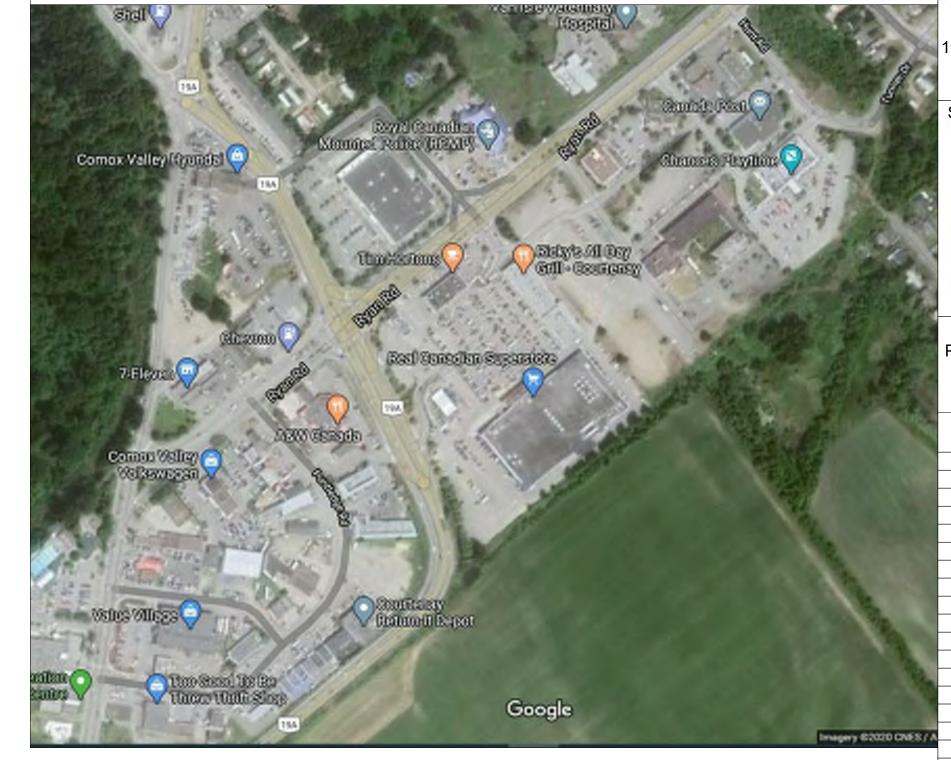
## PROJECT DATA

	PROJECT DESCRIPTION	V					
	THIS PROJECT CONSISTS OF A 3-MULTI-FAMILY RESIDENTIAL BUILDINGS WITH ONE LEVEL PARKADE /						
	FIVE LEVELS OF RESIDENTAIL  BUILDING CODE						
7	THE APPLICABLE BUILDING CODE IS THE BCBC OF THE 2018 INCLUDING ALL ADDENDA						
ō	PROJECT DATA						
Ę	MUNICIPAL ADDRESS		8	301 RYAN ROAI	)		
INFORMATION	LEGAL	LOT 1, SECTION 14, COMOX DISTRICT, PLAN 27905 EXCEPT PARTS IN PLANS 38112 AND VIP53727					
OR	DESCRIPTION ZONING		PERMITED	PLANS 38112	PROP	OSED	NOTES
H	MUNICIDALITY		C1-A	COUDTENAY	С	D	
Z	MUNICIPALITY  LOT AREA (SF)		216042.55 S	COURTENAY Q FT (4.96 ACR	RFS / 2.0 HA)		
<b>—</b>	DENSITY			4.96 Ac = 50.6	, , , , , , , , , , , , , , , , , , ,		
C	LOT COVERAGE		PERMITED			POSED	
<b>3</b>	% (SF)		-		24.9 53100.5	5 % SSO FT	
Q	(61)		FRONT	REAR	INTER. SIDE	•	
PROJE	BUILDING SETBACKS	REQUIRED PROPOSED	24'-7 1/8" (7.5m) 24'-7 1/8" (7.5m)	19'-8 1/4" (6.0m) 19'-8 1/4" (6.0m)	9'-10 1/8" (3.0m) 9'-10 1/8" (3.0m)	- -	
	BUILDING HEIGHT	11101002	PERMITED	· · ·	PROP		
			## m		DECK = UNIT CO	M UNIT * ADEA	
	USABLE OPEN SPACE	UNIT COUN	NT (251) X 20 SQ M =	5,020 SQ M	DECK = 0N11 CO		
					DECK B = 10 * 14. DECK C = 2 * 232	77 = 147.70	
					OUTDOOR AREA OUTDOOR AREA		
					OUTDOOR AREA		
					TOTAL =		
	INDOOR AMENITY SPACE		0		DOG WASH BUSINESS CENT	= 18.11 RE = 170.84 188.96	
	FLOOR AREA		PERMITTED		PROP		
	RATIO		- 1.24 - 268934.5 SQ FT			PARKADE SF NOT	
	(SF)		- AREA		268934.	SQFI	INCLUDED
		BUILDING A	63164.5			63164.5	
		BUILDING B BUILDING C	102885 102885			102885 102885	
<u> </u>							
UILDING		UNITS	TYPE	NUMBER	TOTAL (SF)	268,934.5 SQ FT (SF) TOTAL	
	UNIT	A2	2 BED / 2 BATH	16	948	15168	
5	BREAKDOWN	A3,A4,A5,A6 D2	2 BED / 2 BATH 2 BED / 2 BATH	62 6	965 928	59830 5568	
M	*EXCLUDES DECKS / PATIOS	D3,D4,D5	2 BED / 2 BATH	18	944	16992	
		D6A E2	1 BED / 1 BATH 3 BED / 2 BATH	4 6	790 1030	3160 6180	
		E3,E4,E5, E6A	3 BED / 2 BATH 2 BED / 2 BATH	18 6	1046 888	18828 5328	
		F2	1 BED / 1 BATH	7	635	4445	
		F3,F4,F5,F6 L2	1 BED / 1 BATH 2 BED / 1 BATH	38 3	652 852	24776 2556	
		L3,L4,L5,L6	2 BED / 1 BATH	12	868	10416	
		O2 O3,O4,O5,O6	2 BED / 1 BATH 2 BED / 1 BATH	3 12	866 882	2598 10584	
		N2 N3,N4,N5,N6	2 BED / 2 BATH 2 BED / 2 BATH	8 32	948 965	7584 30880	
			TOTAL PARKADE	251 SURFACE	%	224,893	
		SMALL CAR	-	22	-		
	PROPOSED PARKING	STANDARD CAR ACCESSIBLE	135 -	151 6			
(7)	17ttttitto	TOTAL		314			
ž		31 SPOTS (10%) T	O BE DESIGNATED				
	REQUIRED PARKING		REQU	JIRED I			
<b>₹</b>	APARTMENTS		-	314			
PARKING	1.25 DWELLING UNITS		_	-			
44			TOTAL	314			
				JIRED	PROVIDED		
	BIKE STORAGE	SHORT TERM	-	-	32		
	·	I LONG TEDM	1	1	I 054	I	I
	1:1	LONG TERM	-	<u>-</u> 251	254 286		

	DRAWING INDEX		
Sheet Number	Sheet Number Sheet Name		
A0.0	COVER SHEET		
A1.0	SITE PLAN		
A1.1	SITE PLAN - PARKING		
A1.2	SITE - OFFSITE		
A1.3	SHED ROOF PERGOLA		
A1.4	SITE ACCESSORIES		
A1.5	SITE ACCESSORIES		
A1.6	SITE PERSPECTIVE		
A1.7	SITE PERSPECTIVE		
A2.0	PARKADE PLAN - BUILDING A		
A2.3	BUILDING SECOND FLOOR PLAN - BUILDING A		
A2.4	THIRD AND FOURTH FLOOR PLAN - BUILDING A		
A2.5	FIFTH FLOOR AND SIXTH PLAN - BUILDING A		
A2.6	ROOF PLAN - BUILDING A		
A2.7	PARKADE PLAN - BUILDING B		
A2.10	SECOND FLOOR PLAN - BUILDING B		
A2.11	THIRD FLOOR PLAN - BUILDING B		
A2.12	FOURTH FLOOR PLAN - BUILDING B		
A2.13	FIFTH FLOOR PLAN - BUILDING B		
A2.14	SIXTH FLOOR PLAN - BUILDING B		
A2.15	ROOF PLAN - BUILDING B		
A2.16	PARKADE PLAN - BUILDING C		
A2.19	SECOND FLOOR PLAN - BUILDING C		
A2.20	THIRD FLOOR PLAN - BUILDING C		
A2.21	FOURTH FLOOR PLAN - BUILDING C		
A2.22	FIFTH FLOOR PLAN - BUILDING C		
A2.23	SIXTH FLOOR PLAN - BUILDING C		
A2.24	ROOF PLAN - BUILDING C		
A3.1	ELEVATIONS 1 OF 2 - BUILDING A		
A3.2	ELEVATIONS 2 OF 2 - BUILDING A		
A3.3	ELEVATIONS 1 OF 2 - BUILDING B		
A3.4	ELEVATIONS 2 OF 2 - BUILDING B		
A3.5	ELEVATIONS 1 OF 2 - BUILDING C		
A3.6	ELEVATIONS 2 OF 2 - BUILDING C		
A3.7	COLOUR ELEVATIONS 1 OF 2 - BUILDING A		
A3.8	COLOUR ELEVATIONS 2 OF 2 - BUILDING A		
A3.9	COLOUR ELEVATIONS 1 OF 2 - BUILDING B		
A3.10	COLOUR ELEVATIONS 2 OF 2 - BUILDING B		
A3.11	COLOUR ELEVATIONS 1 OF 2 - BUILDING C		
A3.12	COLOUR ELEVATIONS 2 OF 2 - BUILDING C		

**VICINITY MAP** 



\*VICINITY MAP IS ONLY AN APPROXIMATION OF PROJECT LOCATION\*

DEVELOPMENTS LTD.

100 St Anns Street, Campbell River, B.C. (T)250.286.8045 (F)250.286.8046 www.seymourpacific.ca

SITE MAP:

PROJECT STATUS:

RE-ISSUED FOR VENDOR

9	Revision Schedule				
	No.	Description	Revision Dat		
	Α	CITY PRE-APP	03/05/2020		
	В	ISSUED FOR VENDOR APP.	06/05/2020		
	С	ISSUED FOR REZONING	07/09/2020		
	D	RE-ISSUED FOR VENDOR	08/04/2020		
-10					
	l	I .	1		

ABELEARCHITECTURE
THOMAS C. ABELE, ARCHITECT AIBC, T: 604.682-6818

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PROJECT NAME:

**GLENHART VIEWS** 

PROJECT NUMBER:

ADDRESS:

801 RYAN ROAD COURTENAY, BC

DRAWING TITLE:

COVER SHEET

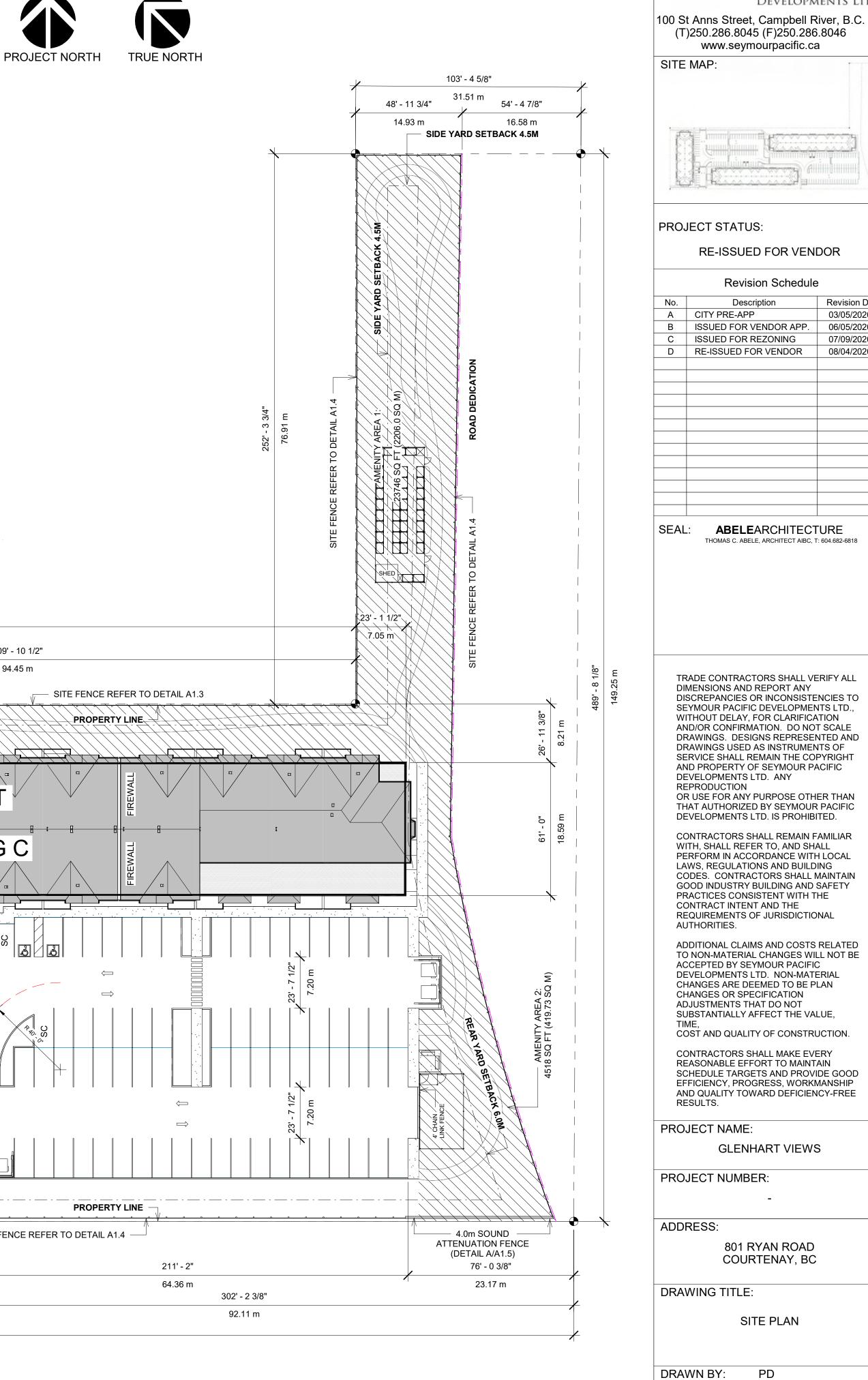
REV #:

PD DRAWN BY: CHECKED BY: RF DATE:

08/04/2020 SCALE: 1/4" = 1'-0"







Description A CITY PRE-APP B ISSUED FOR VENDOR APP. ISSUED FOR REZONING D RE-ISSUED FOR VENDOR SEAL: **ABELE**ARCHITECTURE THOMAS C. ABELE, ARCHITECT AIBC, T: 604.682-6818 TRADE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR INCONSISTENCIES TO SEYMOUR PACIFIC DEVELOPMENTS LTD., WITHOUT DELAY, FOR CLARIFICATION AND/OR CONFIRMATION. DO NOT SCALE DRAWINGS. DESIGNS REPRESENTED AND DRAWINGS USED AS INSTRUMENTS OF SERVICE SHALL REMAIN THE COPYRIGHT AND PROPERTY OF SEYMOUR PACIFIC DEVELOPMENTS LTD. ANY REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. IS PROHIBITED. CONTRACTORS SHALL REMAIN FAMILIAR WITH, SHALL REFER TO, AND SHALL PERFORM IN ACCORDANCE WITH LOCAL LAWS, REGULATIONS AND BUILDING CODES. CONTRACTORS SHALL MAINTAIN GOOD INDUSTRY BUILDING AND SAFETY PRACTICES CONSISTENT WITH THE CONTRACT INTENT AND THE REQUIREMENTS OF JURISDICTIONAL AUTHORITIES.

801 RYAN ROAD COURTENAY, BC

SEYMOUR PACIFIC

Revision Date

03/05/2020

06/05/2020 07/09/2020

08/04/2020

DRAWING TITLE:

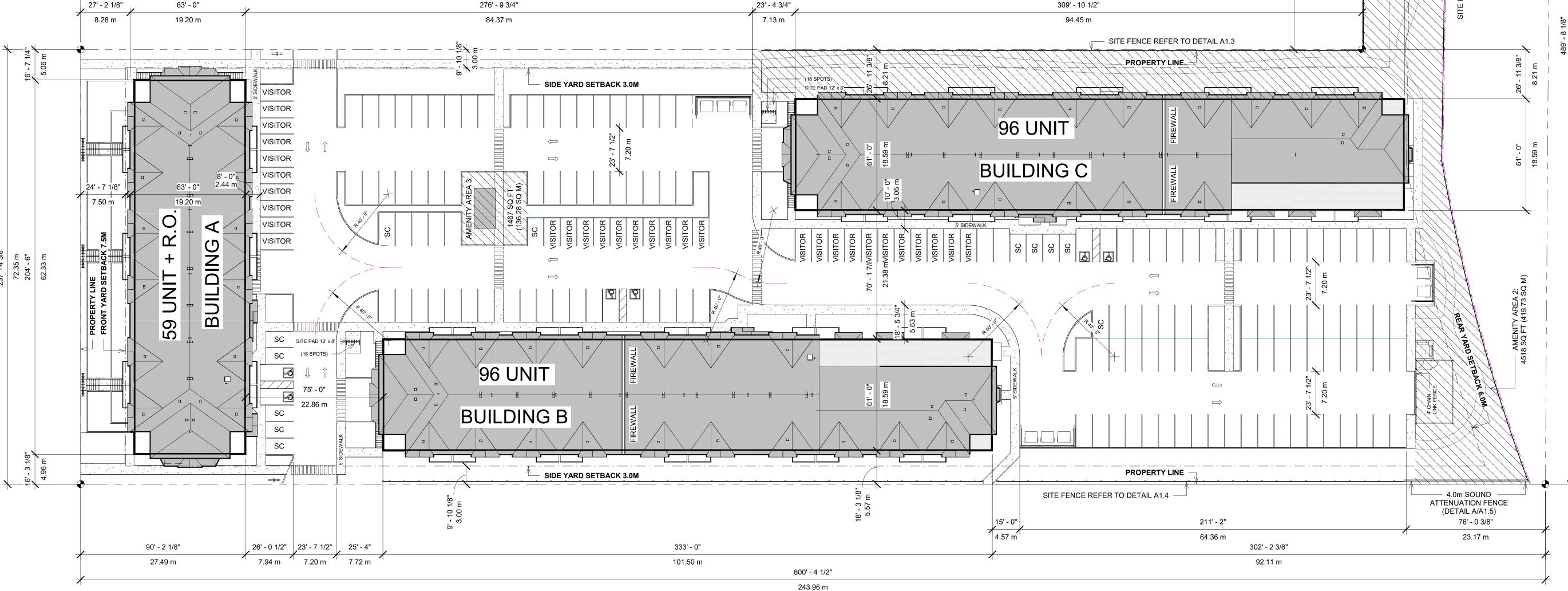
SITE PLAN

PD CHECKED BY: RF DATE: 08/04/2020 SCALE: 1" = 30'-0"

DRAWING #:

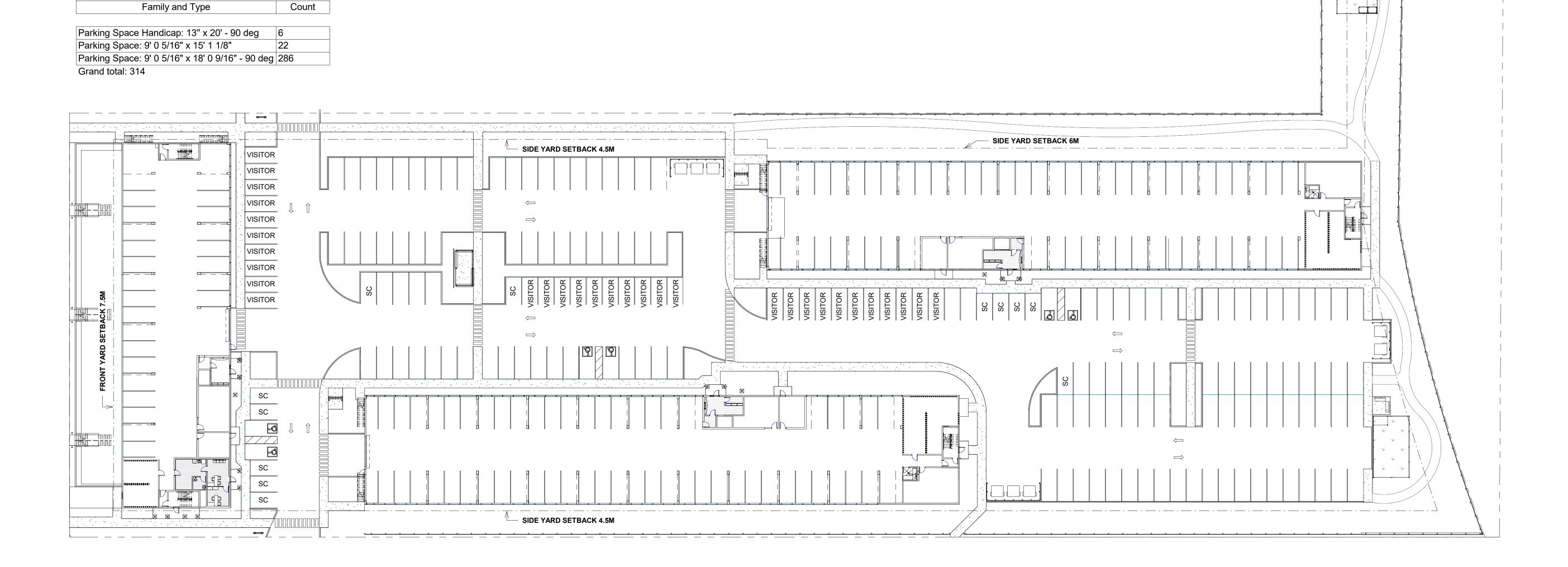
<u>A1.0</u>

REV #:



700' - 3 1/8" 213.44 m

1" = 30'-0"



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SITE MAP:

PROJECT STATUS:

RE-ISSUED FOR VENDOR

Revision Schedule			
No.	Description	Revision Date	
Α	CITY PRE-APP	03/05/2020	
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SEAL: **ABELE**ARCHITECTURE

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PROJECT NAME:

**GLENHART VIEWS** 

PROJECT NUMBER:

ADDRESS:

801 RYAN ROAD COURTENAY, BC

DRAWING TITLE:

SITE PLAN - PARKING

PD

DRAWN BY: CHECKED BY: RF

DATE: 08/04/2020 SCALE: 1" = 30'-0"

DRAWING #:

A1.1

REV #:

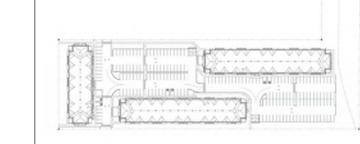
Parking Stalls - Count



Developments Ltd.

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SITE MAP:



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PROJECT NAME:

AUTHORITIES.

**GLENHART VIEWS** 

PROJECT NUMBER:

ADDRESS:

801 RYAN ROAD COURTENAY, BC

DRAWING TITLE:

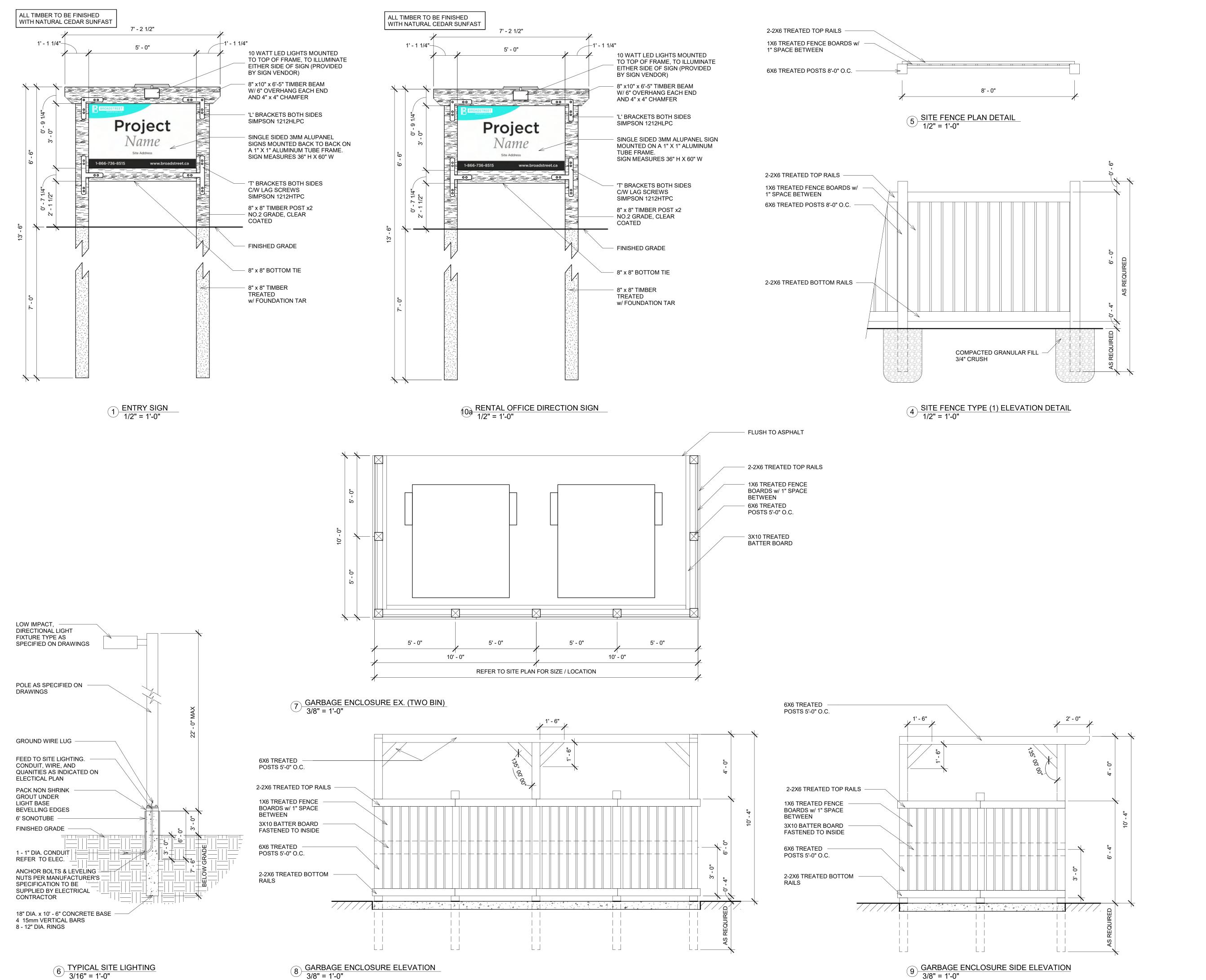
SITE - OFFSITE

PDDRAWN BY: CHECKED BY: RF DATE: 08/04/2020 SCALE: 1" = 40'-0"

DRAWING #:

<u>A1.2</u>

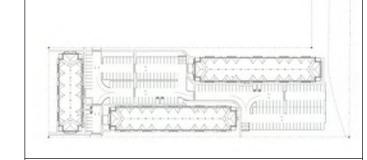
REV #:



SEYMOUR PACIFIC

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SITE MAP:



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PROJE	CT I	۱A۱	ΛE:

GLENHART VIEWS

PROJECT NUMBER:

ADDRESS:

801 RYAN ROAD COURTENAY, BC

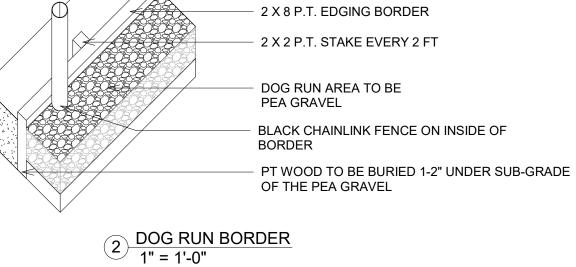
DRAWING TITLE:

SITE ACCESSORIES

DRAWN BY: PDCHECKED BY: RF DATE: 08/04/2020 As indicated

SCALE: DRAWING #:

<u>A1.4</u>



- 1" REVEAL ON EDGING BORDER

2 X 6 P.T. EDGING BORDER

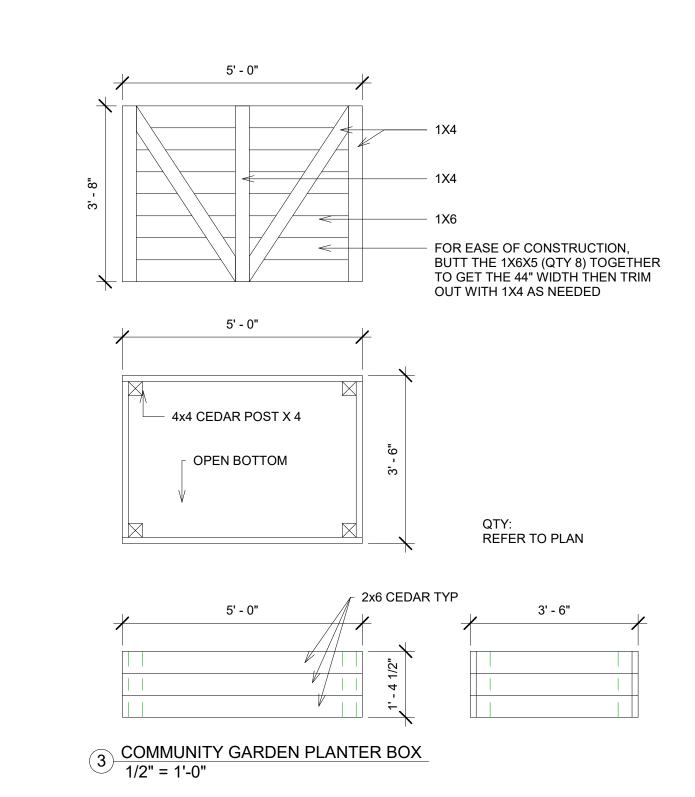
2 X 2 P.T. STAKE EVERY 4 FT

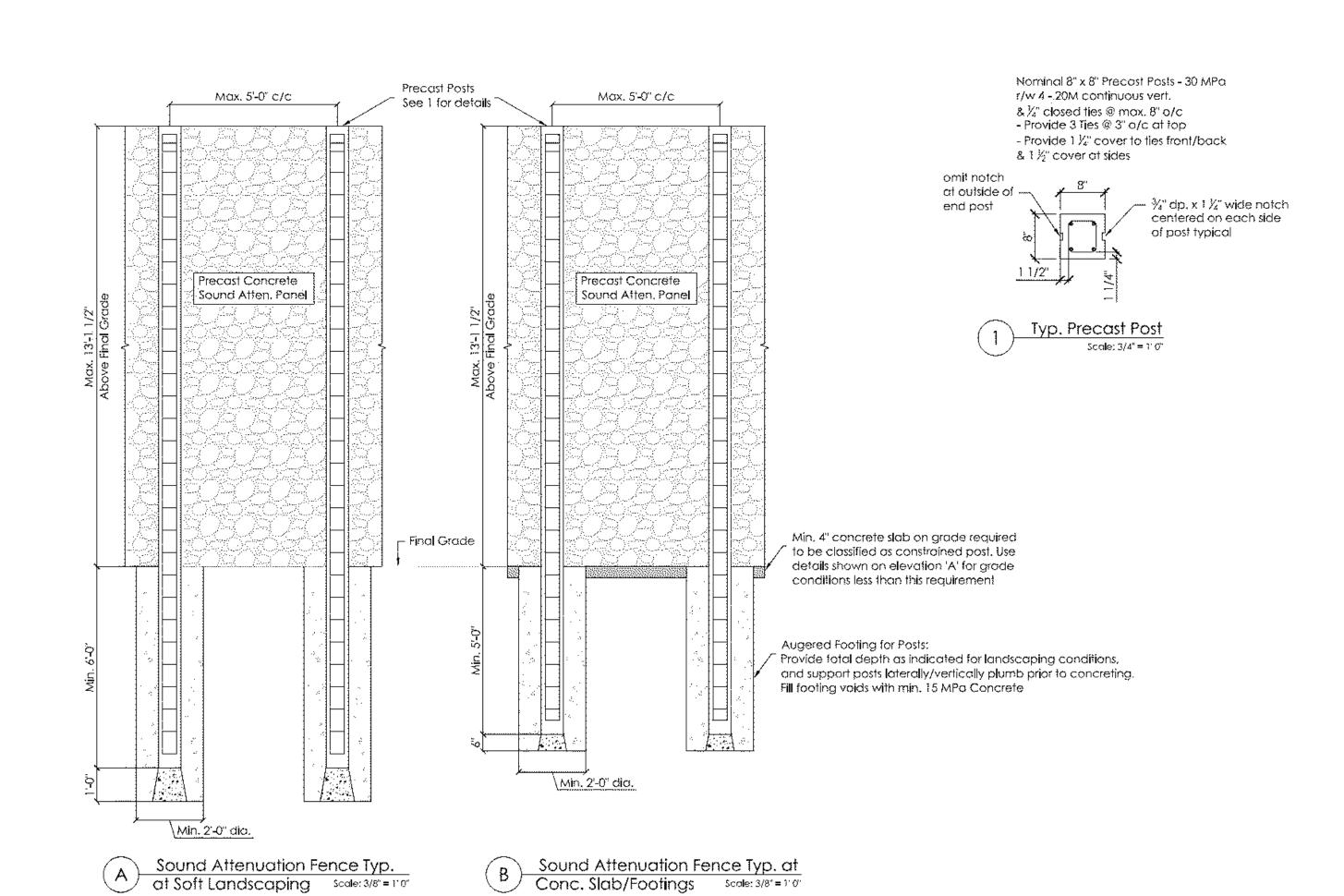
BARK MULCH

COMMUNITY GARDEN AREA TO BE

- 1" REVEAL ON EDGING BORDER

BLACK CHAINLINK FENCE ON INSIDE OF

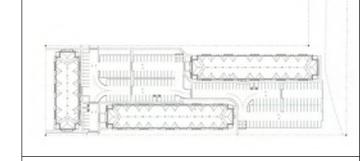




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SITE MAP:



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PROJECT NAME:

GLENHART VIEWS

PROJECT NUMBER:

ADDRESS:

801 RYAN ROAD COURTENAY, BC

DRAWING TITLE:

SITE ACCESSORIES

DRAWN BY: PD CHECKED BY: RF DATE: 08/04/2020 SCALE: As indicated

DRAWING #:

REV #:

<u>A1.5</u>



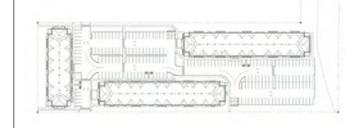




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PROJECT NAME:

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PROJECT NUMBER:

ADDRESS:

801 RYAN ROAD COURTENAY, BC

DRAWING TITLE:

SITE PERSPECTIVE

PD

08/04/2020

DRAWN BY: CHECKED BY: RF

DATE: SCALE:



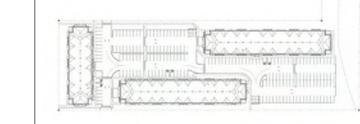




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SEAL: ABELEARCHITECTURE
THOMAS C. ABELE, ARCHITECT AIBC, T: 604.682-6818

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REASONABLE EFFORT TO MAINTAIN SCHEDULE TARGETS AND PROVIDE GOOD EFFICIENCY, PROGRESS, WORKMANSHIP AND QUALITY TOWARD DEFICIENCY-FREE RESULTS.

PROJECT NAME:

**GLENHART VIEWS** 

PROJECT NUMBER:

ADDRESS:

801 RYAN ROAD COURTENAY, BC

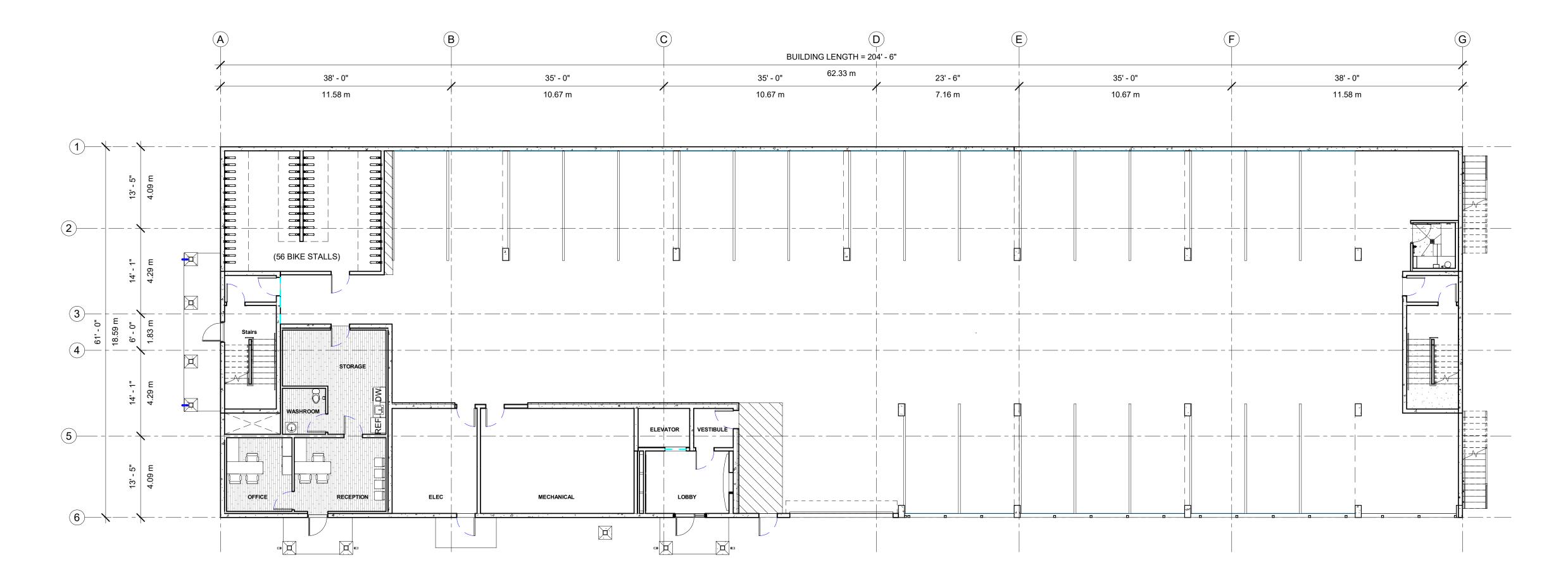
DRAWING TITLE:

SITE PERSPECTIVE

DRAWN BY: PDCHECKED BY: RF DATE:

SCALE: DRAWING #:

08/04/2020



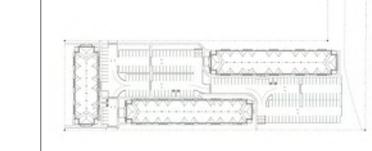
1 PARKING GARAGE - BUILDING A Scale: 1" = 10'-0"

FLOOR AREA = 12474.5 SQ FT

SEYMOUR PACIFIC

100 St Anns Street, Campbell River, B.C. (T)250.286.8045 (F)250.286.8046 www.seymourpacific.ca

SITE MAP:



PROJECT STATUS:

RE-ISSUED FOR VENDOR

Revision Schedule				
No.	Description	Revision Date		
Α	CITY PRE-APP	03/05/2020		
В	ISSUED FOR VENDOR APP.	06/05/2020		
С	ISSUED FOR REZONING	07/09/2020		
D	RE-ISSUED FOR VENDOR	08/04/2020		
		-		

SEAL: ABELEARCHITECTURE THOMAS C. ABELE, ARCHITECT AIBC, T: 604.682-6818

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PROJECT NUMBER:

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801 RYAN ROAD COURTENAY, BC

DRAWING TITLE:

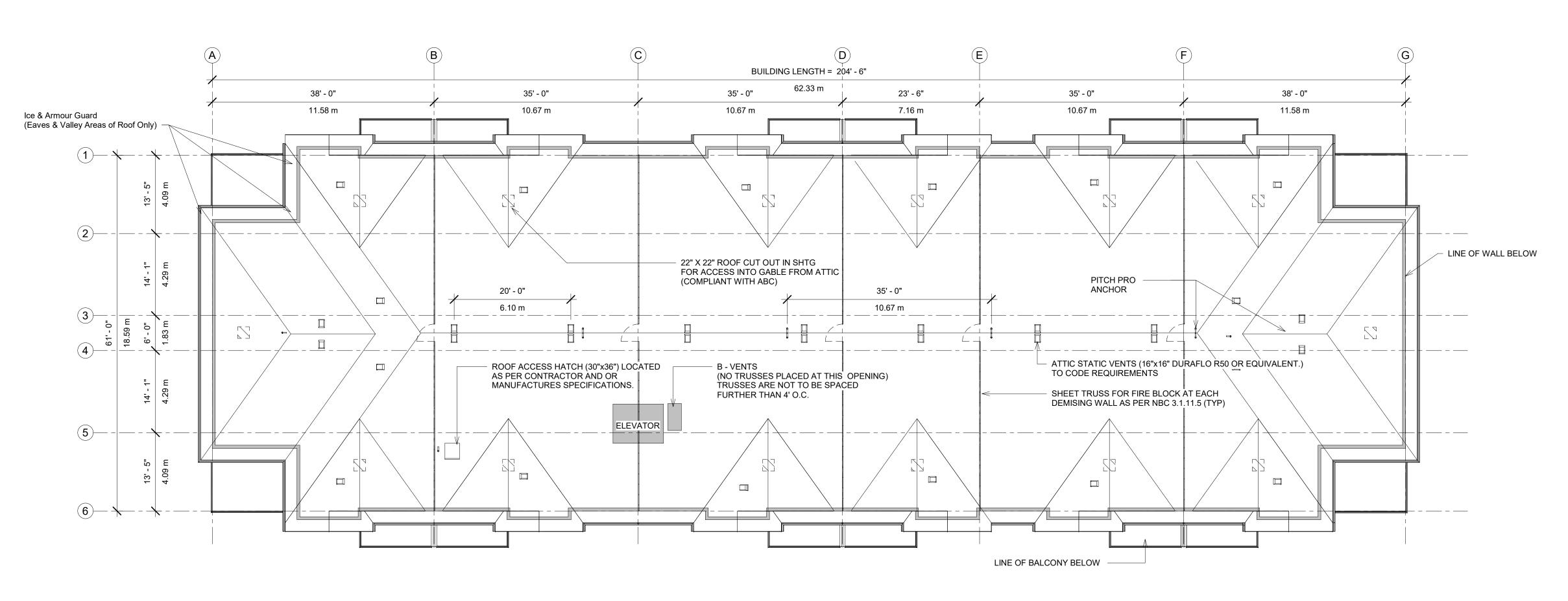
PARKADE PLAN - BUILDING A

PD

REV #:

DRAWN BY: CHECKED BY: RF DATE:

08/04/2020 SCALE: 1" = 10'-0"



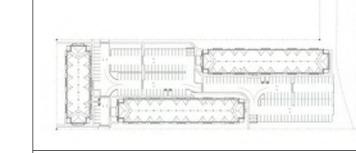
1 ROOF PLAN - BUILDING A Scale: 3/32" = 1'-0"

SEYMOUR PACIFIC

DEVELOPMENTS LTD. 100 St Anns Street, Campbell River, B.C. (T)250.286.8045 (F)250.286.8046

www.seymourpacific.ca

SITE MAP:



PROJECT STATUS:

RE-ISSUED FOR VENDOR

Revision Schedule			
Description	Revision Date		
CITY PRE-APP	03/05/2020		
ISSUED FOR VENDOR APP.	06/05/2020		
ISSUED FOR REZONING	07/09/2020		
RE-ISSUED FOR VENDOR	08/04/2020		
	_		
	Description CITY PRE-APP ISSUED FOR VENDOR APP. ISSUED FOR REZONING		

SEAL: **ABELE**ARCHITECTURE

THOMAS C. ABELE, ARCHITECT AIBC, T: 604.682-6818

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PROJECT NAME:

GLENHART VIEWS

PROJECT NUMBER:

ADDRESS:

801 RYAN ROAD COURTENAY, BC

DRAWING TITLE:

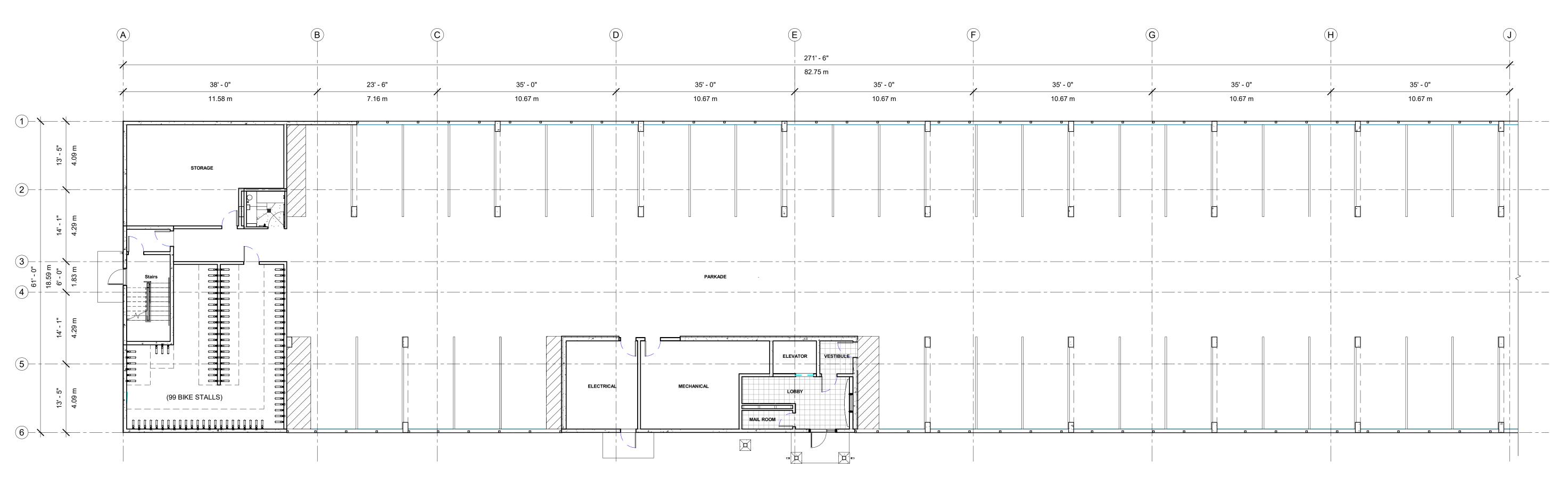
ROOF PLAN - BUILDING A

DRAWN BY: Author CHECKED BY: Checker DATE: 08/04/2020 SCALE: 3/32" = 1'-0"

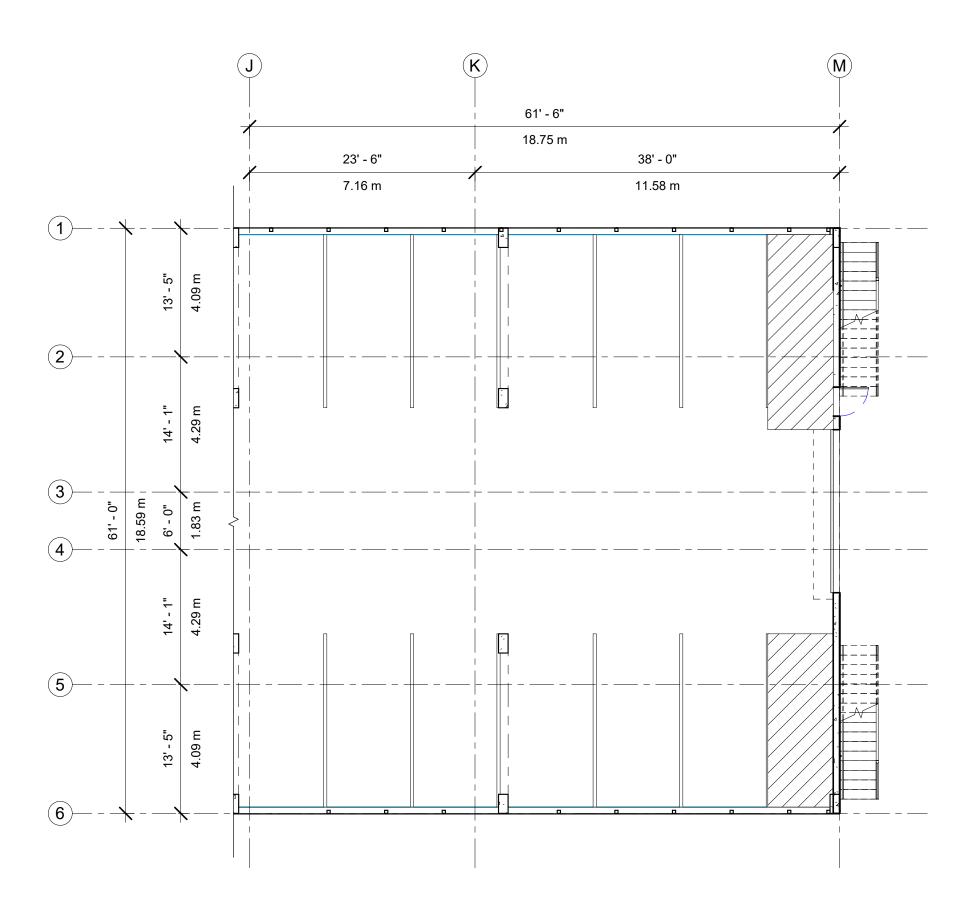
DRAWING #:

<u>A2.6</u>





FLOOR AREA = 20313 SQ FT



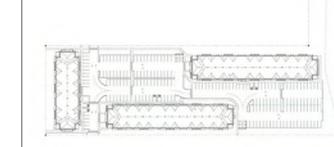
1 PARKING GARAGE - BUILDING B - 1 OF 2 Scale: 1" = 10'-0"

2 PARKING GARAGE - BUILDING B - 2 OF 2
Scale: 1" = 10'-0"

SEYMOUR PACIFIC

100 St Anns Street, Campbell River, B.C. (T)250.286.8045 (F)250.286.8046 www.seymourpacific.ca

SITE MAP:



PROJECT STATUS:

RE-ISSUED FOR VENDOR

	Revision Schedule	•
No.	Description	Revision Date
Α	CITY PRE-APP	03/05/2020
В	ISSUED FOR VENDOR APP.	06/05/2020
С	ISSUED FOR REZONING	07/09/2020
D	RE-ISSUED FOR VENDOR	08/04/2020
		·

ABELEARCHITECTURE
THOMAS C. ABELE, ARCHITECT AIBC, T: 604.682-6818

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PROJECT NAME:

GLENHART VIEWS

PROJECT NUMBER:

ADDRESS:

801 RYAN ROAD COURTENAY, BC

DRAWING TITLE:

PARKADE PLAN - BUILDING B

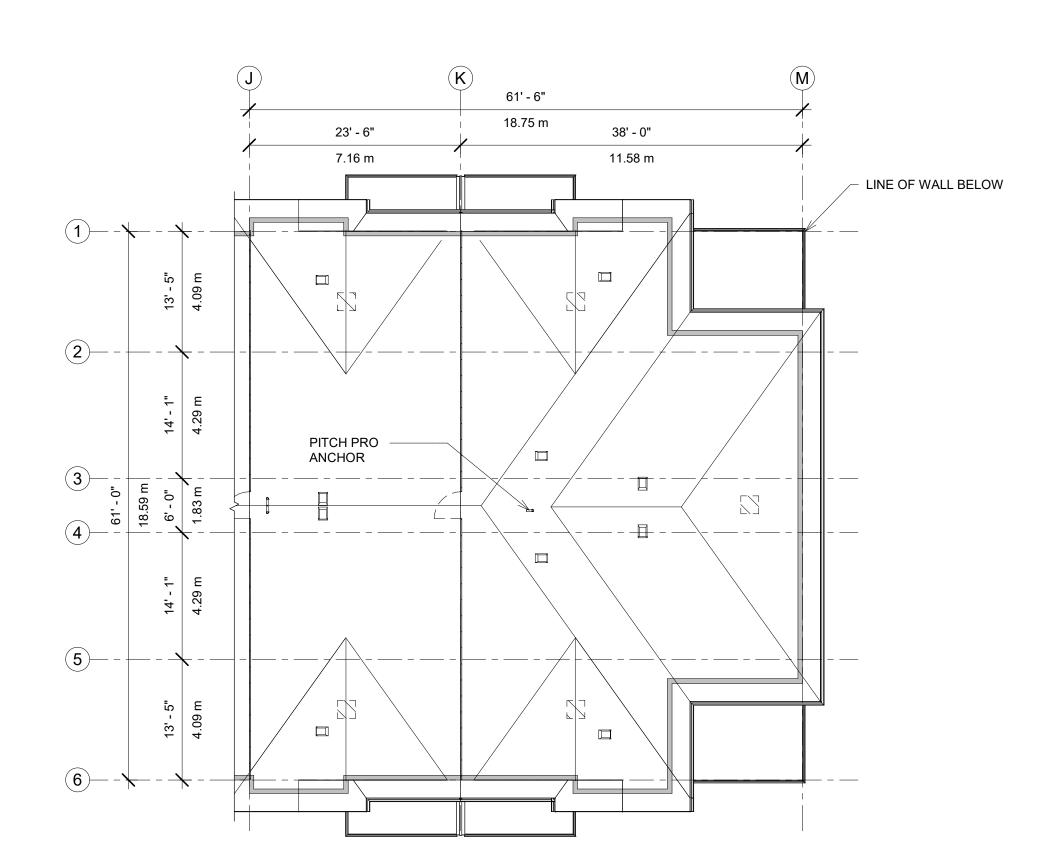
PD

REV #:

DRAWN BY: CHECKED BY: RF

DATE: 08/04/2020 SCALE: 1" = 10'-0"

1 ROOF PLAN - BUILDING B - 1 OF 2 Scale: 3/32" = 1'-0"

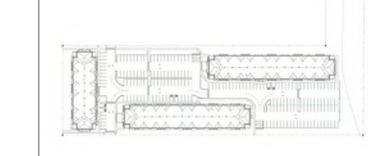


2 ROOF PLAN - BUILDING B - 2 OF 2 Scale: 3/32" = 1'-0"

SEYMOUR PACIFIC

100 St Anns Street, Campbell River, B.C. (T)250.286.8045 (F)250.286.8046 www.seymourpacific.ca

SITE MAP:



PROJECT STATUS:

RE-ISSUED FOR VENDOR

Revision Schedule			
No. Description		Revision Date	
Α	CITY PRE-APP	03/05/2020	
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С	ISSUED FOR REZONING	07/09/2020	
D	RE-ISSUED FOR VENDOR	08/04/2020	
		_	

**ABELE**ARCHITECTURE

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PROJECT NAME:

GLENHART VIEWS

PROJECT NUMBER:

ADDRESS:

801 RYAN ROAD COURTENAY, BC

DRAWING TITLE:

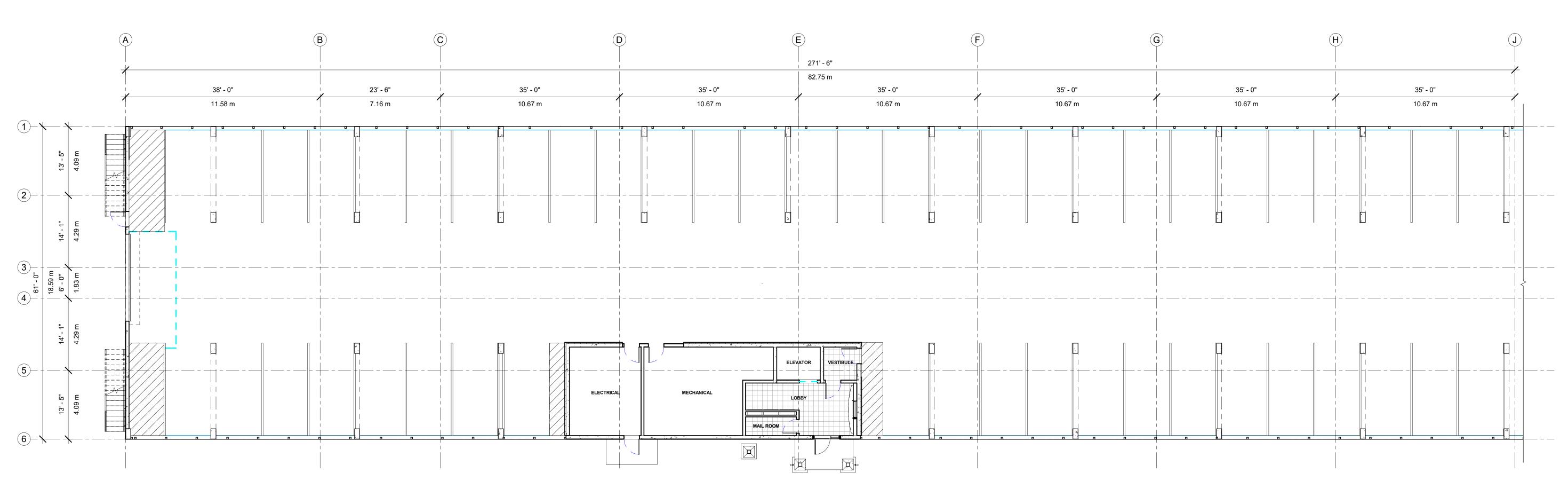
ROOF PLAN - BUILDING B

DRAWN BY: Author CHECKED BY: Checker 08/04/2020 DATE: SCALE: 3/32" = 1'-0"

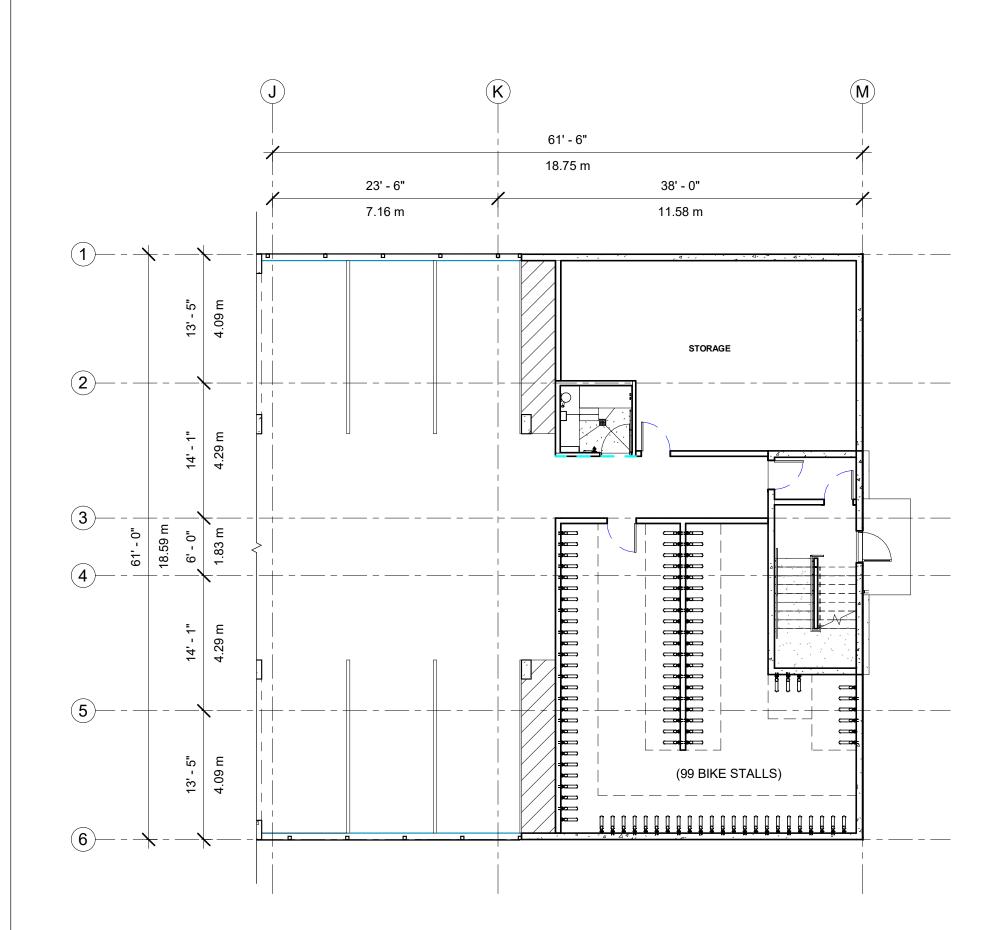
DRAWING #:

<u>A2.15</u>

REV #:



FLOOR AREA = 20313 SQ FT



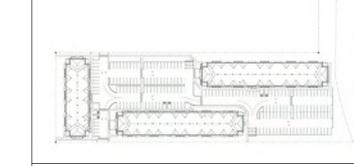
PARKING GARAGE - BUILDING C - 1 OF 2
Scale: 1" = 10'-0"

PARKING GARAGE - BUILDING C - 2 OF 2
Scale: 1" = 10'-0"

SEYMOUR PACIFIC

100 St Anns Street, Campbell River, B.C. (T)250.286.8045 (F)250.286.8046 www.seymourpacific.ca

SITE MAP:



PROJECT STATUS:

RE-ISSUED FOR VENDOR

Revision Schedule Revision Date Description 03/05/2020 CITY PRE-APP ISSUED FOR VENDOR APP. 06/05/2020 07/09/2020 ISSUED FOR REZONING

RE-ISSUED FOR VENDOR 08/04/2020

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PROJECT NAME:

GLENHART VIEWS

PROJECT NUMBER:

ADDRESS:

801 RYAN ROAD COURTENAY, BC

DRAWING TITLE:

PARKADE PLAN - BUILDING C

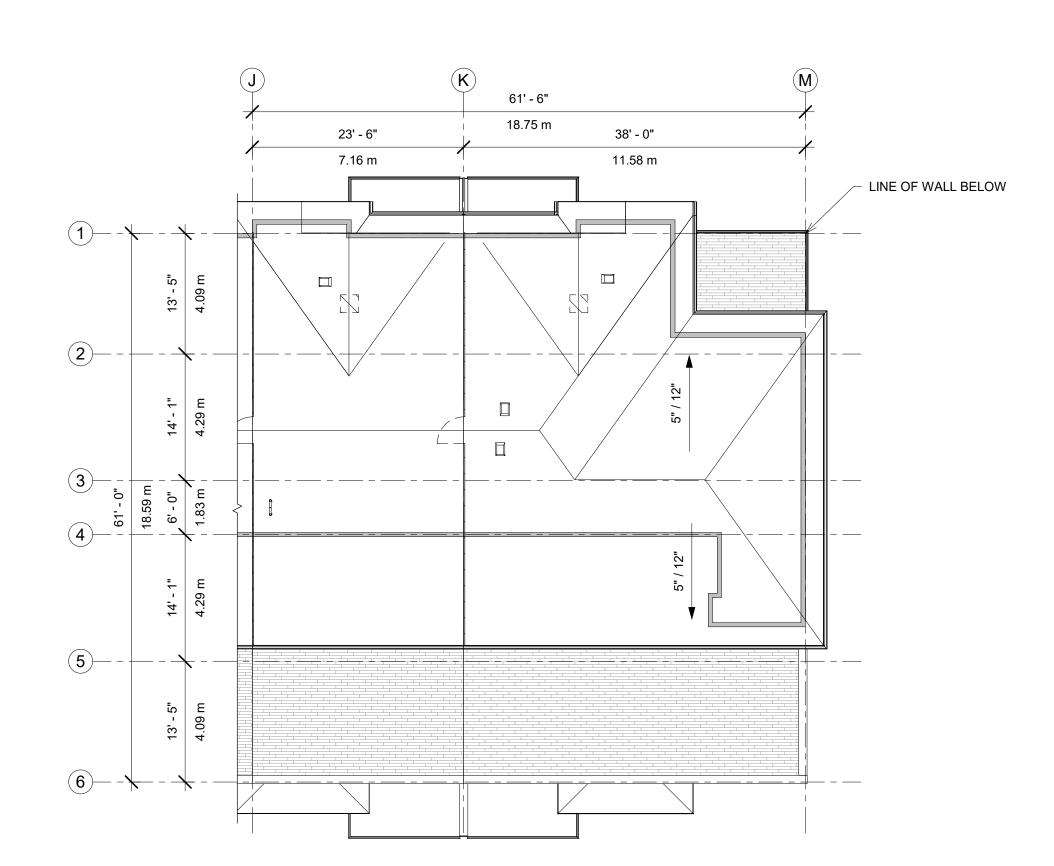
PDDRAWN BY: CHECKED BY: RF

DATE: 08/04/2020 SCALE: 1" = 10'-0"

DRAWING #:

<u>A2.16</u>

1 ROOF PLAN - BUILDING C - 1 OF 2 Scale: 3/32" = 1'-0"

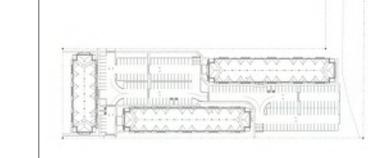


PROOF PLAN - BUILDING C - 2 OF 2
Scale: 3/32" = 1'-0"

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SITE MAP:



PROJECT STATUS:

RE-ISSUED FOR VENDOR

Revision Schedule				
No.	Description	Revision Da		
Α	CITY PRE-APP	03/05/2020		
В	ISSUED FOR VENDOR APP.	06/05/2020		
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PROJECT NAME:

GLENHART VIEWS

PROJECT NUMBER:

ADDRESS:

801 RYAN ROAD COURTENAY, BC

DRAWING TITLE:

ROOF PLAN - BUILDING C

DRAWN BY: Author

CHECKED BY: Checker

DATE: 08/04/2020

SCALE: 3/32" = 1'-0"

DRAWING #: **A2.24** 

REV #:

C1

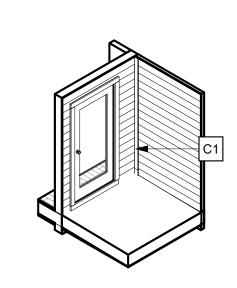
C1

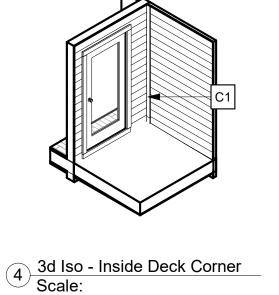
C2

C1

1 FRONT ELEVATION Scale: 3/32" = 1'-0"

2 BACK ELEVATION Scale: 3/32" = 1'-0"





EXTERIOR CLADDING PRODUCT DESCRIPTION COLOR LOCATION WINDOW & DOOR TRIM 4" CEMENT BOARD TRIM ARTIC WHITE **BALCONY WALLS** 12" CEMENT BOARD TRIM ARTIC WHITE **BELLY BAND** 12" CEMENT BOARD TRIM ARTIC WHITE VERT. PARTITION WALL PLANK - CEDARMILL DEEP OCEAN LEVEL 1 - 3 PLANK - CEDARMILL **BOOTHBAY BLUE** LEVEL 4 - 6 PLANK - CEDARMILL DEEP OCEAN LEVEL 1 - 3 BALCONY/PTAC PLANK - CEDARMILL **BOOTHBAY BLUE** LEVEL 4 - 6 BALCONY / PTAC SHAKE - STRAIGHT EDGE **GRAY SLATE** BUMP OUT / BUILDING ENDS SHAKE - STRAIGHT EDGE TRADITIONAL RED BUMP OUT C10 **EUCALYPTUS COUNTRY** FRONT CANOPIES POSTS & **CULTURED STONE** LEDGESTONE **BUILDING ENDS** TIMBER COLUMN TIMBER BEAM 12" CEMENT BOARD TRIM STAINED

EXTERIOR METAL PRODUCT				
M#)	DESCRIPTION	COLOR	LOCATION	
M1)	ALUMINUM DOWNSPOUTS	BLACK	-	
M2	ALUMINUM GUTTER 5" K STYLE	BLACK	REFER TO DETAIL 6/A4.2	
(M3)	ALUMINUM RAILING	BLACK	REFER TO DETAIL 6/A4.3	
M4	PREFINISHED FLAT COIL	WHITE	FASCIA BOARD	
M5)	4 PANEL CLASSIC SOFFIT	LINEN	REFER TO DETAIL 6/A4.2	
(M6)	WALL FLASHING	BLACK	-	
M7)	SHINGLE STEP FLASHING	BLACK	-	
(M8)	ROOF EDGE FLASHING	BLACK	REFER TO DETAIL 6/A4.2	
M9	DRIP CAP FLASHING	WHITE	VARIOUS	
M10)	REVERSE DRIP FLASHING	WHITE	PLANK WINDOW TRIM	
M11)	PLASTIC VENT	BLACK	-	
M12)	GUTTER COIL FLASHING	-		
M13)	FOUNDATION TRANSITION F.	-		

1

EXTERIOR ROOFING PRODUCT			
R#	DESCRIPTION	COLOR	
R1	ROOFING SHINGLES - 30 YEAR LAMINATE	BLACK	
R2>	ATTIC STATIC VENT		

NOTES	
1) ALL RESIDENTIAL UNITS TO HAVE INDIVIDUAL AC UNIT	
2) ALL RESIDENTIAL UNITS TO HAVE WINDOWS WITH RATING OF STC-30	

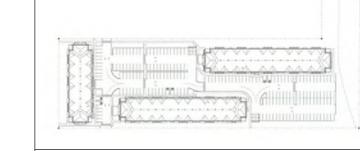
**RE-ISSUED FOR VENDOR** 

SEYMOUR PACIFIC

DEVELOPMENTS LTD.

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SITE MAP:



PROJECT STATUS:

**RE-ISSUED FOR VENDOR** 

	Revision Schedule	•
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PROJECT NAME:

**GLENHART VIEWS** 

PROJECT NUMBER:

ADDRESS:

801 RYAN ROAD COURTENAY, BC

DRAWING TITLE:

ELEVATIONS 1 OF 2 - BUILDING A

DRAWN BY: PDRF CHECKED BY: DATE: 08/04/2020

SCALE: As indicated DRAWING #:

A3.<sup>2</sup>

REV #:

R1

Ш

C4

`;<u>|</u>

C12

ROOF RIDGE 51' - 2 17/32"

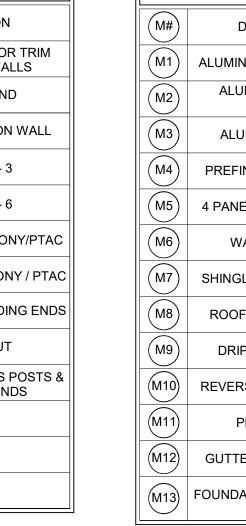
U/S TRUSS 44' - 3 3/4"

T/O 4TH FLOOR JOISTS 27' - 0"

T/O SLAB ON GRADE
0' - 0"

T/O OF PARKING GARAGE SLAB -9' - 8"

12" CEMENT BOARD TRIM	ARTIC WHITE	VERT. PARTITION WALL
PLANK - CEDARMILL	DEEP OCEAN	LEVEL 1 - 3
PLANK - CEDARMILL	BOOTHBAY BLUE	LEVEL 4 - 6
PLANK - CEDARMILL	DEEP OCEAN	LEVEL 1 - 3 BALCONY/PTAC
PLANK - CEDARMILL	BOOTHBAY BLUE	LEVEL 4 - 6 BALCONY / PTAC
SHAKE - STRAIGHT EDGE	GRAY SLATE	BUMP OUT / BUILDING ENDS
SHAKE - STRAIGHT EDGE	TRADITIONAL RED	BUMP OUT
CULTURED STONE	EUCALYPTUS COUNTRY LEDGESTONE	FRONT CANOPIES POSTS & BUILDING ENDS
TIMBER COLUMN	-	
TIMBER BEAM	-	
12" CEMENT BOARD TRIM	STAINED	
	PLANK - CEDARMILL  PLANK - CEDARMILL  PLANK - CEDARMILL  PLANK - CEDARMILL  SHAKE - STRAIGHT EDGE  SHAKE - STRAIGHT EDGE  CULTURED STONE  TIMBER COLUMN  TIMBER BEAM	PLANK - CEDARMILL  BOOTHBAY BLUE  BOOTHBAY BLUE  GRAY SLATE  SHAKE - STRAIGHT EDGE  TRADITIONAL RED  CULTURED STONE  TIMBER COLUMN  TIMBER BEAM  -



EXTERIOR METAL PRODUCT					
DESCRIPTION	COLOR	LOCATION			
ALUMINUM DOWNSPOUTS	BLACK	-			
ALUMINUM GUTTER 5" K STYLE	BLACK	REFER TO DETAIL 6/A4.2			
ALUMINUM RAILING	BLACK	REFER TO DETAIL 6/A4.3			
PREFINISHED FLAT COIL	WHITE	FASCIA BOARD			
4 PANEL CLASSIC SOFFIT	LINEN	REFER TO DETAIL 6/A4.2			
WALL FLASHING	BLACK	-			
SHINGLE STEP FLASHING	BLACK	-			
ROOF EDGE FLASHING	BLACK	REFER TO DETAIL 6/A4.2			
DRIP CAP FLASHING	WHITE	VARIOUS			
REVERSE DRIP FLASHING	WHITE	PLANK WINDOW TRIM			
PLASTIC VENT	BLACK	-			
GUTTER COIL FLASHING	-				
FOUNDATION TRANSITION F.	-				
	DESCRIPTION  ALUMINUM DOWNSPOUTS  ALUMINUM GUTTER 5" K STYLE  ALUMINUM RAILING  PREFINISHED FLAT COIL  4 PANEL CLASSIC SOFFIT  WALL FLASHING  SHINGLE STEP FLASHING  ROOF EDGE FLASHING  DRIP CAP FLASHING  REVERSE DRIP FLASHING  PLASTIC VENT  GUTTER COIL FLASHING	DESCRIPTION COLOR  ALUMINUM DOWNSPOUTS BLACK  ALUMINUM GUTTER 5" K STYLE BLACK  ALUMINUM RAILING BLACK  PREFINISHED FLAT COIL WHITE  4 PANEL CLASSIC SOFFIT LINEN  WALL FLASHING BLACK  SHINGLE STEP FLASHING BLACK  ROOF EDGE FLASHING BLACK  DRIP CAP FLASHING WHITE  REVERSE DRIP FLASHING WHITE  PLASTIC VENT BLACK  GUTTER COIL FLASHING -			

EXTERIOR ROOFING PRODUCT			
R#>	DESCRIPTION	COLOR	
R1	ROOFING SHINGLES - 30 YEAR LAMINATE	BLACK	
R2	ATTIC STATIC VENT		

TVZ	ATTIC STATIC VENT	
	NOTES	
1) ALL RESIDENT	FIAL UNITS TO HAVE INDIVIDUAL AC UNIT	

4 SIDE ENTRY ELEVATION
Scale: 1/4" = 1'-0"

2 RIGHT ELEVATION
Scale: 3/32" = 1'-0"

1234		

1 LEFT ELEVATION
Scale: 3/32" = 1'-0"

13' - 5"

C5

C5

C4

C4

C4

**C**7

1.83 m

C1 C8



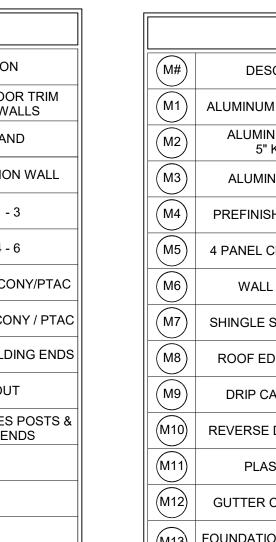
C4

C4

		1234	1	
		/		
_				

3 FRONT ENTRY ELEVATION Scale: 1/4" = 1'-0"

EXT	ERIOR CLADDING PRO	DUCT
DESCRIPTION	COLOR	LOCATION
4" CEMENT BOARD TRIM	ARTIC WHITE	WINDOW & DOOR TRIM BALCONY WALLS
12" CEMENT BOARD TRIM	ARTIC WHITE	BELLY BAND
12" CEMENT BOARD TRIM	ARTIC WHITE	VERT. PARTITION WALL
PLANK - CEDARMILL	DEEP OCEAN	LEVEL 1 - 3
PLANK - CEDARMILL	BOOTHBAY BLUE	LEVEL 4 - 6
PLANK - CEDARMILL	DEEP OCEAN	LEVEL 1 - 3 BALCONY/PTAC
PLANK - CEDARMILL	BOOTHBAY BLUE	LEVEL 4 - 6 BALCONY / PTAC
SHAKE - STRAIGHT EDGE	GRAY SLATE	BUMP OUT / BUILDING ENDS
SHAKE - STRAIGHT EDGE	TRADITIONAL RED	BUMP OUT
CULTURED STONE	EUCALYPTUS COUNTRY LEDGESTONE	FRONT CANOPIES POSTS & BUILDING ENDS
TIMBER COLUMN	-	
TIMBER BEAM	-	
	DESCRIPTION  4" CEMENT BOARD TRIM  12" CEMENT BOARD TRIM  12" CEMENT BOARD TRIM  PLANK - CEDARMILL  PLANK - CEDARMILL  PLANK - CEDARMILL  PLANK - CEDARMILL  SHAKE - STRAIGHT EDGE  CULTURED STONE  TIMBER COLUMN	4" CEMENT BOARD TRIM ARTIC WHITE  12" CEMENT BOARD TRIM ARTIC WHITE  12" CEMENT BOARD TRIM ARTIC WHITE  PLANK - CEDARMILL DEEP OCEAN  PLANK - CEDARMILL BOOTHBAY BLUE  PLANK - CEDARMILL DEEP OCEAN  PLANK - CEDARMILL BOOTHBAY BLUE  SHAKE - STRAIGHT EDGE GRAY SLATE  SHAKE - STRAIGHT EDGE TRADITIONAL RED  CULTURED STONE EUCALYPTUS COUNTRY LEDGESTONE  TIMBER COLUMN



		R#	DESCRIPTION	COLOR
		R1	ROOFING SHINGLES - 30 YEAR LAMINATE	BLACK
N4.2		R2	ATTIC STATIC VENT	
44.3	_			
			NOTES	
\4.2		1) AL	L RESIDENTIAL UNITS TO HAVE INDIVIDUAL AC UN	IT
		2) AL	L RESIDENTIAL UNITS TO HAVE WINDOWS WITH R	ATING OF STC-30
\4.2				
IM				

100 St Anns Street, Campbell River, B.C. (T)250.286.8045 (F)250.286.8046 www.seymourpacific.ca SITE MAP:

SEYMOUR PACIFIC

DEVELOPMENTS LTD.

PROJECT STATUS:

RE-ISSUED FOR VENDOR

	RE-ISSUED FOR VENI	DOR
	Revision Schedule	<b>;</b>
No.	Description	Revision Da
Α	CITY PRE-APP	03/05/2020
В	ISSUED FOR VENDOR APP.	06/05/2020
С	ISSUED FOR REZONING	07/09/2020
D	RE-ISSUED FOR VENDOR	08/04/2020

SEAL: ABELEARCHITECTURE
THOMAS C. ABELE, ARCHITECT AIBC, T: 604.682-6818

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PROJECT NAME:

RESULTS.

GLENHART VIEWS

PROJECT NUMBER:

ADDRESS:

801 RYAN ROAD COURTENAY, BC

DRAWING TITLE:

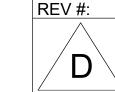
ELEVATIONS 2 OF 2 - BUILDING A

DRAWN BY: PD CHECKED BY: RF DATE:

08/04/2020 SCALE: As indicated

DRAWING #:

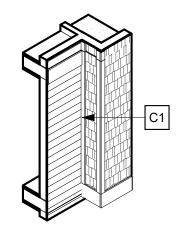
<u>A3.2</u>



Ш 

2 BACK ELEVATION Scale: 1:150

1 FRONT ELEVATION Scale: 1 : 150



3 3d Iso - Inside Corner Bumpout Scale:



4 3d Iso - Inside Deck Corner Scale:

	EXT	TERIOR CLADDING PRO	DUCT
C#	DESCRIPTION	COLOR	LOCATION
C1	4" CEMENT BOARD TRIM	ARTIC WHITE	WINDOW & DOOR TRIM BALCONY WALLS
C2	12" CEMENT BOARD TRIM	ARTIC WHITE	BELLY BAND
C3	12" CEMENT BOARD TRIM	ARTIC WHITE	VERT. PARTITION WALL
C4	PLANK - CEDARMILL	DEEP OCEAN	LEVEL 1 - 3
C5	PLANK - CEDARMILL	BOOTHBAY BLUE	LEVEL 4 - 6
C6	PLANK - CEDARMILL	DEEP OCEAN	LEVEL 1 - 3 BALCONY/PTAC
C7	PLANK - CEDARMILL	BOOTHBAY BLUE	LEVEL 4 - 6 BALCONY / PTAC
C8	SHAKE - STRAIGHT EDGE	GRAY SLATE	BUMP OUT / BUILDING ENDS
C9	SHAKE - STRAIGHT EDGE	TRADITIONAL RED	BUMP OUT
C10	CULTURED STONE	EUCALYPTUS COUNTRY LEDGESTONE	FRONT CANOPIES POSTS & BUILDING ENDS
C11	TIMBER COLUMN	-	
C12	TIMBER BEAM	-	
C13	12" CEMENT BOARD TRIM	STAINED	

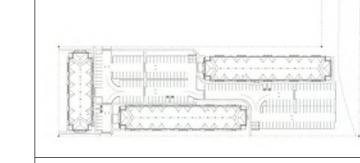
	E	KTERIOR METAL PRODU	JCT
M#)	DESCRIPTION	COLOR	LOCATION
M1	ALUMINUM DOWNSPOUTS	BLACK	-
M2	ALUMINUM GUTTER 5" K STYLE	BLACK	REFER TO DETAIL 6/A4.2
M3	ALUMINUM RAILING	BLACK	REFER TO DETAIL 6/A4.3
M4	PREFINISHED FLAT COIL	WHITE	FASCIA BOARD
M5)	4 PANEL CLASSIC SOFFIT	LINEN	REFER TO DETAIL 6/A4.2
(M6)	WALL FLASHING	BLACK	-
M7)	SHINGLE STEP FLASHING	BLACK	-
(M8)	ROOF EDGE FLASHING	BLACK	REFER TO DETAIL 6/A4.2
M9	DRIP CAP FLASHING	WHITE	VARIOUS
M10	REVERSE DRIP FLASHING	WHITE	PLANK WINDOW TRIM
M11)	PLASTIC VENT	BLACK	-
M12)	GUTTER COIL FLASHING	-	
(M13)	FOUNDATION TRANSITION F.	-	

EXTERIOR ROOFING PRODUCT			
R#	DESCRIPTION	COLOR	
R1	ROOFING SHINGLES - 30 YEAR LAMINATE	BLACK	
R2	ATTIC STATIC VENT		

NOTES 1) ALL RESIDENTIAL UNITS TO HAVE INDIVIDUAL AC UNIT 2) ALL RESIDENTIAL UNITS TO HAVE WINDOWS WITH RATING OF STC-30 SEYMOUR PACIFIC DEVELOPMENTS LTD.

100 St Anns Street, Campbell River, B.C. (T)250.286.8045 (F)250.286.8046 www.seymourpacific.ca

SITE MAP:



PROJECT STATUS:

**RE-ISSUED FOR VENDOR** 

	Revision Schedule	•
No.	Description	Revision Date
Α	CITY PRE-APP	03/05/2020
В	ISSUED FOR VENDOR APP.	06/05/2020
С	ISSUED FOR REZONING	07/09/2020
D	RE-ISSUED FOR VENDOR	08/04/2020

**ABELE**ARCHITECTURE

THOMAS C. ABELE, ARCHITECT AIBC, T: 604.682-6818

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REASONABLE EFFORT TO MAINTAIN SCHEDULE TARGETS AND PROVIDE GOOD EFFICIENCY, PROGRESS, WORKMANSHIP AND QUALITY TOWARD DEFICIENCY-FREE

PROJECT NAME:

**GLENHART VIEWS** 

PROJECT NUMBER:

ADDRESS:

801 RYAN ROAD COURTENAY, BC

DRAWING TITLE:

ELEVATIONS 1 OF 2 - BUILDING B

PD

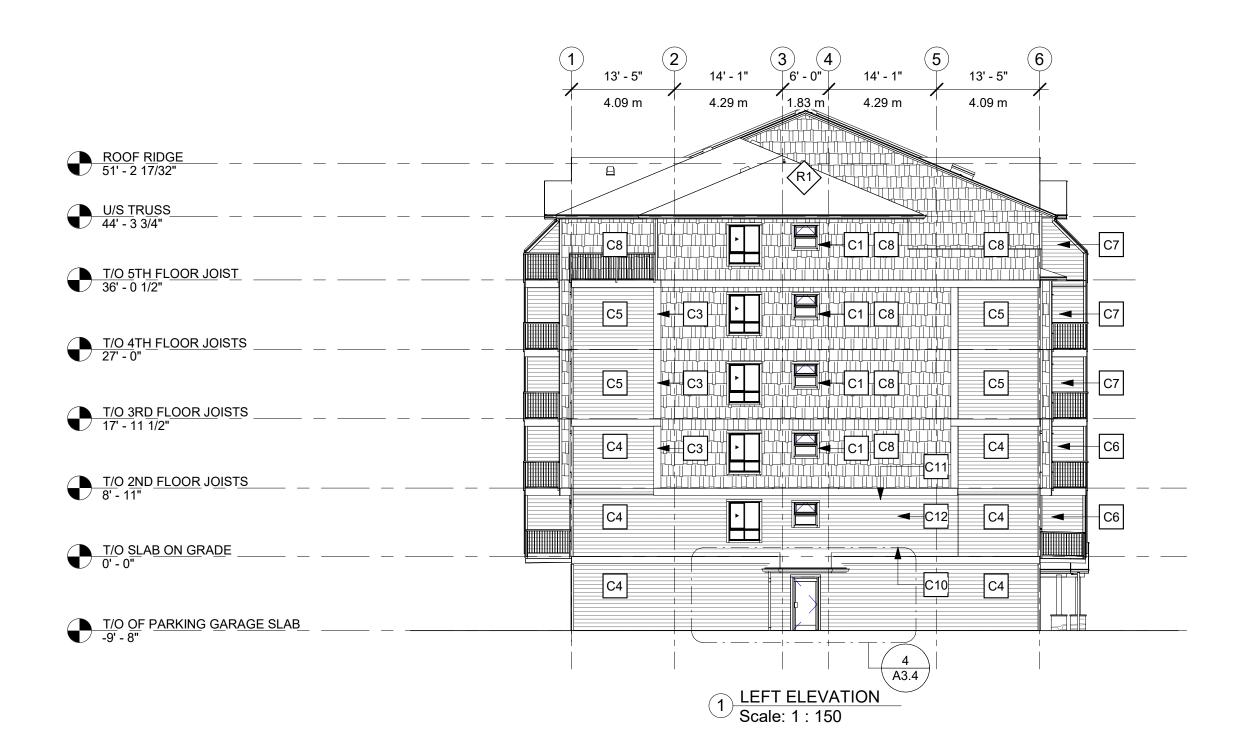
REV #:

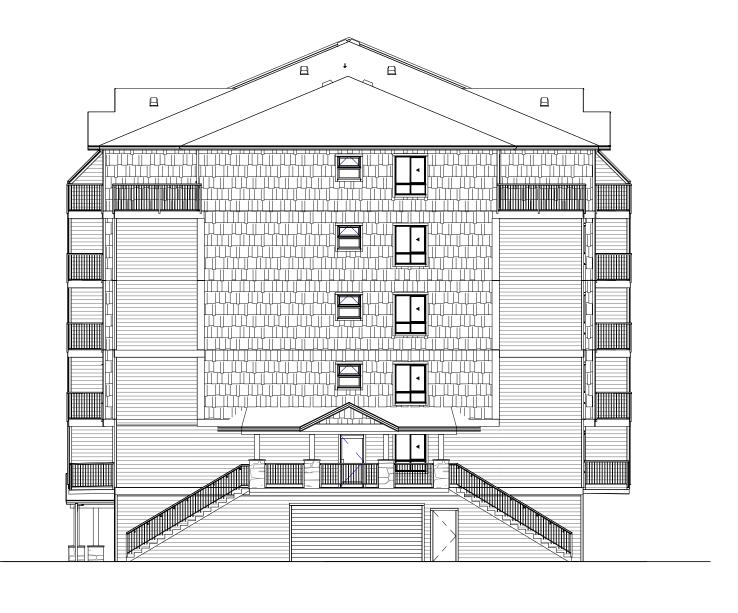
DRAWN BY: CHECKED BY: RF

DATE: 08/04/2020 SCALE: As indicated

DRAWING #:

<u>A3.3</u>





2 RIGHT ELEVATION Scale: 1 : 150





3 FRONT ENTRY ELEVATION Scale: 1/4" = 1'-0"

	EXTERIOR CLADDING PRODUCT				
C#	DESCRIPTION	COLOR	LOCATION		
C1	4" CEMENT BOARD TRIM	ARTIC WHITE	WINDOW & DOOR TRIM BALCONY WALLS		
C2	12" CEMENT BOARD TRIM	ARTIC WHITE	BELLY BAND		
C3	12" CEMENT BOARD TRIM	ARTIC WHITE	VERT. PARTITION WALL		
C4	PLANK - CEDARMILL	DEEP OCEAN	LEVEL 1 - 3		
C5	PLANK - CEDARMILL	BOOTHBAY BLUE	LEVEL 4 - 6		
C6	PLANK - CEDARMILL	DEEP OCEAN	LEVEL 1 - 3 BALCONY/PTAC		
C7	PLANK - CEDARMILL	BOOTHBAY BLUE	LEVEL 4 - 6 BALCONY / PTAC		
C8	SHAKE - STRAIGHT EDGE	GRAY SLATE	BUMP OUT / BUILDING ENDS		
C9	SHAKE - STRAIGHT EDGE	TRADITIONAL RED	BUMP OUT		
C10	CULTURED STONE	EUCALYPTUS COUNTRY LEDGESTONE	FRONT CANOPIES POSTS & BUILDING ENDS		
C11	TIMBER COLUMN	-			
C12	TIMBER BEAM	-			
C13	12" CEMENT BOARD TRIM	STAINED			

	E>	(TERIOR METAL PRODU	JCT
M#	DESCRIPTION	COLOR	LOCATION
M1)	ALUMINUM DOWNSPOUTS	BLACK	-
M2	ALUMINUM GUTTER 5" K STYLE	BLACK	REFER TO DETAIL 6/A4.2
(M3)	ALUMINUM RAILING	BLACK	REFER TO DETAIL 6/A4.3
M4	PREFINISHED FLAT COIL	WHITE	FASCIA BOARD
M5	4 PANEL CLASSIC SOFFIT	LINEN	REFER TO DETAIL 6/A4.2
M6	WALL FLASHING	BLACK	-
M7	SHINGLE STEP FLASHING	BLACK	-
M8	ROOF EDGE FLASHING	BLACK	REFER TO DETAIL 6/A4.2
M9	DRIP CAP FLASHING	WHITE	VARIOUS
M10	REVERSE DRIP FLASHING	WHITE	PLANK WINDOW TRIM
M11)	PLASTIC VENT	BLACK	-
M12	GUTTER COIL FLASHING	-	
M13)	FOUNDATION TRANSITION F.	-	

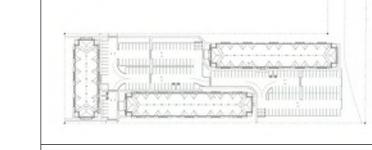
EXTERIOR ROOFING PRODUCT				
R#>	DESCRIPTION	COLOR		
R1	ROOFING SHINGLES - 30 YEAR LAMINATE	BLACK		
R2	ATTIC STATIC VENT			

NOTES	
1) ALL RESIDENTIAL UNITS TO HAVE INDIVIDUAL AC UNIT	
2) ALL RESIDENTIAL UNITS TO HAVE WINDOWS WITH RATING OF STC-30	

SEYMOUR PACIFIC DEVELOPMENTS LTD.

100 St Anns Street, Campbell River, B.C. (T)250.286.8045 (F)250.286.8046 www.seymourpacific.ca

SITE MAP:



PROJECT STATUS:

RE-ISSUED FOR VENDOR

	Revision Schedule		
No.	Description	Revision Date	
Α	CITY PRE-APP	03/05/2020	
В	ISSUED FOR VENDOR APP.	06/05/2020	
С	ISSUED FOR REZONING	07/09/2020	
D	RE-ISSUED FOR VENDOR	08/04/2020	

SEAL: ABELEARCHITECTURE
THOMAS C. ABELE, ARCHITECT AIBC, T: 604.682-6818

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PROJECT NAME:

GLENHART VIEWS

PROJECT NUMBER:

ADDRESS:

801 RYAN ROAD COURTENAY, BC

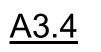
DRAWING TITLE:

ELEVATIONS 2 OF 2 - BUILDING B

REV #:

PDDRAWN BY: CHECKED BY: RF DATE:

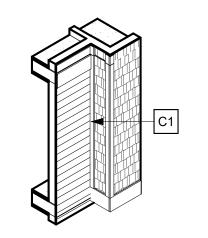
08/04/2020 SCALE: As indicated

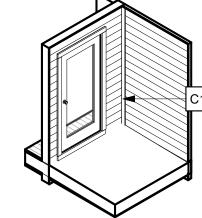




2 BACK ELEVATION Scale: 1:150

1 FRONT ELEVATION Scale: 1 : 150





4 3d Is Scale 3 3d Iso - Inside Corner Bumpout Scale:

	l —	
	C2	12" CEMENT BOARD
	C3	12" CEMENT BOARD
	C4	PLANK - CEDARM
	C5	PLANK - CEDARM
	C6	PLANK - CEDARM
C1	C7	PLANK - CEDARM
	C8	SHAKE - STRAIGHT
	C9	SHAKE - STRAIGHT
	C10	CULTURED STOR
so - Inside Deck Corner	C11	TIMBER COLUM
le:	C12	TIMBER BEAM

	EXT	ERIOR CLADDING PRO	DUCT
C#	DESCRIPTION	COLOR	LOCATION
C1	4" CEMENT BOARD TRIM	ARTIC WHITE	WINDOW & DOOR TRIM BALCONY WALLS
C2	12" CEMENT BOARD TRIM	ARTIC WHITE	BELLY BAND
C3	12" CEMENT BOARD TRIM	ARTIC WHITE	VERT. PARTITION WALL
C4	PLANK - CEDARMILL	DEEP OCEAN	LEVEL 1 - 3
C5	PLANK - CEDARMILL	BOOTHBAY BLUE	LEVEL 4 - 6
C6	PLANK - CEDARMILL	DEEP OCEAN	LEVEL 1 - 3 BALCONY/PTAC
C7	PLANK - CEDARMILL	BOOTHBAY BLUE	LEVEL 4 - 6 BALCONY / PTAC
C8	SHAKE - STRAIGHT EDGE	GRAY SLATE	BUMP OUT / BUILDING ENDS
C9	SHAKE - STRAIGHT EDGE	TRADITIONAL RED	BUMP OUT
C10	CULTURED STONE	EUCALYPTUS COUNTRY LEDGESTONE	FRONT CANOPIES POSTS & BUILDING ENDS
C11	TIMBER COLUMN	-	
C12	TIMBER BEAM	-	
C13	12" CEMENT BOARD TRIM	STAINED	

EXTERIOR METAL PRODUCT			
M#	DESCRIPTION	COLOR	LOCATION
M1	ALUMINUM DOWNSPOUTS	BLACK	-
M2	ALUMINUM GUTTER 5" K STYLE	BLACK	REFER TO DETAIL 6/A4.2
M3)	ALUMINUM RAILING	BLACK	REFER TO DETAIL 6/A4.3
M4)	PREFINISHED FLAT COIL	WHITE	FASCIA BOARD
M5)	4 PANEL CLASSIC SOFFIT	LINEN	REFER TO DETAIL 6/A4.2
(M6)	WALL FLASHING	BLACK	-
M7	SHINGLE STEP FLASHING	BLACK	-
M8	ROOF EDGE FLASHING	BLACK	REFER TO DETAIL 6/A4.2
M9)	DRIP CAP FLASHING	WHITE	VARIOUS
M10	REVERSE DRIP FLASHING	WHITE	PLANK WINDOW TRIM
M11)	PLASTIC VENT	BLACK	-
M12)	GUTTER COIL FLASHING	-	
M13)	FOUNDATION TRANSITION F.	-	

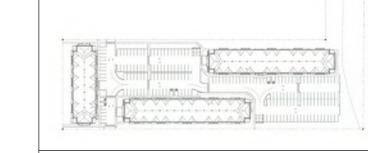
	EXTERIOR ROOFING PRODU	ICT
R#>	DESCRIPTION	COLOR
R1	ROOFING SHINGLES - 30 YEAR LAMINATE	BLACK
R2	ATTIC STATIC VENT	

,	NOTES
2) ALL RESIDENTIAL UNITS TO HAVE WINDOWS WITH RATING OF STC-30	1) ALL RESIDENTIAL UNITS TO HAVE INDIVIDUAL AC UNIT
	2) ALL RESIDENTIAL UNITS TO HAVE WINDOWS WITH RATING OF STC-30

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SITE MAP:



PROJECT STATUS:

**RE-ISSUED FOR VENDOR** 

Revision Schedule		:
No.	Description	Revision Date
Α	CITY PRE-APP	03/05/2020
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D	RE-ISSUED FOR VENDOR	08/04/2020

**ABELE**ARCHITECTURE

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REASONABLE EFFORT TO MAINTAIN SCHEDULE TARGETS AND PROVIDE GOOD EFFICIENCY, PROGRESS, WORKMANSHIP AND QUALITY TOWARD DEFICIENCY-FREE

PROJECT NAME:

GLENHART VIEWS

PROJECT NUMBER:

ADDRESS:

801 RYAN ROAD COURTENAY, BC

DRAWING TITLE:

ELEVATIONS 1 OF 2 - BUILDING C

DRAWN BY: PDCHECKED BY: RF DATE: 08/04/2020

SCALE: As indicated DRAWING #:

<u>A3.5</u>

ROOF RIDGE 51' - 2 17/32"

<u>U/S TRUSS</u> 44' - 3 3/4"

T/O 5TH FLOOR JOIST 36' - 0 1/2"

<u>T/O 4TH FLOOR JOISTS</u> 27' - 0"

T/O 3RD FLOOR JOISTS 17' - 11 1/2"

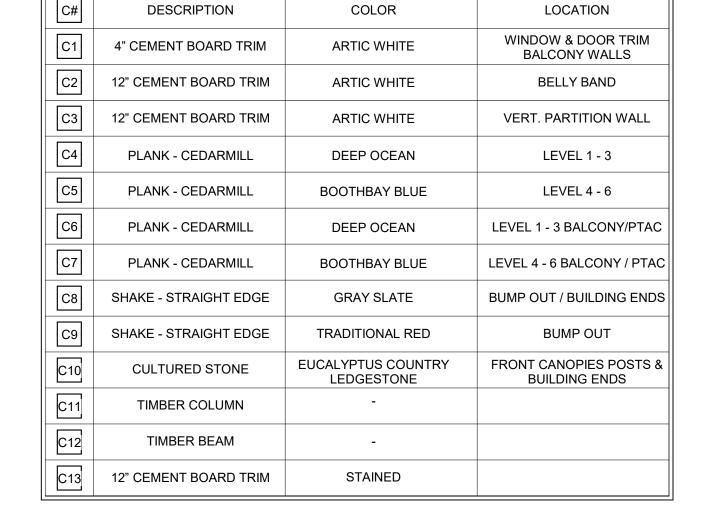
T/O 2ND FLOOR JOISTS 8' - 11"

T/O SLAB ON GRADE

T/O OF PARKING GARAGE SLAB -9' - 8"

TIMBER BEAM,

TIMBER POST,

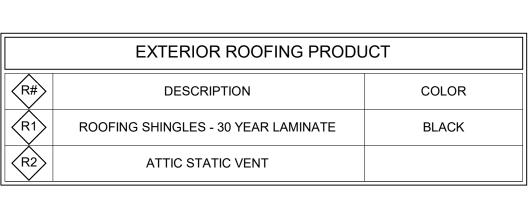


3 FRONT ENTRY ELEVATION Scale: 1/4" = 1'-0"

EXTERIOR CLADDING PRODUCT

	E)	(TERIOR METAL PRODU	ICT
M#)	DESCRIPTION	COLOR	LOCATION
M1)	ALUMINUM DOWNSPOUTS	BLACK	-
M2	ALUMINUM GUTTER 5" K STYLE	BLACK	REFER TO DETAIL 6/A4.2
(M3)	ALUMINUM RAILING	BLACK	REFER TO DETAIL 6/A4.3
M4	PREFINISHED FLAT COIL	WHITE	FASCIA BOARD
M5	4 PANEL CLASSIC SOFFIT	LINEN	REFER TO DETAIL 6/A4.2
M6	WALL FLASHING	BLACK	-
M7	SHINGLE STEP FLASHING	BLACK	-
M8	ROOF EDGE FLASHING	BLACK	REFER TO DETAIL 6/A4.2
(M9)	DRIP CAP FLASHING	WHITE	VARIOUS
M10	REVERSE DRIP FLASHING	WHITE	PLANK WINDOW TRIM
M11)	PLASTIC VENT	BLACK	-
M12)	GUTTER COIL FLASHING	-	
M13)	FOUNDATION TRANSITION F.	-	





	NOTES	
R2>	ATTIC STATIC VENT	
R1	ROOFING SHINGLES - 30 YEAR LAMINATE	BLACK
R#>	DESCRIPTION	COLOR

C7 **C**7 **C**7

C1 C8

1 LEFT ELEVATION Scale: 1 : 150

C8

C5

C5

2 RIGHT ELEVATION Scale: 1 : 150

SIDE ENTRY ELEVATION	

	EXTERIOR ROOFING PRODU	JCT
#	DESCRIPTION	COLOR
1	ROOFING SHINGLES - 30 YEAR LAMINATE	BLACK
2	ATTIC STATIC VENT	

NOTES
1) ALL RESIDENTIAL UNITS TO HAVE INDIVIDUAL AC UNIT
2) ALL RESIDENTIAL UNITS TO HAVE WINDOWS WITH RATING OF STC-30

SEYMOUR PACIFIC

SITE MAP:

DEVELOPMENTS LTD.

100 St Anns Street, Campbell River, B.C. (T)250.286.8045 (F)250.286.8046 www.seymourpacific.ca

PROJECT STATUS:

RE-ISSUED FOR VENDOR

	NE-1330ED FOR VENDOR				
	Revision Schedule	•			
No.	Description	Revision Date			
Α	CITY PRE-APP	03/05/2020			
В	ISSUED FOR VENDOR APP.	06/05/2020			
С	ISSUED FOR REZONING	07/09/2020			
D	RE-ISSUED FOR VENDOR	08/04/2020			
1		l			

SEAL: ABELEARCHITECTURE
THOMAS C. ABELE, ARCHITECT AIBC, T: 604.682-6818

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PROJECT NAME:

GLENHART VIEWS

PROJECT NUMBER:

ADDRESS:

801 RYAN ROAD COURTENAY, BC

DRAWING TITLE:

ELEVATIONS 2 OF 2 - BUILDING C

PD

CHECKED BY: RF DATE: 08/04/2020 As indicated

DRAWN BY:

SCALE: DRAWING #:

<u>A3.6</u>



2 COLOUR - BACK ELEVATION <sup>/</sup> Scale: 3/32" = 1'-0"

EXTERIOR CLADDING PRODUCT						
С#	DESCRIPTION	COLOR	LOCATION			
C1	4" CEMENT BOARD TRIM	ARTIC WHITE	WINDOW & DOOR TRIM BALCONY WALLS			
C2	12" CEMENT BOARD TRIM	ARTIC WHITE	BELLY BAND			
C3	12" CEMENT BOARD TRIM	ARTIC WHITE	VERT. PARTITION WALL			
C4	PLANK - CEDARMILL	DEEP OCEAN	LEVEL 1 - 3			
C5	PLANK - CEDARMILL	BOOTHBAY BLUE	LEVEL 4 - 6			
C6	PLANK - CEDARMILL	DEEP OCEAN	LEVEL 1 - 3 BALCONY/PTAC			
C7	PLANK - CEDARMILL	BOOTHBAY BLUE	LEVEL 4 - 6 BALCONY / PTAC			
C8	SHAKE - STRAIGHT EDGE	GRAY SLATE	BUMP OUT / BUILDING ENDS			
C9	SHAKE - STRAIGHT EDGE	TRADITIONAL RED	BUMP OUT			
C10	CULTURED STONE	EUCALYPTUS COUNTRY LEDGESTONE	FRONT CANOPIES POSTS & BUILDING ENDS			
C11	TIMBER COLUMN	[ + 2	:			
C12	TIMBER BEAM	+ 112, 2 + 12 				
C13	12" CEMENT BOARD TRIM	STAINED				

EXTERIOR METAL PRODUCT				
M#)	DESCRIPTION		COLOR	LOCATION
M1	ALUMINUM DOWNSPOUTS		BLACK	
M2	ALUMINUM GUTTER 5" K STYLE		BLACK	REFER TO DETAIL 6/A4.2
M3)	ALUMINUM RAILING		BLACK	REFER TO DETAIL 6/A4.3
M4	PREFINISHED FLAT COIL		WHITE	FASCIA BOARD
M5	4 PANEL CLASSIC SOFFIT	***************************************	LINEN	REFER TO DETAIL 6/A4.2
M6	WALL FLASHING		BLACK	-
M7)	SHINGLE STEP FLASHING		BLACK	<u>.</u>
M8	ROOF EDGE FLASHING		BLACK	REFER TO DETAIL 6/A4.2
M9	DRIP CAP FLASHING		WHITE	VARIOUS
M10	REVERSE DRIP FLASHING		WHITE	PLANK WINDOW TRIM
M11)	PLASTIC VENT		BLACK	
M12)	GUTTER COIL FLASHING		-	
M13)	FOUNDATION TRANSITION F.	***************************************	-	·

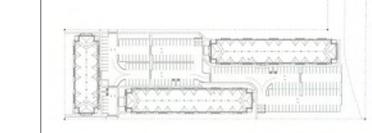
	EXTERIOR ROOFING PRODUC	T	
R#	DESCRIPTION	COLOR	
R1	ROOFING SHINGLES - 30 YEAR LAMINATE	BLACK	
R2	ATTIC STATIC VENT	• •	

NOTES	
1) ALL RESIDENTIAL UNITS TO HAVE INDIVIDUAL AC UNIT	j
2) ALL RESIDENTIAL UNITS TO HAVE WINDOWS WITH RATING OF STC-30	

SEYMOUR PACIFIC DEVELOPMENTS LTD. 100 St Anns Street, Campbell River, B.C.

(T)250.286.8045 (F)250.286.8046 www.seymourpacific.ca

SITE MAP:



PROJECT STATUS:

RE-ISSUED FOR VENDOR

	Revision Schedule	)
No.	Description	Revision Da
Α	CITY PRE-APP	03/05/2020
В	ISSUED FOR VENDOR APP.	06/05/2020
С	ISSUED FOR REZONING	07/09/2020
D	RE-ISSUED FOR VENDOR	08/04/2020

**ABELE**ARCHITECTURE

THOMAS C. ABELE, ARCHITECT AIBC, T: 604.682-6818

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PROJECT NAME:

**GLENHART VIEWS** 

PROJECT NUMBER:

ADDRESS:

801 RYAN ROAD COURTENAY, BC

DRAWING TITLE:

COLOUR ELEVATIONS 1 OF 2 -**BUILDING A** 

DRAWN BY: Author CHECKED BY: Checker DATE: 08/04/2020 SCALE: As indicated REV #: DRAWING #:

<u>A3.7</u>



2 COLOUR - RIGHT ELEVATION Scale: 3/32" = 1'-0"

DESCRIPTION  1" CEMENT BOARD TRIM  2" CEMENT BOARD TRIM  2" CEMENT BOARD TRIM  PLANK - CEDARMILL	COLOR  ARTIC WHITE  ARTIC WHITE  ARTIC WHITE	LOCATION  WINDOW & DOOR TRIM BALCONY WALLS  BELLY BAND  VERT. PARTITION WALL
2" CEMENT BOARD TRIM 2" CEMENT BOARD TRIM	ARTIC WHITE	BALCONY WALLS BELLY BAND
2" CEMENT BOARD TRIM		
	ARTIC WHITE	VERT. PARTITION WALL
PLANK - CEDARMILL		
	DEEP OCEAN	LEVEL 1 - 3
PLANK - CEDARMILL	BOOTHBAY BLUE	LEVEL 4 - 6
PLANK - CEDARMILL	DEEP OCEAN	LEVEL 1 - 3 BALCONY/PTAC
PLANK - CEDARMILL	BOOTHBAY BLUE	LEVEL 4 - 6 BALCONY / PTAC
HAKE - STRAIGHT EDGE	GRAY SLATE	BUMP OUT / BUILDING ENDS
HAKE - STRAIGHT EDGE	TRADITIONAL RED	BUMP OUT
CULTURED STONE	EUCALYPTUS COUNTRY LEDGESTONE	FRONT CANOPIES POSTS & BUILDING ENDS
TIMBER COLUMN	-	
TIMBER BEAM		
2" CEMENT BOARD TRIM	STAINED	
	PLANK - CEDARMILL PLANK - CEDARMILL PLANK - CEDARMILL HAKE - STRAIGHT EDGE HAKE - STRAIGHT EDGE CULTURED STONE TIMBER COLUMN TIMBER BEAM	PLANK - CEDARMILL  PLANK - CEDARMILL  PLANK - CEDARMILL  PLANK - CEDARMILL  BOOTHBAY BLUE  BOOTH

EXTERIOR METAL PRODUCT				
M#)	DESCRIPTION		COLOR	LOCATION
M1	ALUMINUM DOWNSPOUTS		BLACK	<u>-</u>
M2	ALUMINUM GUTTER 5" K STYLE		BLACK	REFER TO DETAIL 6/A4.2
M3)	ALUMINUM RAILING		BLACK	REFER TO DETAIL 6/A4.3
M4	PREFINISHED FLAT COIL		WHITE	FASCIA BOARD
M5	4 PANEL CLASSIC SOFFIT		LINEN	REFER TO DETAIL 6/A4.2
(M6)	WALL FLASHING		BLACK	
M7)	SHINGLE STEP FLASHING		BLACK	- 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1
M8	ROOF EDGE FLASHING		BLACK	REFER TO DETAIL 6/A4.2
M9	DRIP CAP FLASHING		WHITE	VARIOUS
M10	REVERSE DRIP FLASHING		WHITE	PLANK WINDOW TRIM
M11)	PLASTIC VENT		BLACK	<u>-</u>
M12)	GUTTER COIL FLASHING		-	
M13)	FOUNDATION TRANSITION F.		-	

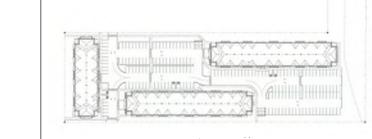
	EXTERIOR ROOFING PRODU	JCT	
R#	DESCRIPTION	COLOR	
R1	ROOFING SHINGLES - 30 YEAR LAMINATE	BLACK	
R2	ATTIC STATIC VENT		

NOTES	
1) ALL RESIDENTIAL UNITS TO HAVE INDIVIDUAL AC UNIT	
2) ALL RESIDENTIAL UNITS TO HAVE WINDOWS WITH RATING OF STC-30	

SEYMOUR PACIFIC

100 St Anns Street, Campbell River, B.C. (T)250.286.8045 (F)250.286.8046 www.seymourpacific.ca

SITE MAP:



PROJECT STATUS:

RE-ISSUED FOR VENDOR

Revision Schedule						
No.	Description	Revision Date				
Α	CITY PRE-APP	03/05/2020				
В	ISSUED FOR VENDOR APP.	06/05/2020				
С	ISSUED FOR REZONING	07/09/2020				
D	RE-ISSUED FOR VENDOR	08/04/2020				
	***************************************					

**ABELE**ARCHITECTURE THOMAS C. ABELE, ARCHITECT AIBC, T: 604.682-6818

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TO NON-MATERIAL CHANGES WILL NOT BE ACCEPTED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. NON-MATERIAL CHANGES ARE DEEMED TO BE PLAN CHANGES OR SPECIFICATION ADJUSTMENTS THAT DO NOT SUBSTANTIALLY AFFECT THE VALUE, COST AND QUALITY OF CONSTRUCTION.

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PROJECT NAME:

**GLENHART VIEWS** 

PROJECT NUMBER:

ADDRESS:

801 RYAN ROAD COURTENAY, BC

DRAWING TITLE:

COLOUR ELEVATIONS 2 OF 2 -**BUILDING A** 

DRAWN BY: Author CHECKED BY: Checker DATE: 08/04/2020 SCALE: As indicated

DRAWING #:

<u>A3.8</u>



REV #:



2 COLOUR - BACK ELEVATION Scale: 1:150

	EXT	ERIOR CLADDING PRO	DUCT
C#	DESCRIPTION	COLOR	LOCATION
 C1	4" CEMENT BOARD TRIM	ARTIC WHITE	WINDOW & DOOR TRIM BALCONY WALLS
C2	12" CEMENT BOARD TRIM	ARTIC WHITE	BELLY BAND
C3	12" CEMENT BOARD TRIM	ARTIC WHITE	VERT. PARTITION WALL
C4	PLANK - CEDARMILL	DEEP OCEAN	LEVEL 1 - 3
C5	PLANK - CEDARMILL	BOOTHBAY BLUE	LEVEL 4 - 6
C6	PLANK - CEDARMILL	DEEP OCEAN	LEVEL 1 - 3 BALCONY/PTAC
C7	PLANK - CEDARMILL	BOOTHBAY BLUE	LEVEL 4 - 6 BALCONY / PTAC
C8	SHAKE - STRAIGHT EDGE	GRAY SLATE	BUMP OUT / BUILDING ENDS
C9	SHAKE - STRAIGHT EDGE	TRADITIONAL RED	BUMP OUT
C10	CULTURED STONE	EUCALYPTUS COUNTRY LEDGESTONE	FRONT CANOPIES POSTS & BUILDING ENDS
C11	TIMBER COLUMN		
C12	TIMBER BEAM	• • • • • • • • • • • • • • • • • • •	·
C13	12" CEMENT BOARD TRIM	STAINED	· · · · ·

	E	XTERIOR	METAL PF	RODUCT
M#)	DESCRIPTION		COLOR	LOCATION
M1)	ALUMINUM DOWNSPOUTS		BLACK	
M2	ALUMINUM GUTTER 5" K STYLE		BLACK	REFER TO DETAIL 6/A4.2
(M3)	ALUMINUM RAILING		BLACK	REFER TO DETAIL 6/A4.3
M4	PREFINISHED FLAT COIL		WHITE	FASCIA BOARD
M5	4 PANEL CLASSIC SOFFIT		LINEN	REFER TO DETAIL 6/A4.2
(M6)	WALL FLASHING		BLACK	
M7	SHINGLE STEP FLASHING		BLACK	-
(M8)	ROOF EDGE FLASHING		BLACK	REFER TO DETAIL 6/A4.2
M9	DRIP CAP FLASHING		WHITE	VARIOUS
M10)	REVERSE DRIP FLASHING		WHITE	PLANK WINDOW TRIM
M11)	PLASTIC VENT		BLACK	
M12)	GUTTER COIL FLASHING		-	
M13)	FOUNDATION TRANSITION F.		-	

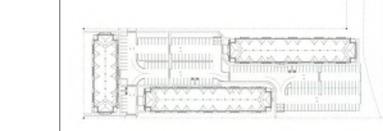
	EXTERIOR ROOFING PRODU	JCT
R#	DESCRIPTION	COLOR
R1	ROOFING SHINGLES - 30 YEAR LAMINATE	BLACK
R2	ATTIC STATIC VENT	

	<del></del> .
NOTES	
1) ALL RESIDENTIAL UNITS TO HAVE INDIVIDUAL AC UNIT	
2) ALL RESIDENTIAL UNITS TO HAVE WINDOWS WITH RATING OF STC-30	

SEYMOUR PACIFIC DEVELOPMENTS LTD.

100 St Anns Street, Campbell River, B.C. (T)250.286.8045 (F)250.286.8046 www.seymourpacific.ca

SITE MAP:



PROJECT STATUS:

**RE-ISSUED FOR VENDOR** 

	· · · · · · · · · · · · · · · · · · ·	
	Revision Schedule	•
No.	Description	Revision Dat
Α	CITY PRE-APP	03/05/2020
В	ISSUED FOR VENDOR APP.	06/05/2020
С	ISSUED FOR REZONING	07/09/2020
D	RE-ISSUED FOR VENDOR	08/04/2020
	***************************************	

**ABELE**ARCHITECTURE

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PROJECT NAME:

**GLENHART VIEWS** 

PROJECT NUMBER:

ADDRESS:

801 RYAN ROAD COURTENAY, BC

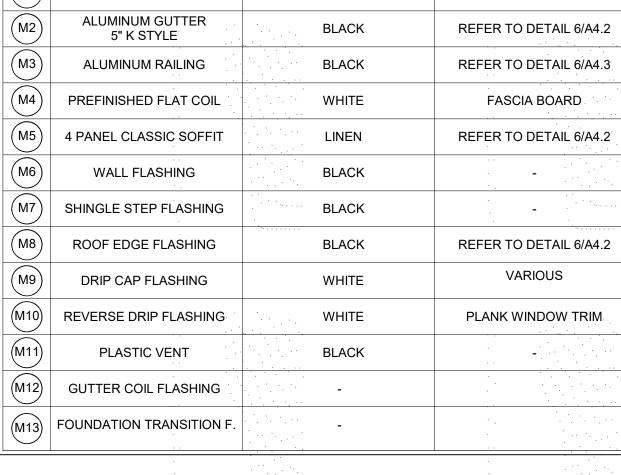
DRAWING TITLE:

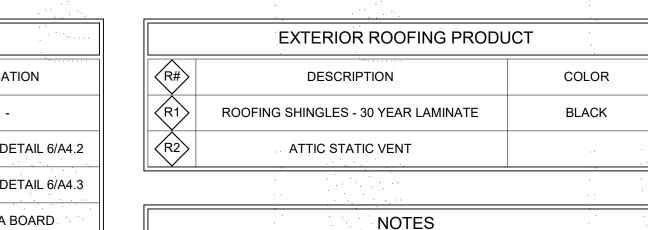
COLOUR ELEVATIONS 1 OF 2 -**BUILDING B** 

DRAWN BY: Author CHECKED BY: Checker DATE: 08/04/2020 SCALE: As indicated

DRAWING #:

<u>A3.9</u>





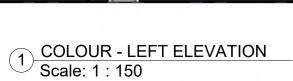
1) ALL RESIDENTIAL UNITS TO HAVE INDIVIDUAL AC UNIT

	EXTERIOR ROOFING PRODU	CT
R#	DESCRIPTION	COLOR
R1	ROOFING SHINGLES - 30 YEAR LAMINATE	BLACK
R2	ATTIC STATIC VENT	

2) ALL RESIDENTIAL UNITS TO HAVE WINDOWS WITH RATING OF STC-30

		· · · · · · · · · · · · · · · · · · ·
	EXTERIOR ROOFING PRODU	JCT
R#	DESCRIPTION	COLOR
R1	ROOFING SHINGLES - 30 YEAR LAMINATE	BLACK
R2	ATTIC STATIC VENT	





LOCATION

WINDOW & DOOR TRIM

BALCONY WALLS

BELLY BAND

VERT. PARTITION WALL

LEVEL 1 - 3

LEVEL 4 - 6

LEVEL 1 - 3 BALCONY/PTAC

LEVEL 4 - 6 BALCONY / PTAC

BUMP OUT / BUILDING ENDS

BUMP OUT

FRONT CANOPIES POSTS &

**BUILDING ENDS** 

EXTERIOR CLADDING PRODUCT

COLOR

ARTIC WHITE

ARTIC WHITE

ARTIC WHITE

DEEP OCEAN

**BOOTHBAY BLUE** 

DEEP OCEAN

**BOOTHBAY BLUE** 

**GRAY SLATE** 

TRADITIONAL RED

**EUCALYPTUS COUNTRY** 

. . <del>.</del> . . . .

STAINED

LEDGESTONE

DESCRIPTION

4" CEMENT BOARD TRIM

12" CEMENT BOARD TRIM

12" CEMENT BOARD TRIM

PLANK - CEDARMILL

PLANK - CEDARMILL

PLANK - CEDARMILL

PLANK - CEDARMILL

SHAKE - STRAIGHT EDGE

SHAKE - STRAIGHT EDGE

**CULTURED STONE** 

TIMBER COLUMN

TIMBER BEAM

12" CEMENT BOARD TRIM

T/O OF PARKING GARAGE SLAB -9' - 8"



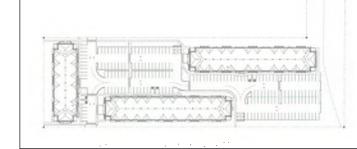
M#)	DESCRIPTION	 COLOR	LOCATION
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M6	WALL FLASHING	BLACK	
M7	SHINGLE STEP FLASHING	BLACK	<u>-</u>
(M8)	ROOF EDGE FLASHING	 BLACK	REFER TO DETAIL 6/A4.2
M9	DRIP CAP FLASHING	WHITE	VARIOUS
(M10)	REVERSE DRIP FLASHING	 WHITE	PLANK WINDOW TRIM

EXTERIOR METAL PRODUCT

SEYMOUR PACIFIC

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SITE MAP:



PROJECT STATUS:

RE-ISSUED FOR VENDOR

	· · · · · · · · · · · · · · · · · · ·	
	Revision Schedule	<b>:</b>
No.	Description	Revision Dat
Α	CITY PRE-APP	03/05/2020
В	ISSUED FOR VENDOR APP.	06/05/2020
С	ISSUED FOR REZONING	07/09/2020
D	RE-ISSUED FOR VENDOR	08/04/2020
	***************************************	

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PROJECT NAME:

**GLENHART VIEWS** 

PROJECT NUMBER:

ADDRESS:

801 RYAN ROAD COURTENAY, BC

DRAWING TITLE:

COLOUR ELEVATIONS 2 OF 2 -**BUILDING B** 

DRAWN BY: Author CHECKED BY: Checker DATE: 08/04/2020

SCALE: DRAWING #:

RE-ISSUED FOR VENDOR

As indicated

REV #:



2 COLOUR - BACK ELEVATION Scale: 1 : 150

	EXT	ERIOR CLADDING PRO	DUCT
C#	DESCRIPTION	COLOR	LOCATION
C1	4" CEMENT BOARD TRIM	ARTIC WHITE	WINDOW & DOOR TRIM BALCONY WALLS
C2	12" CEMENT BOARD TRIM	ARTIC WHITE	BELLY BAND
C3	12" CEMENT BOARD TRIM	ARTIC WHITE	VERT. PARTITION WALL
C4	PLANK - CEDARMILL	DEEP OCEAN	LEVEL 1 - 3
C5	PLANK - CEDARMILL	BOOTHBAY BLUE	LEVEL 4 - 6
C6	PLANK - CEDARMILL	DEEP OCEAN	LEVEL 1 - 3 BALCONY/PTAC
C7	PLANK - CEDARMILL	BOOTHBAY BLUE	LEVEL 4 - 6 BALCONY / PTAC
C8	SHAKE - STRAIGHT EDGE	GRAY SLATE	BUMP OUT / BUILDING ENDS
C9	SHAKE - STRAIGHT EDGE	TRADITIONAL RED	BUMP OUT
C10	CULTURED STONE	EUCALYPTUS COUNTRY LEDGESTONE	FRONT CANOPIES POSTS & BUILDING ENDS
C11	TIMBER COLUMN	<del>-</del>	
C12	TIMBER BEAM	- 	
C13	12" CEMENT BOARD TRIM	STAINED	

	E	KTERIOR METAL PRO	DUCT
M#	DESCRIPTION	COLOR	LOCATION
M1)	ALUMINUM DOWNSPOUTS	BLACK	-
M2	ALUMINUM GUTTER 5" K STYLE	BLACK	REFER TO DETAIL 6/A4.2
M3	ALUMINUM RAILING	BLACK	REFER TO DETAIL 6/A4.3
M4	PREFINISHED FLAT COIL	WHITE	FASCIA BOARD
M5)	4 PANEL CLASSIC SOFFIT	LINEN	REFER TO DETAIL 6/A4.2
M6)	WALL FLASHING	BLACK	- 11
M7	SHINGLE STEP FLASHING	BLACK	<u>-</u>
(M8)	ROOF EDGE FLASHING	BLACK	REFER TO DETAIL 6/A4.2
M9	DRIP CAP FLASHING	WHITE	VARIOUS
M10	REVERSE DRIP FLASHING	WHITE	PLANK WINDOW TRIM
M11)	PLASTIC VENT	BLACK	
M12	GUTTER COIL FLASHING		
(M13)	FOUNDATION TRANSITION F.	- · · · · · · · · · · · · · · · · · · ·	

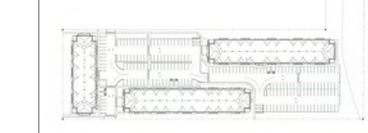
EXTERIOR ROOFING PRODUCT			
R#	DESCRIPTION	COLOR	
R1	ROOFING SHINGLES - 30 YEAR LAMINATE	BLACK	
R2	ATTIC STATIC VENT		

•					
		NOTES	• •		
1) ALI	_ RESIDENTIAL UNITS 1	ΓΟ HAVE INDIVIDUA	L AC UNIT		
2) ALI	RESIDENTIAL UNITS	TO HAVE WINDOWS	WITH RATI	NG OF STC-30	

SEYMOUR PACIFIC DEVELOPMENTS LTD.

100 St Anns Street, Campbell River, B.C. (T)250.286.8045 (F)250.286.8046 www.seymourpacific.ca

SITE MAP:



PROJECT STATUS:

RE-ISSUED FOR VENDOR

No.	Revision Schedule	Revision Date
	Description	
Α	CITY PRE-APP	03/05/2020
В	ISSUED FOR VENDOR APP.	06/05/2020
С	ISSUED FOR REZONING	07/09/2020
D	RE-ISSUED FOR VENDOR	08/04/2020
	·	

SEAL: **ABELE**ARCHITECTURE THOMAS C. ABELE, ARCHITECT AIBC, T: 604.682-6818

TRADE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR INCONSISTENCIES TO SEYMOUR PACIFIC DEVELOPMENTS LTD., WITHOUT DELAY, FOR CLARIFICATION AND/OR CONFIRMATION. DO NOT SCALE DRAWINGS. DESIGNS REPRESENTED AND DRAWINGS USED AS INSTRUMENTS OF SERVICE SHALL REMAIN THE COPYRIGHT AND PROPERTY OF SEYMOUR PACIFIC DEVELOPMENTS LTD. ANY REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY SEYMOUR PACIFIC

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ADDITIONAL CLAIMS AND COSTS RELATED TO NON-MATERIAL CHANGES WILL NOT BE ACCEPTED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. NON-MATERIAL CHANGES ARE DEEMED TO BE PLAN CHANGES OR SPECIFICATION ADJUSTMENTS THAT DO NOT SUBSTANTIALLY AFFECT THE VALUE, COST AND QUALITY OF CONSTRUCTION.

CONTRACTORS SHALL MAKE EVERY REASONABLE EFFORT TO MAINTAIN SCHEDULE TARGETS AND PROVIDE GOOD EFFICIENCY, PROGRESS, WORKMANSHIP AND QUALITY TOWARD DEFICIENCY-FREE RESULTS.

PROJECT NAME:

**GLENHART VIEWS** 

PROJECT NUMBER:

ADDRESS:

801 RYAN ROAD COURTENAY, BC

DRAWING TITLE:

COLOUR ELEVATIONS 1 OF 2 -BUILDING C

As indicated

REV #:

DRAWN BY: Author CHECKED BY: Checker DATE: 08/04/2020

SCALE: DRAWING #:



1 COLOUR - LEFT ELEVATION Scale: 1:150

2 COLOUR - RIGHT ELEVATION Scale: 1 : 150

EXTERIOR CLADDING PRODUCT			
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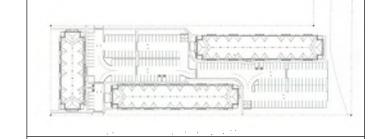
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SITE MAP:



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DRAWING TITLE:

COLOUR ELEVATIONS 2 OF 2 -BUILDING C

REV #:

DRAWN BY: Author CHECKED BY: Checker DATE: 08/04/2020 SCALE: As indicated