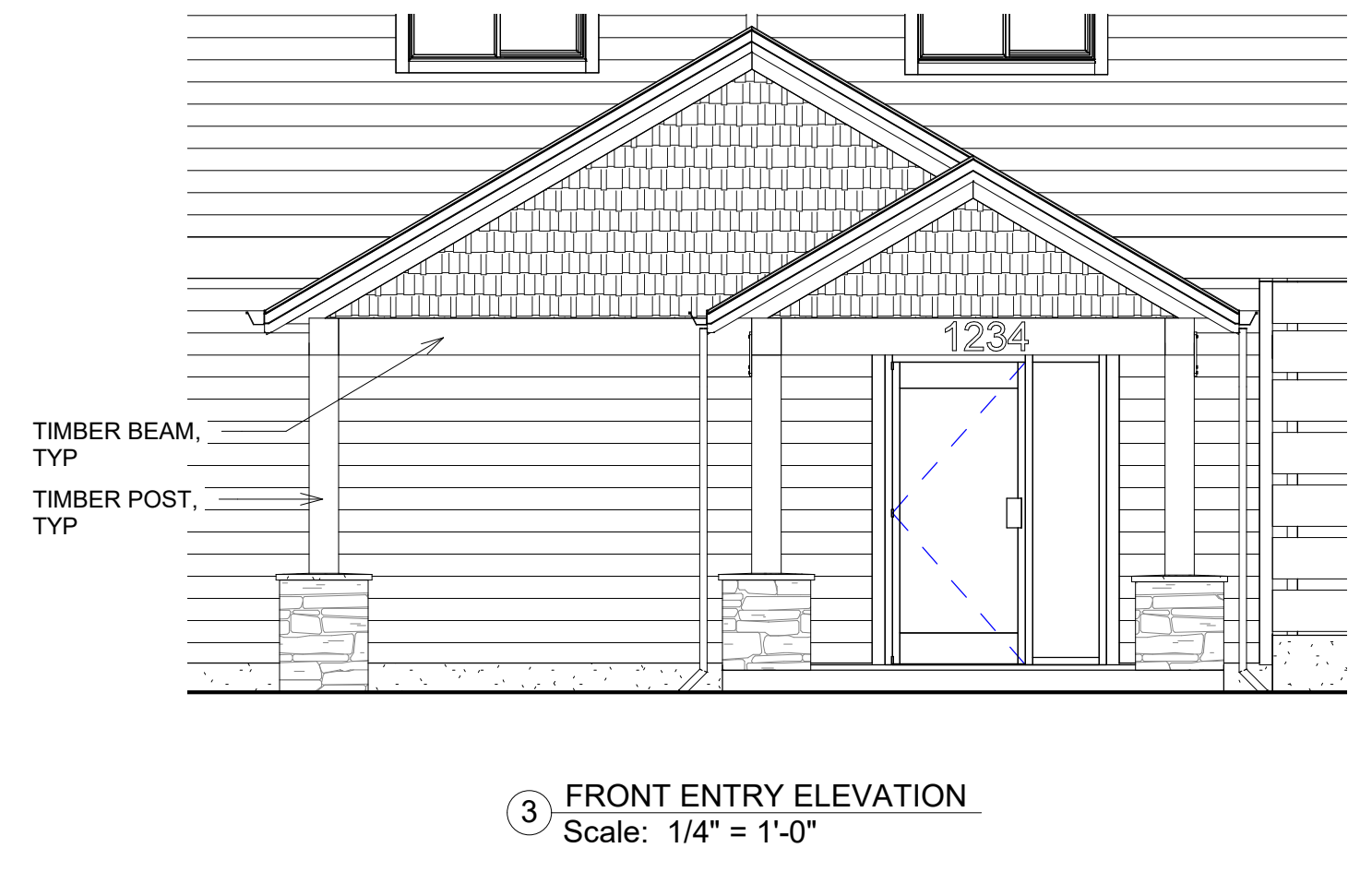
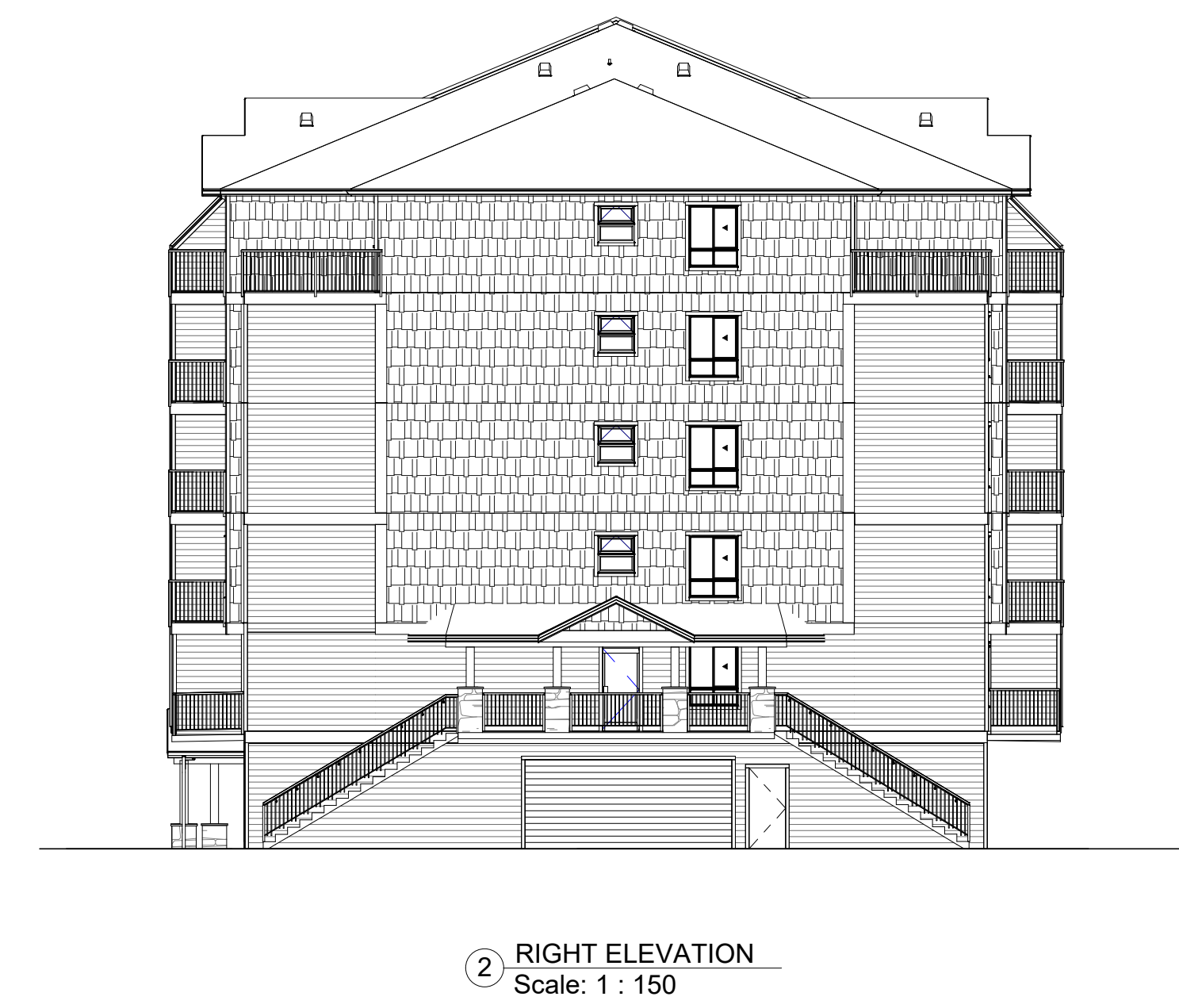
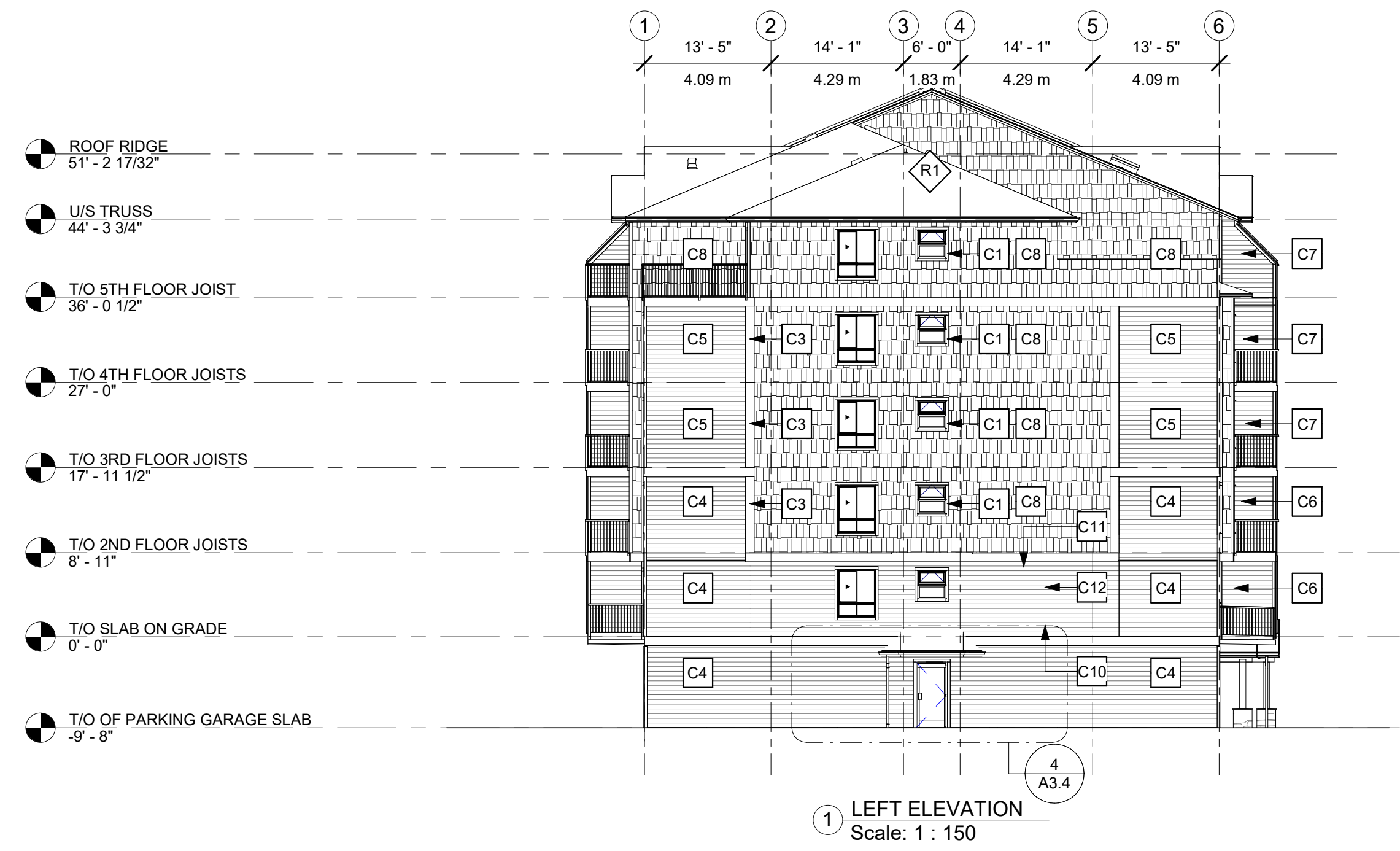
PROJECT NAME:
GLENHART VIEWS

PROJECT NUMBER:
-

ADDRESS:
801 RYAN ROAD
COURTENAY, BC

DRAWING TITLE:
ELEVATIONS 2 OF 2 - BUILDING B

DRAWN BY: PD
CHECKED BY: RF
DATE: 08/04/2020
SCALE: As indicated
DRAWING #: **A3.4** REV #: **D**



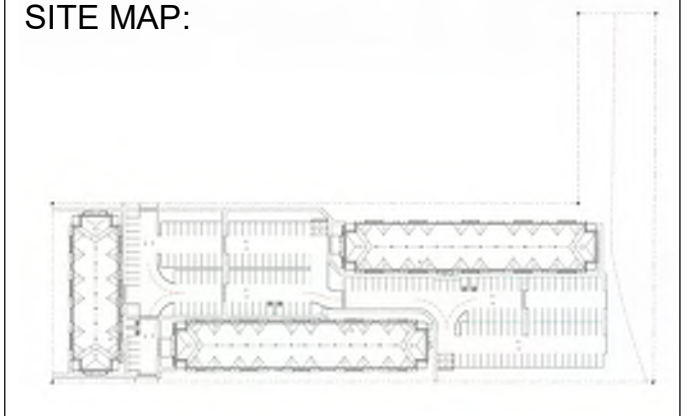
EXTERIOR CLADDING PRODUCT			
C#	DESCRIPTION	COLOR	LOCATION
C1	4" CEMENT BOARD TRIM	ARTIC WHITE	WINDOW & DOOR TRIM BALCONY WALLS
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C3	12" CEMENT BOARD TRIM	ARTIC WHITE	VERT. PARTITION WALL
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C5	PLANK - CEDARMILL	BOOTHBAY BLUE	LEVEL 4 - 6
C6	PLANK - CEDARMILL	DEEP OCEAN	LEVEL 1 - 3 BALCONY/PTAC
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C10	CULTURED STONE	EUCALYPTUS COUNTRY LEDGESTONE	FRONT CANOPIES POSTS & BUILDING ENDS
C11	TIMBER COLUMN	-	
C12	TIMBER BEAM	-	
C13	12" CEMENT BOARD TRIM	STAINED	

EXTERIOR METAL PRODUCT			
M#	DESCRIPTION	COLOR	LOCATION
M1	ALUMINUM DOWNSPOUTS	BLACK	-
M2	ALUMINUM GUTTER 5" K STYLE	BLACK	REFER TO DETAIL 6/A4.2
M3	ALUMINUM RAILING	BLACK	REFER TO DETAIL 6/A4.3
M4	PREFINISHED FLAT COIL	WHITE	FASCIA BOARD
M5	4 PANEL CLASSIC SOFFIT	LINEN	REFER TO DETAIL 6/A4.2
M6	WALL FLASHING	BLACK	-
M7	SHINGLE STEP FLASHING	BLACK	-
M8	ROOF EDGE FLASHING	BLACK	REFER TO DETAIL 6/A4.2
M9	DRIP CAP FLASHING	WHITE	VARIOUS
M10	REVERSE DRIP FLASHING	WHITE	PLANK WINDOW TRIM
M11	PLASTIC VENT	BLACK	-
M12	GUTTER COIL FLASHING	-	
M13	FOUNDATION TRANSITION F.	-	

EXTERIOR ROOFING PRODUCT		
R#	DESCRIPTION	COLOR
R1	ROOFING SHINGLES - 30 YEAR LAMINATE	BLACK
R2	ATTIC STATIC VENT	

NOTES

1) ALL RESIDENTIAL UNITS TO HAVE INDIVIDUAL AC UNIT
2) ALL RESIDENTIAL UNITS TO HAVE WINDOWS WITH RATING OF STC-30



PROJECT STATUS:
RE-ISSUED FOR VENDOR

Revision Schedule

No.	Description	Revision Date
A	CITY PRE-APP	03/05/2020
B	ISSUED FOR VENDOR APP.	06/05/2020
C	ISSUED FOR REZONING	07/09/2020
D	RE-ISSUED FOR VENDOR	08/04/2020

SEAL: **ABELEARCHITECTURE**
THOMAS C. ABLE, ARCHITECT AIBC, T. 604-682-6818

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PROJECT NAME:
GLENHART VIEWS

PROJECT NUMBER:
-

ADDRESS:
801 RYAN ROAD
COURTENAY, BC

DRAWING TITLE:
ELEVATIONS 1 OF 2 - BUILDING C

DRAWN BY: PD
CHECKED BY: RF
DATE: 08/04/2020
SCALE: As indicated
DRAWING #: **A3.5** REV #: **D**



1 FRONT ELEVATION
Scale: 1 : 150



2 BACK ELEVATION
Scale: 1 : 150

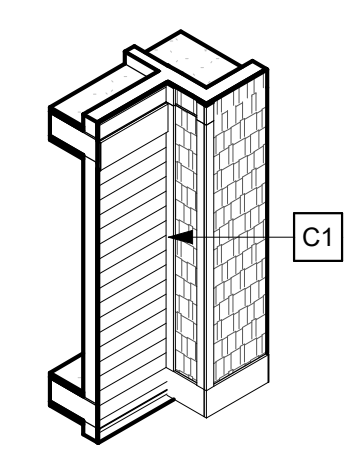
EXTERIOR CLADDING PRODUCT			
C#	DESCRIPTION	COLOR	LOCATION
C1	4" CEMENT BOARD TRIM	ARTIC WHITE	WINDOW & DOOR TRIM BALCONY WALLS
C2	12" CEMENT BOARD TRIM	ARTIC WHITE	BELLY BAND
C3	12" CEMENT BOARD TRIM	ARTIC WHITE	VERT. PARTITION WALL
C4	PLANK - CEDARMILL	DEEP OCEAN	LEVEL 1 - 3
C5	PLANK - CEDARMILL	BOOTHBAY BLUE	LEVEL 4 - 6
C6	PLANK - CEDARMILL	DEEP OCEAN	LEVEL 1 - 3 BALCONY/PTAC
C7	PLANK - CEDARMILL	BOOTHBAY BLUE	LEVEL 4 - 6 BALCONY / PTAC
C8	SHAKE - STRAIGHT EDGE	GRAY SLATE	BUMP OUT / BUILDING ENDS
C9	SHAKE - STRAIGHT EDGE	TRADITIONAL RED	BUMP OUT
C10	CULTURED STONE	EUCALYPTUS COUNTRY LEDGESTONE	FRONT CANOPIES POSTS & BUILDING ENDS
C11	TIMBER COLUMN	-	-
C12	TIMBER BEAM	-	-
C13	12" CEMENT BOARD TRIM	STAINED	-

EXTERIOR METAL PRODUCT			
M#	DESCRIPTION	COLOR	LOCATION
M1	ALUMINUM DOWNSPOUTS	BLACK	-
M2	ALUMINUM GUTTER 5" K STYLE	BLACK	REFER TO DETAIL 6/A4.2
M3	ALUMINUM RAILING	BLACK	REFER TO DETAIL 6/A4.3
M4	PREFINISHED FLAT COIL	WHITE	FASCIA BOARD
M5	4 PANEL CLASSIC SOFFIT	LINEN	REFER TO DETAIL 6/A4.2
M6	WALL FLASHING	BLACK	-
M7	SHINGLE STEP FLASHING	BLACK	-
M8	ROOF EDGE FLASHING	BLACK	REFER TO DETAIL 6/A4.2
M9	DRIP CAP FLASHING	WHITE	VARIOUS
M10	REVERSE DRIP FLASHING	WHITE	PLANK WINDOW TRIM
M11	PLASTIC VENT	BLACK	-
M12	GUTTER COIL FLASHING	-	-
M13	FOUNDATION TRANSITION F.	-	-

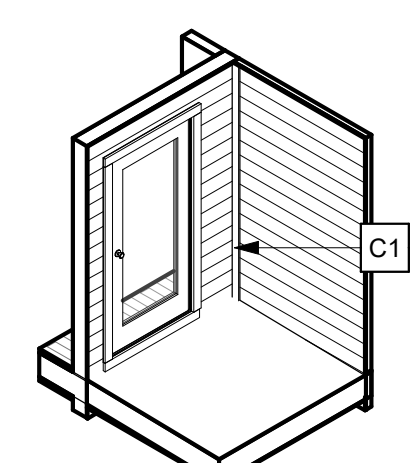
EXTERIOR ROOFING PRODUCT		
R#	DESCRIPTION	COLOR
R1	ROOFING SHINGLES - 30 YEAR LAMINATE	BLACK
R2	ATTIC STATIC VENT	-

NOTES

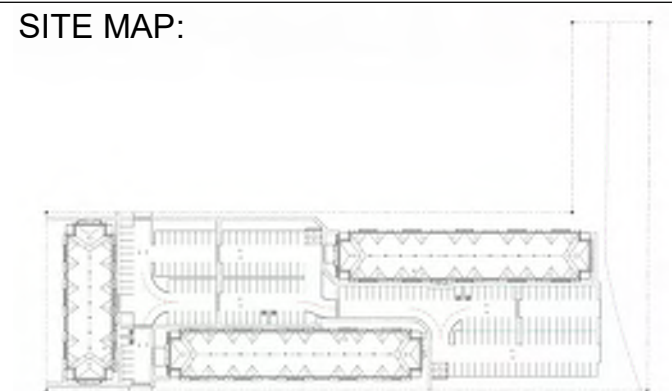
1) ALL RESIDENTIAL UNITS TO HAVE INDIVIDUAL AC UNIT
2) ALL RESIDENTIAL UNITS TO HAVE WINDOWS WITH RATING OF STC-30



3 3d Iso - Inside Corner Bumpout
Scale:



4 3d Iso - Inside Deck Corner
Scale:



PROJECT STATUS:
RE-ISSUED FOR VENDOR

Revision Schedule

No.	Description	Revision Date
A	CITY PRE-APP	03/05/2020
B	ISSUED FOR VENDOR APP.	06/05/2020
C	ISSUED FOR REZONING	07/09/2020
D	RE-ISSUED FOR VENDOR	08/04/2020

SEAL: **ABELEARCHITECTURE**
THOMAS C. ABLE, ARCHITECT AIBC, T. 604-682-6818

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PROJECT NAME:
GLENHART VIEWS

PROJECT NUMBER:
-

ADDRESS:
801 RYAN ROAD
COURTENAY, BC

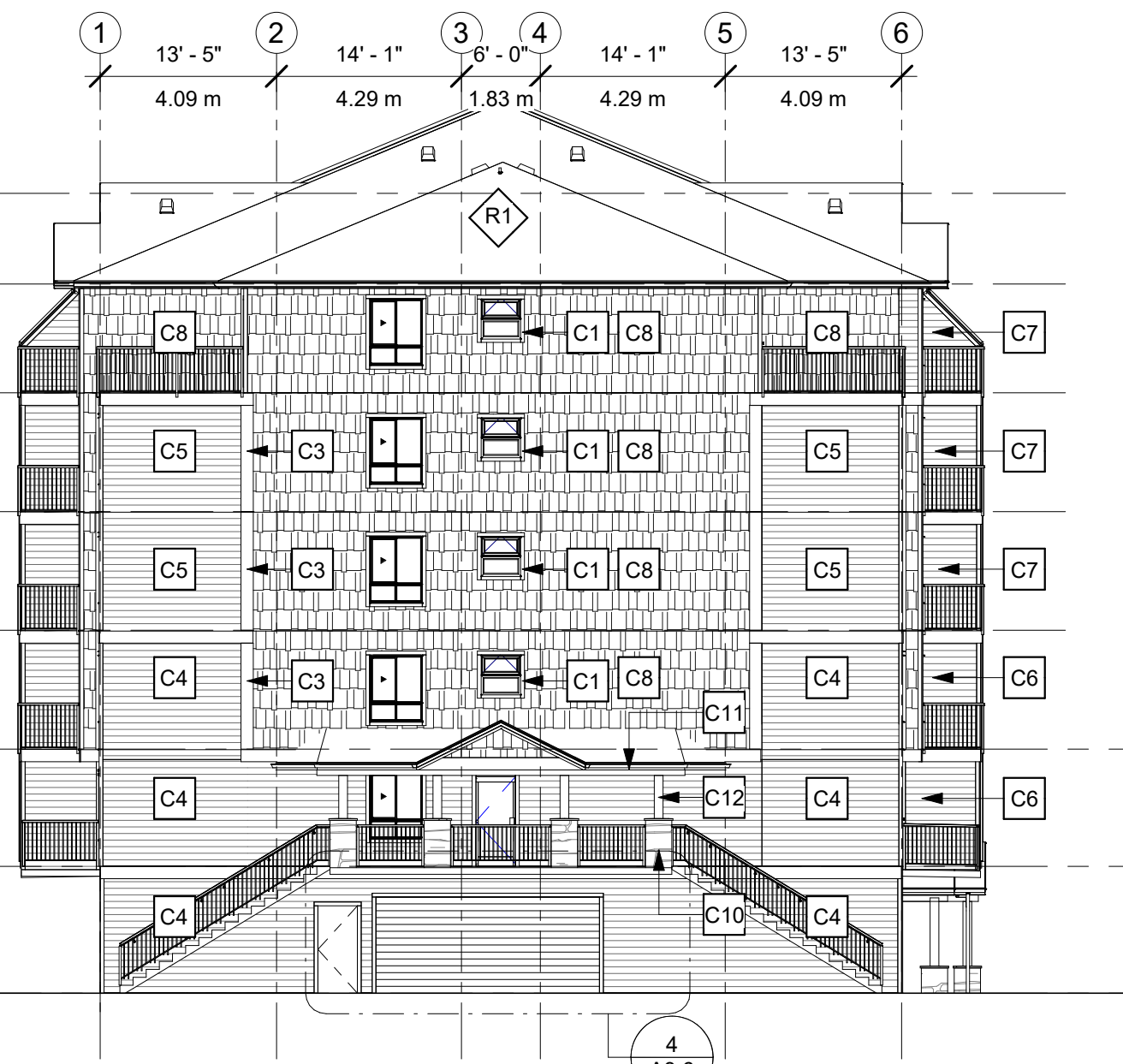
DRAWING TITLE:
ELEVATIONS 2 OF 2 - BUILDING C

DRAWN BY: PD
CHECKED BY: RF
DATE: 08/04/2020
SCALE: As indicated
DRAWING #: REV #:

A3.6

D

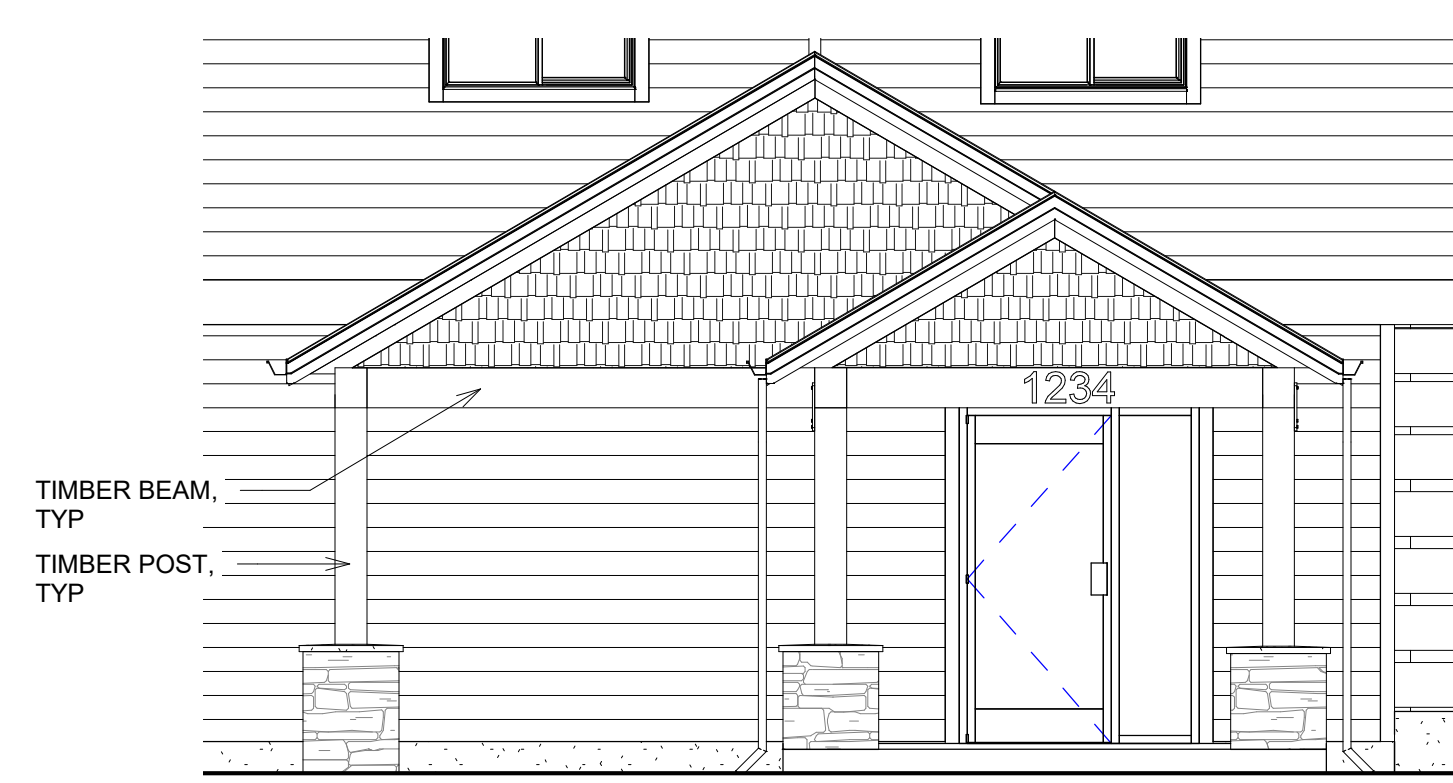
RE-ISSUED FOR VENDOR



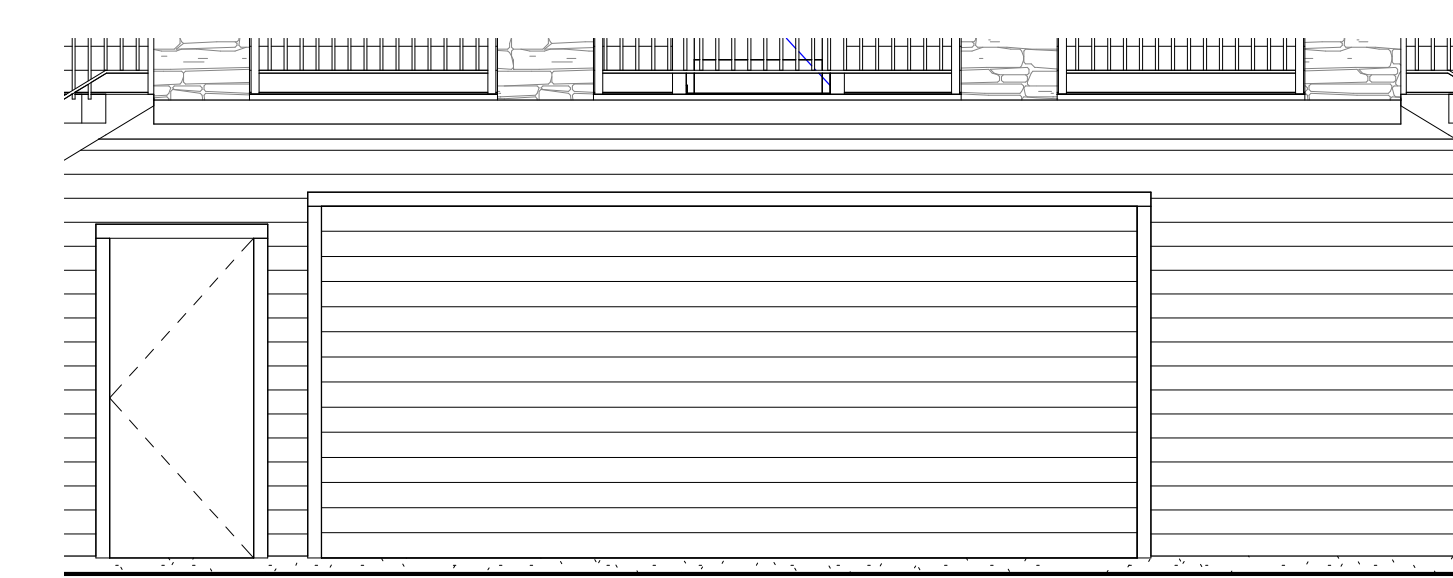
1 LEFT ELEVATION
Scale: 1 : 150



2 RIGHT ELEVATION
Scale: 1 : 150



3 FRONT ENTRY ELEVATION
Scale: 1/4" = 1'-0"



4 SIDE ENTRY ELEVATION
Scale: 1/4" = 1'-0"

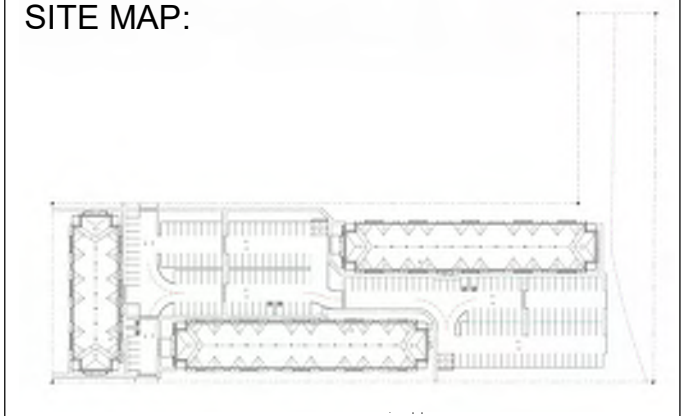
EXTERIOR CLADDING PRODUCT			
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C9	SHAKE - STRAIGHT EDGE	TRADITIONAL RED	BUMP OUT
C10	CULTURED STONE	EUCALYPTUS COUNTRY LEDGESTONE	FRONT CANOPIES POSTS & BUILDING ENDS
C11	TIMBER COLUMN	-	-
C12	TIMBER BEAM	-	-
C13	12" CEMENT BOARD TRIM	STAINED	-

EXTERIOR METAL PRODUCT			
M#	DESCRIPTION	COLOR	LOCATION
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M7	SHINGLE STEP FLASHING	BLACK	-
M8	ROOF EDGE FLASHING	BLACK	REFER TO DETAIL 6/A4.2
M9	DRIP CAP FLASHING	WHITE	VARIOUS
M10	REVERSE DRIP FLASHING	WHITE	PLANK WINDOW TRIM
M11	PLASTIC VENT	BLACK	-
M12	GUTTER COIL FLASHING	-	-
M13	FOUNDATION TRANSITION F.	-	-

EXTERIOR ROOFING PRODUCT		
R#	DESCRIPTION	COLOR
R1	ROOFING SHINGLES - 30 YEAR LAMINATE	BLACK
R2	ATTIC STATIC VENT	-

NOTES

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2) ALL RESIDENTIAL UNITS TO HAVE WINDOWS WITH RATING OF STC-30



PROJECT STATUS:
RE-ISSUED FOR VENDOR

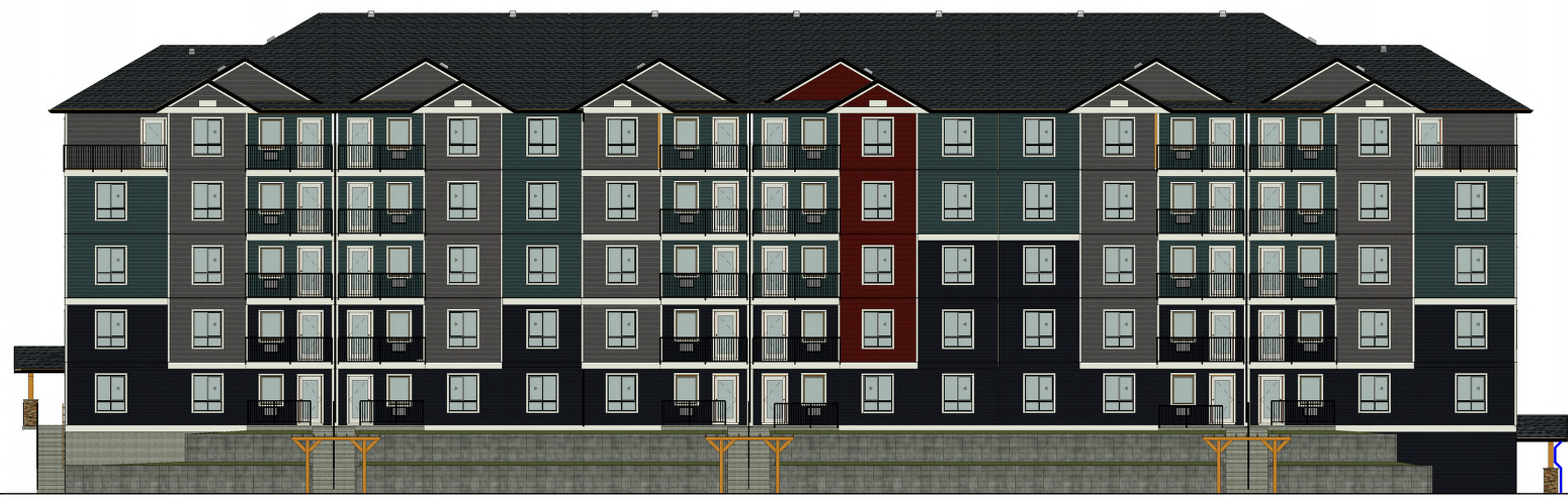
Revision Schedule

No.	Description	Revision Date
A	CITY PRE-APP	03/05/2020
B	ISSUED FOR VENDOR APP.	06/05/2020
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SEAL: **ABELEARCHITECTURE**
THOMAS C. ABLE, ARCHITECT ABC, T. 604-682-6818



① COLOUR - FRONT ELEVATION
Scale: 3/32" = 1'-0"



② COLOUR - BACK ELEVATION
Scale: 3/32" = 1'-0"

EXTERIOR CLADDING PRODUCT			
C#	DESCRIPTION	COLOR	LOCATION
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C13	12" CEMENT BOARD TRIM	STAINED	

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M#	DESCRIPTION	COLOR	LOCATION
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M8	ROOF EDGE FLASHING	BLACK	REFER TO DETAIL 6/A4.2
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M10	REVERSE DRIP FLASHING	WHITE	PLANK WINDOW TRIM
M11	PLASTIC VENT	BLACK	
M12	GUTTER COIL FLASHING		
M13	FOUNDATION TRANSITION F.		

EXTERIOR ROOFING PRODUCT		
R#	DESCRIPTION	COLOR
R1	ROOFING SHINGLES - 30 YEAR LAMINATE	BLACK
R2	ATTIC STATIC VENT	

NOTES

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PROJECT NAME:
GLENHART VIEWS

PROJECT NUMBER:

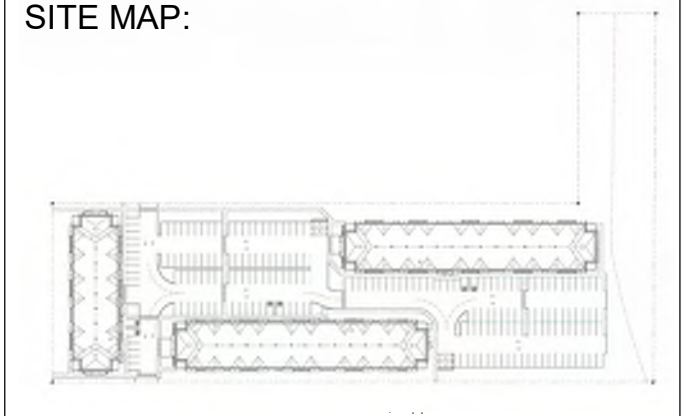
ADDRESS:
801 RYAN ROAD
COURTENAY, BC

DRAWING TITLE:
COLOUR ELEVATIONS 1 OF 2 -
BUILDING A

DRAWN BY: Author
CHECKED BY: Checker
DATE: 08/04/2020
SCALE: As indicated
DRAWING #: REV #:

A3.7

RE-ISSUED FOR VENDOR



PROJECT STATUS:
RE-ISSUED FOR VENDOR

Revision Schedule

No.	Description	Revision Date
A	CITY PRE-APP	03/05/2020
B	ISSUED FOR VENDOR APP.	06/05/2020
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SEAL: **ABELEARCHITECTURE**
THOMAS C. ABLE, ARCHITECT AIBC, T. 604-682-6818

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PROJECT NAME:
GLENHART VIEWS

PROJECT NUMBER:
-

ADDRESS:
801 RYAN ROAD
COURTENAY, BC

DRAWING TITLE:
COLOUR ELEVATIONS 2 OF 2 -
BUILDING A

DRAWN BY: Author
CHECKED BY: Checker
DATE: 08/04/2020
SCALE: As indicated

DRAWING #: **A3.8** REV #: **D**



1 COLOUR - LEFT ELEVATION
Scale: 3/32" = 1'-0"



2 COLOUR - RIGHT ELEVATION
Scale: 3/32" = 1'-0"

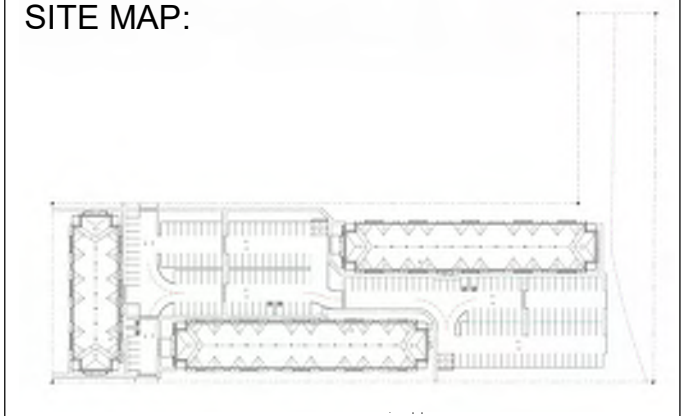
EXTERIOR CLADDING PRODUCT			
C#	DESCRIPTION	COLOR	LOCATION
C1	4" CEMENT BOARD TRIM	ARTIC WHITE	WINDOW & DOOR TRIM BALCONY WALLS
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C13	12" CEMENT BOARD TRIM	STAINED	-

EXTERIOR METAL PRODUCT			
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M9	DRIP CAP FLASHING	WHITE	VARIOUS
M10	REVERSE DRIP FLASHING	WHITE	PLANK WINDOW TRIM
M11	PLASTIC VENT	BLACK	-
M12	GUTTER COIL FLASHING	-	-
M13	FOUNDATION TRANSITION F.	-	-

EXTERIOR ROOFING PRODUCT		
R#	DESCRIPTION	COLOR
R1	ROOFING SHINGLES - 30 YEAR LAMINATE	BLACK
R2	ATTIC STATIC VENT	-

NOTES

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PROJECT STATUS:
RE-ISSUED FOR VENDOR

Revision Schedule

No.	Description	Revision Date
A	CITY PRE-APP	03/05/2020
B	ISSUED FOR VENDOR APP.	06/05/2020
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THOMAS C. ABLE, ARCHITECT AIBC, T. 604-682-6818

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PROJECT NAME:
GLENHART VIEWS

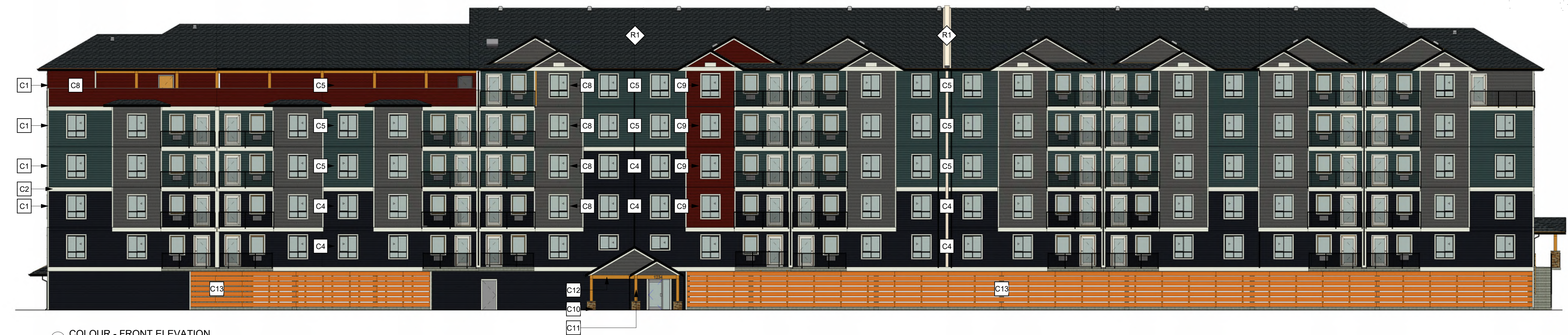
PROJECT NUMBER:

ADDRESS:
801 RYAN ROAD
COURTENAY, BC

DRAWING TITLE:
COLOUR ELEVATIONS 1 OF 2 -
BUILDING B

DRAWN BY: Author
CHECKED BY: Checker
DATE: 08/04/2020
SCALE: As indicated

DRAWING #: **A3.9** REV #: **D**



1 COLOUR - FRONT ELEVATION
Scale: 1 : 150



2 COLOUR - BACK ELEVATION
Scale: 1 : 150

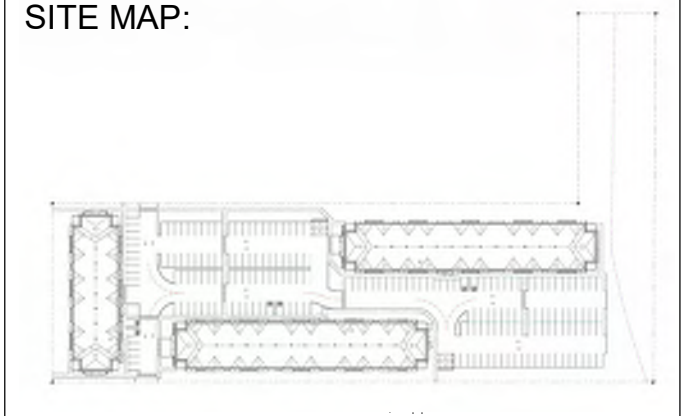
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M8	ROOF EDGE FLASHING	BLACK	REFER TO DETAIL 6/A4.2
M9	DRIP CAP FLASHING	WHITE	VARIOUS
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M11	PLASTIC VENT	BLACK	-
M12	GUTTER COIL FLASHING	-	-
M13	FOUNDATION TRANSITION F.	-	-

EXTERIOR ROOFING PRODUCT		
R#	DESCRIPTION	COLOR
R1	ROOFING SHINGLES - 30 YEAR LAMINATE	BLACK
R2	ATTIC STATIC VENT	

NOTES

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2) ALL RESIDENTIAL UNITS TO HAVE WINDOWS WITH RATING OF STC-30



PROJECT STATUS:
RE-ISSUED FOR VENDOR

Revision Schedule

No.	Description	Revision Date
A	CITY PRE-APP	03/05/2020
B	ISSUED FOR VENDOR APP.	06/05/2020
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SEAL: **ABELEARCHITECTURE**
THOMAS C. ABLE, ARCHITECT ABC. T. 604-682-6818



1 COLOUR - LEFT ELEVATION
Scale: 1 : 150



2 COLOUR - RIGHT ELEVATION
Scale: 1 : 150

EXTERIOR CLADDING PRODUCT			
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M#	DESCRIPTION	COLOR	LOCATION
M1	ALUMINUM DOWNSPOUTS	BLACK	-
M2	ALUMINUM GUTTER 5" K STYLE	BLACK	REFER TO DETAIL 6/A4.2
M3	ALUMINUM RAILING	BLACK	REFER TO DETAIL 6/A4.3
M4	PREFINISHED FLAT COIL	WHITE	FASCIA BOARD
M5	4 PANEL CLASSIC SOFFIT	LINEN	REFER TO DETAIL 6/A4.2
M6	WALL FLASHING	BLACK	-
M7	SHINGLE STEP FLASHING	BLACK	-
M8	ROOF EDGE FLASHING	BLACK	REFER TO DETAIL 6/A4.2
M9	DRIP CAP FLASHING	WHITE	VARIOUS
M10	REVERSE DRIP FLASHING	WHITE	PLANK WINDOW TRIM
M11	PLASTIC VENT	BLACK	-
M12	GUTTER COIL FLASHING	-	
M13	FOUNDATION TRANSITION F.	-	

EXTERIOR ROOFING PRODUCT		
R#	DESCRIPTION	COLOR
R1	ROOFING SHINGLES - 30 YEAR LAMINATE	BLACK
R2	ATTIC STATIC VENT	

NOTES

1) ALL RESIDENTIAL UNITS TO HAVE INDIVIDUAL AC UNIT
2) ALL RESIDENTIAL UNITS TO HAVE WINDOWS WITH RATING OF STC-30

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CONTRACTORS SHALL MAKE EVERY REASONABLE EFFORT TO MAINTAIN SCHEDULE TARGETS AND PROVIDE GOOD EFFICIENCY, PROGRESS, WORKMANSHIP AND QUALITY TOWARD DEFICIENCY-FREE RESULTS.

PROJECT NAME:
GLENHART VIEWS

PROJECT NUMBER:
-

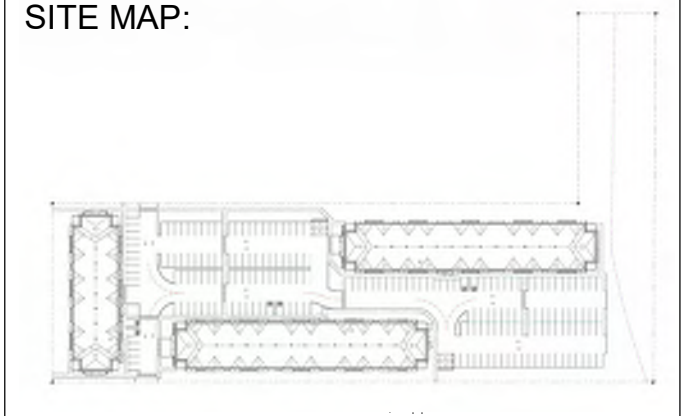
ADDRESS:
801 RYAN ROAD
COURTENAY, BC

DRAWING TITLE:
COLOUR ELEVATIONS 2 OF 2 -
BUILDING B

DRAWN BY: Author
CHECKED BY: Checker
DATE: 08/04/2020
SCALE: As indicated

DRAWING #: **A3.10** REV #: **D**

RE-ISSUED FOR VENDOR



PROJECT STATUS:
RE-ISSUED FOR VENDOR

Revision Schedule

No.	Description	Revision Date
A	CITY PRE-APP	03/05/2020
B	ISSUED FOR VENDOR APP.	06/05/2020
C	ISSUED FOR REZONING	07/09/2020
D	RE-ISSUED FOR VENDOR	08/04/2020

SEAL: **ABELEARCHITECTURE**
THOMAS C. ABLE, ARCHITECT ABC. T. 604-682-6818

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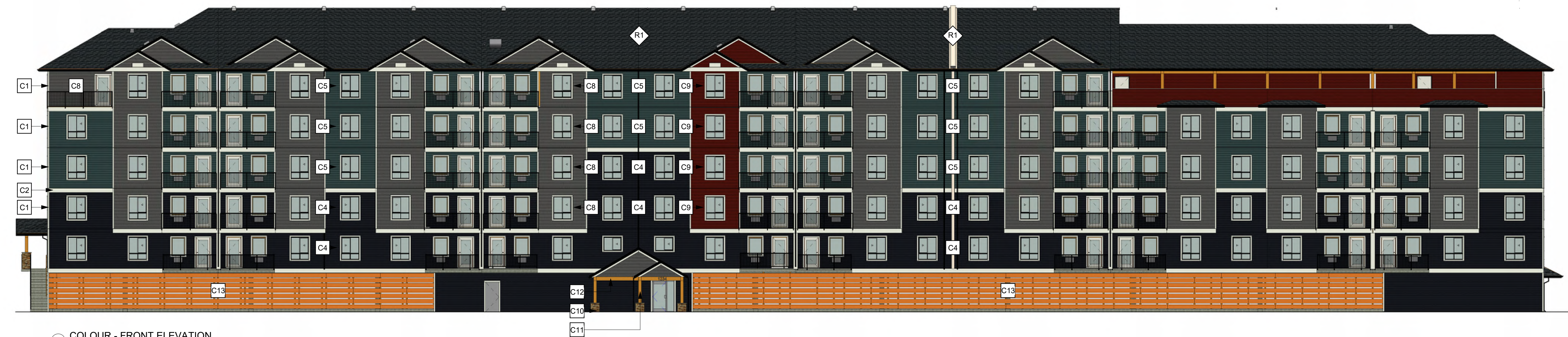
PROJECT NAME:
GLENHART VIEWS

PROJECT NUMBER:

ADDRESS:
801 RYAN ROAD
COURTENAY, BC

DRAWING TITLE:
COLOUR ELEVATIONS 1 OF 2 - BUILDING C

DRAWN BY: Author
CHECKED BY: Checker
DATE: 08/04/2020
SCALE: As indicated
DRAWING #: REV #:



1 COLOUR - FRONT ELEVATION
Scale: 1 : 150



2 COLOUR - BACK ELEVATION
Scale: 1 : 150

EXTERIOR CLADDING PRODUCT			
C#	DESCRIPTION	COLOR	LOCATION
C1	4" CEMENT BOARD TRIM	ARTIC WHITE	WINDOW & DOOR TRIM BALCONY WALLS
C2	12" CEMENT BOARD TRIM	ARTIC WHITE	BELLY BAND
C3	12" CEMENT BOARD TRIM	ARTIC WHITE	VERT. PARTITION WALL
C4	PLANK - CEDARMILL	DEEP OCEAN	LEVEL 1 - 3
C5	PLANK - CEDARMILL	BOOTHBAY BLUE	LEVEL 4 - 6
C6	PLANK - CEDARMILL	DEEP OCEAN	LEVEL 1 - 3 BALCONY/PTAC
C7	PLANK - CEDARMILL	BOOTHBAY BLUE	LEVEL 4 - 6 BALCONY / PTAC
C8	SHAKE - STRAIGHT EDGE	GRAY SLATE	BUMP OUT / BUILDING ENDS
C9	SHAKE - STRAIGHT EDGE	TRADITIONAL RED	BUMP OUT
C10	CULTURED STONE	EUCALYPTUS COUNTRY LEDGESTONE	FRONT CANOPIES POSTS & BUILDING ENDS
C11	TIMBER COLUMN	-	-
C12	TIMBER BEAM	-	-
C13	12" CEMENT BOARD TRIM	STAINED	-

EXTERIOR METAL PRODUCT			
M#	DESCRIPTION	COLOR	LOCATION
M1	ALUMINUM DOWNSPOUTS	BLACK	-
M2	ALUMINUM GUTTER 5" K STYLE	BLACK	REFER TO DETAIL 6/A4.2
M3	ALUMINUM RAILING	BLACK	REFER TO DETAIL 6/A4.3
M4	PREFINISHED FLAT COIL	WHITE	FASCIA BOARD
M5	4 PANEL CLASSIC SOFFIT	LINEN	REFER TO DETAIL 6/A4.2
M6	WALL FLASHING	BLACK	-
M7	SHINGLE STEP FLASHING	BLACK	-
M8	ROOF EDGE FLASHING	BLACK	REFER TO DETAIL 6/A4.2
M9	DRIP CAP FLASHING	WHITE	VARIOUS
M10	REVERSE DRIP FLASHING	WHITE	PLANK WINDOW TRIM
M11	PLASTIC VENT	BLACK	-
M12	GUTTER COIL FLASHING	-	-
M13	FOUNDATION TRANSITION F.	-	-

EXTERIOR ROOFING PRODUCT		
R#	DESCRIPTION	COLOR
R1	ROOFING SHINGLES - 30 YEAR LAMINATE	BLACK
R2	ATTIC STATIC VENT	-

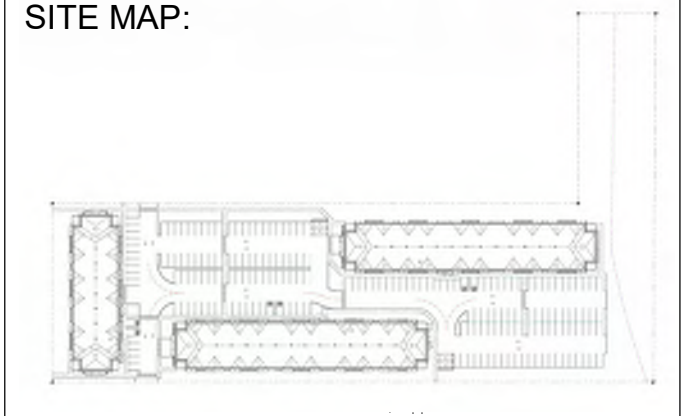
NOTES

1) ALL RESIDENTIAL UNITS TO HAVE INDIVIDUAL AC UNIT
2) ALL RESIDENTIAL UNITS TO HAVE WINDOWS WITH RATING OF STC-30

08/04/2020 9:36:38 AM

RE-ISSUED FOR VENDOR

A3.11
D



PROJECT STATUS:
RE-ISSUED FOR VENDOR

Revision Schedule

No.	Description	Revision Date
A	CITY PRE-APP	03/05/2020
B	ISSUED FOR VENDOR APP.	06/05/2020
C	ISSUED FOR REZONING	07/09/2020
D	RE-ISSUED FOR VENDOR	08/04/2020

SEAL: **ABELEARCHITECTURE**
THOMAS C. ABLE, ARCHITECT AIBC, T. 604-682-6818

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PROJECT NAME:
GLENHART VIEWS

PROJECT NUMBER:
-

ADDRESS:
801 RYAN ROAD
COURTENAY, BC

DRAWING TITLE:
COLOUR ELEVATIONS 2 OF 2 -
BUILDING C

DRAWN BY: Author
CHECKED BY: Checker
DATE: 08/04/2020
SCALE: As indicated

DRAWING #: **A3.12** REV #: **D**



1 COLOUR - LEFT ELEVATION
Scale: 1 : 150

2 COLOUR - RIGHT ELEVATION
Scale: 1 : 150

EXTERIOR CLADDING PRODUCT			
C#	DESCRIPTION	COLOR	LOCATION
C1	4" CEMENT BOARD TRIM	ARTIC WHITE	WINDOW & DOOR TRIM BALCONY WALLS
C2	12" CEMENT BOARD TRIM	ARTIC WHITE	BELLY BAND
C3	12" CEMENT BOARD TRIM	ARTIC WHITE	VERT. PARTITION WALL
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C12	TIMBER BEAM		
C13	12" CEMENT BOARD TRIM	STAINED	

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M3	ALUMINUM RAILING	BLACK	REFER TO DETAIL 6/A4.3
M4	PREFINISHED FLAT COIL	WHITE	FASCIA BOARD
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M6	WALL FLASHING	BLACK	-
M7	SHINGLE STEP FLASHING	BLACK	-
M8	ROOF EDGE FLASHING	BLACK	REFER TO DETAIL 6/A4.2
M9	DRIP CAP FLASHING	WHITE	VARIOUS
M10	REVERSE DRIP FLASHING	WHITE	PLANK WINDOW TRIM
M11	PLASTIC VENT	BLACK	-
M12	GUTTER COIL FLASHING	-	-
M13	FOUNDATION TRANSITION F.	-	-

EXTERIOR ROOFING PRODUCT		
R#	DESCRIPTION	COLOR
R1	ROOFING SHINGLES - 30 YEAR LAMINATE	BLACK
R2	ATTIC STATIC VENT	

NOTES
1) ALL RESIDENTIAL UNITS TO HAVE INDIVIDUAL AC UNIT
2) ALL RESIDENTIAL UNITS TO HAVE WINDOWS WITH RATING OF STC-30