

HOLIDAY INN EXPRESS - 310 HUNT ROAD COURTENAY, BRITISH COLUMBIA



310, 320, 336
HUNT RD



DRAWING LIST:

ARCHITECT

LOVICK SCOTT ARCHITECT LTD.
3707 116 AVENUE,
BURNABY, B.C. V5C 3V6
(tel) 604.298.3700
(email) dsitrang@lovlivscott.com

A000 COVER SHEET	- REAR RENDERING 2
A100 SITE PLAN	- SURVEY PLAN
A101 FIRST FLOOR PLAN	- CIVIL GRADING PLAN
A102 SECOND FLOOR PLAN	- ELEC LOT LIGHTING PLAN
A103 THIRD FLOOR PLAN	L01 LANDSCAPE PLAN
A104 FOURTH FLOOR PLAN	- COLOURED LANDSCAPE PLAN
A105 ROOF PLAN	
A200 EXTERIOR ELEVATIONS	
A201 EXTERIOR ELEVATIONS	
A300 BUILDING SECTIONS	
- COLOURED ELEVATIONS	
- COLOURED ELEVATIONS	
- FRONT RENDERING	
- REAR RENDERING 1	

SURVEY

BAZETT LAND SURVEYING INC.
2030 CLIFFE AVENUE
COURTENAY, B.C. V9N 2L3
(tel) 250.334.3242

TOPOGRAPHIC SITE PLAN

LANDSCAPE

SPASH LANDSCAPING
1532 OAK CREST DRIVE,
VICTORIA, B.C.
(tel) 250.818.4830

L001 LANDSCAPE DESIGN

CIVIL

APLIN MARTIN ENGINEERING
104 - 6536 APPLECROSS RD.,
NANAIMO, B.C.
(tel) 778.295.0454

GRADING PLAN

PROJECT STATISTICS

AUTHORITY HAVING JURISDICTION
CITY OF COURTENAY

CIVIC ADDRESS
310,320 & 336 HUNT RD, COURTENAY, B.C.

LEGAL DESCRIPTION
LOT 1, SECTION 14, COMOX DISTRICT, PLAN VP60575
LOT 2, SECTION 14, COMOX DISTRICT, PLAN VP60575
EXCEPT PLAN VP83448
- PARCEL IDENTIFIERS: 002-018-216 & 023-018-224

SITE AREA
7,323 M² (78,824 SQ FT)

ZONING
CURRENT: LUC (LAND USE CONTRACT)
PROPOSED: CD (COMPREHENSIVE DEVELOPMENT)

* CD BASED ON C2

PROPOSED OCCUPANCY
GROUP C - COMMERCIAL HOTEL

ELECTRICAL

MUR ENGINEERING
1822 COMOX AVE - UNIT E,
COURTENAY, B.C.
(tel) 250.898.0870

LOT LIGHTING PLAN

LOT COVERAGE

MAXIMUM ALLOWED: TBD
LOT COVERAGE PROPOSED: 1,323 / 7,323 = 0.1807 18.1%

GROSS BUILDING AREA
5,165.7 M²
FAR: 0.71

BUILDING HEIGHT
ALLOWABLE: TBD
PROPOSED: 13.8M (45.33' FT)

SETBACKS

ELEVATION SIDE	ALLOWED	BUILDING	LANDSCAPING
NORTH (FRONT) ON HUNT RD.	BY COUNCIL	16.0 m (52'-6")	TBD
SOUTH (REAR)	BY COUNCIL	14.98 m (49'-2")	0.75 m (2'-6")
EAST (RIGHT SIDE)	BY COUNCIL	48.94 m (160'-7")	TBD
WEST (LEFT SIDE)	BY COUNCIL	15.39 m (50'-6")	7.0 m (23'-0")

ARBORIST

THE COASTAL ARBORIST TREE CARE Co.
1120 21ST STREET,
COURTENAY, B.C.
(tel) 250.702.7654

ARBORIST REPORT

PARKING REQUIREMENTS, AS PER BYLAW 2500 SECTION 7.0

REQUIRED
1 PER 2 SUITES
93 / 2 = 46.5 OR 47 STALLS
TOTAL REQUIRED = 47

PROVIDED = 69
(3 ACCESSIBLE, 66 STANDARD, 9 SMALL CAR)

STANDARD STALL SIZE = 2.75M X 5.5M - 90 DEGREE
SMALL CAR STALL SIZE = 2.25M X 4.5M - 90 DEGREE
ACCESSIBLE STALL SIZE = 4M X 5.5M - 90 DEGREE

* 10% OF TOTAL NUMBER OF STALL CAN BE SMALL CAR WHEN ACCOMMODATING 20 OR MORE VEHICLES (7.1.10)

* WHEN A BUILDING REQUIRE OR PROVIDES MORE THAN 20 STALL, ONE ACCESSIBLE STALL SHALL BE PROVIDED WITH ONE ADDITIONAL SPACE PER ADDITIONAL 75 SPACES.

(99-20) / 75H = 2.04
TOTAL ACCESSIBLE STALL REQUIRED = 3

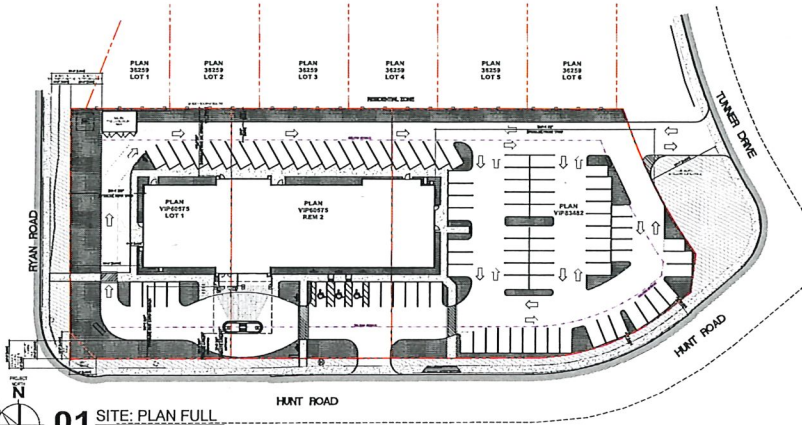
LOADING REQUIREMENTS BYLAW 2500 SECTION 7.0

REQUIRED
ONE SPACE FOR EVERY 1650 M² OF FLOOR AREA REQUIRING DELIVERS.
1289.32 / 1650 = 0.695 1 BAY

PROVIDED:
2 LOADING BAYS

BAY SIZE 3M X 9M

RE-ISSUED FOR REZONING / DEVELOPMENT PERMIT - JULY 22ND 2020



01 SITE: PLAN FULL
SCALE 1/500

SITE STATISTICS
310, 320, 336 HUNT RD.
COURTNEY, BC

LEGAL DESCRIPTION
1/21ST SECTION 4 COCHS DISTRICT, PLAN V19075
LOT 2 SECTION 4 COCHS DISTRICT, PLAN V19075
SHRUBS PLAN V19075
SMALL, EXP. 1998, 02-08-26 & 02-08-24

OWNER
- LORRYN - L.L.C. BANK OF CANADA
- PROJECTOR - 22 COCHS DISTRICT, PLAN V19075
- SHED ON C2

DEVELOPER
OVERALL: 12,224 SF (1,222.5 sqm)
BUILDING: 11,224 SF (1,122.5 sqm)
LANDSCAPE: 1,000 SF (97.5 sqm) ± 2%

LANDSCAPE
- TOTAL AREA: 1,000 SF (97.5 sqm) ± 2%
- LANDSCAPE COVERAGE: 0.222 / 12,224 ± 2.2%

SITE AREA
TOTAL AREA: 12,224 SF (1,222.5 sqm)
BUILDING: 11,224 SF (1,122.5 sqm)
LANDSCAPE: 1,000 SF (97.5 sqm) ± 2%

PROPOSED BUILDING
22,224 SF (2,222.5 sqm)
PAV: 0.2

REMARKS	ALLOWED	PROPOSED
SEE PLAN	0.2 (0.2%)	0.2 (0.2%)
FRONT YARD	0.0 (0.0%)	0.0 (0.0%)
REAR YARD	0.0 (0.0%)	0.0 (0.0%)
SEE PLAN	0.2 (0.2%)	0.2 (0.2%)
BUILDING	0.2 (0.2%)	0.2 (0.2%)

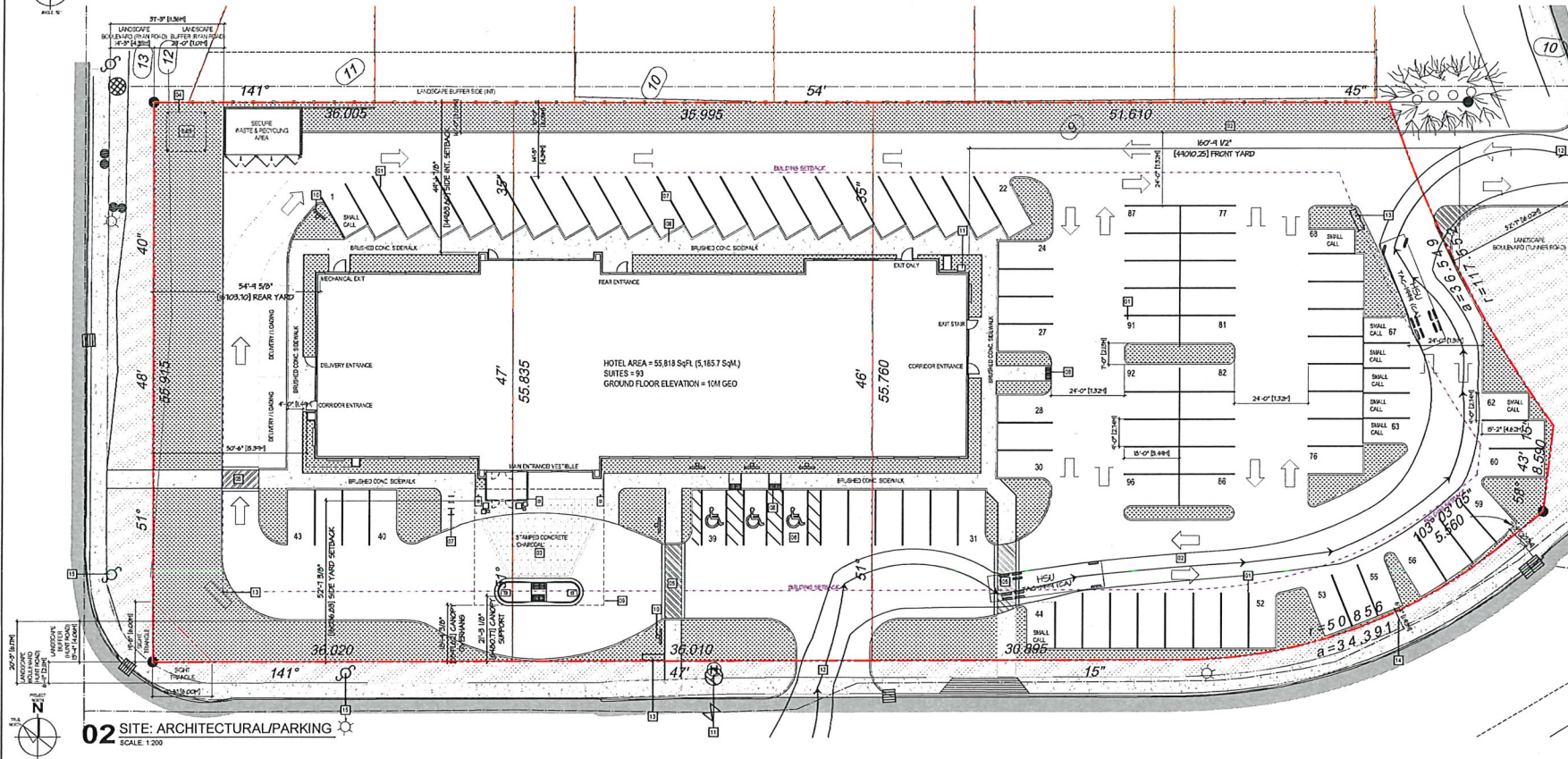
DATE: 07/22/20
BY: LSA
PROJECT: HOLIDAY INN EXPRESS
SCALE: 1/500
DATE: AUG 23RD 2019

SITE LEGEND

- PROPERTY LINE
- BUILDING SET BACK
- SITE FENCE
- SITE RETAINING WALL
- AREAS OF LANDSCAPING
- HARDSCAPE
- STAMPED CONCRETE PATH
- CONCRETE SIDE WALK

- SITE KEY NOTES**
- PARKING STALL PAINTED AS PER BYLAW 2500 DIV 7
 - DIRECTIONAL ARROWS AS PER PARKING PLAN 2000 DIV 7
 - DROP OFF AREA WITH FEATURE PATTERN AND CURB CUT
 - ELECTRICAL TRANSFORMER TO BE COORDINATED WITH C. HYDRO
 - PEDESTRIAN PATHWAY CONNECTING TO PUBLIC SIDEWALK FINAL CONFIGURATION TO BE COORDINATED BY C.F.W. WITH CITY ENGINEERING DEPARTMENT
 - ACCESSIBLE STALL WITH PAINT SYMBOL AS PER BYLAW 2000 DIV 7
 - BIKE PARKING RACKS
 - CURB CUT WITH FACILE WALKWAY STRIP AS PER BCBC 3.8.3
 - DOTTED LINE DENOTES EXTENT OF CANOPY ABOVE SEE ELEVATIONS
 - HAFF PAVING STORAGE
 - EXISTING FIRE HYDRANT
 - SITE ACCESS FINAL CONFIGURATION TO BE COORDINATED BY C.F.W. WITH CITY ENGINEERING DEPARTMENT
 - PROPOSED LOCATION FOR MONUMENT AND INFORMATIONAL SIGN, FINAL LOCATION DESIGN AND PERMIT BY OTHER IN ACCORDANCE WITH BYLAW 2703
 - 1.5M CLEARANCE TO BE MAINTAINED BETWEEN PARKING & SIDE WALK
 - LOCATION OF EXISTING ELECTRICAL POLE TO BE REMOVED SERVICE TO BE ROUTED UNDERGROUND. FINAL SCOPE TO BE COORDINATED BY C.F.W., C.D., E.C. HYDRO & CITY ENGINEERING DEPARTMENT

REV	DATE	DESCRIPTION
01	07/23/20	ISSUED FOR PERMITS / CP
02	08/25/20	ISSUED FOR LMS REVIEW / APPROVAL
03	04/30/20	ISSUED FOR PERMITS / CP
04	07/23/20	RE-ISSUED FOR PERMITS / CP



02 SITE: ARCHITECTURAL/PARKING
SCALE 1/200

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS SHALL NOT BE SCALED.

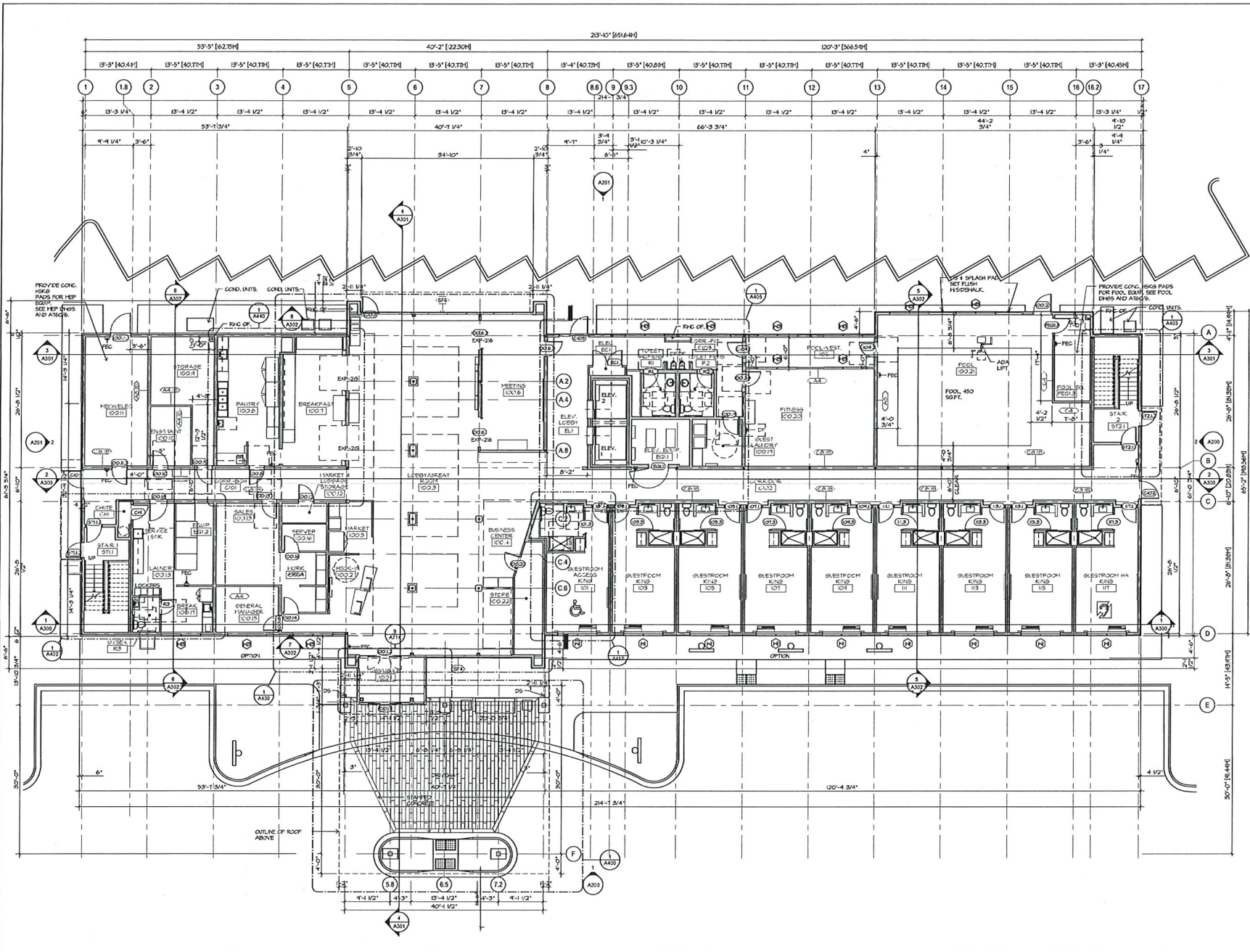
LOVICK SCOTT ARCHITECTS

3707 1ST AVENUE
BURNABY, BC V5C 3V6
ADMIN@LOVICKSCOTT.COM
604 298 3700 WWW.LOVICKSCOTT.COM
MEMBER OF THE AIBC, AAA, SAA, MAA
ARCHITECTURE INC.

DATE: 07/22/20
BY: LSA
PROJECT: HOLIDAY INN EXPRESS
310, 320, & 360 HUNT RD.
COURTNEY, BRITISH COLUMBIA
DRAWN:

PLAN: PARKING
SITE & PARKING
PROJECT NUMBER: H1-068
DRAWING NUMBER: A100
SCALE: AS NOTED
DATE: AUG 23RD 2019
REVISION: 07/22/20

HOLIDAY INN EXPRESS 19-068



REV	DATE	DESCRIPTION
C4	01/22/20	RE-SIZED FOR REZONING / DP
D3	06/25/20	ISSUED FOR BLDG REVIEW / APPROVAL
02	04/30/20	ISSUED FOR BP
C1	01/03/20	ISSUED FOR REZONING / DP
REV	DATE	DESCRIPTION



3707 1ST AVENUE
 BURNABY, BC V5C 3V6
 ADMIN@LOVICKSCOTT.COM
 604 293 3700 WWW.LOVICKSCOTT.COM
 MEMBER OF THE AISC, AAA, SAA, MAA
 ARCHITECTURAL BOARD

CONSTRUCTION OF THIS PROJECT IS THE PROPERTY OF LOVICK SCOTT ARCHITECTS. NO PART OF THIS DOCUMENT OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF LOVICK SCOTT ARCHITECTS. THIS DOCUMENT IS THE PROPERTY OF LOVICK SCOTT ARCHITECTS AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN.

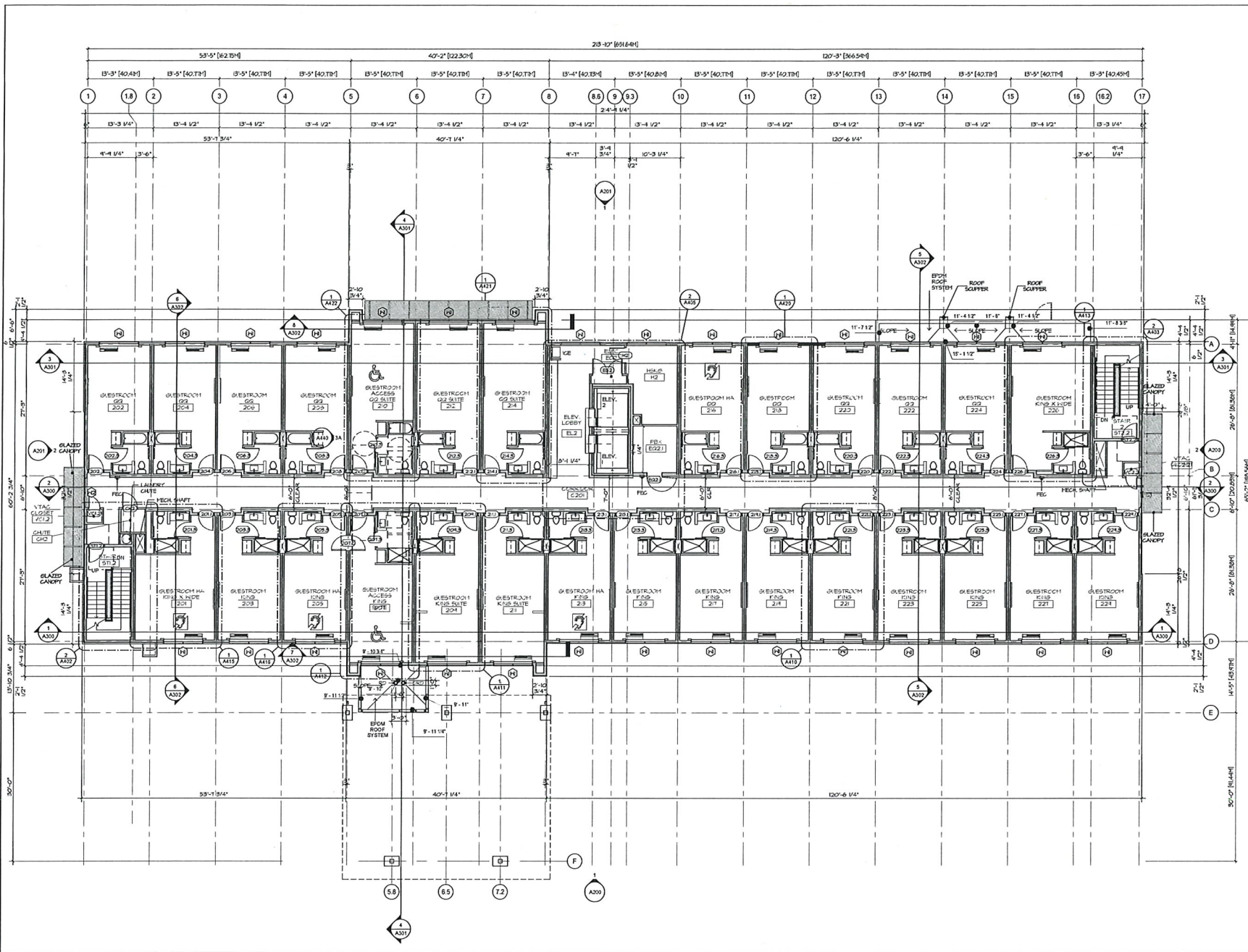
DATE: AUG 23RD 2014
 REVISION: 01/22/20

HOLIDAY INN EXPRESS
 310, 320 & 360 HUNT RD.
 COURTESY, BRITISH COLUMBIA

FLOOR PLAN
 FIRST FLOOR

PROJECT NUMBER: H-068
 DRAWING NUMBER: A101
 SCALE: 1/100
 DATE: AUG 23RD 2014
 REVISION: 01/22/20

HOLIDAY INN EXPRESS 19-088

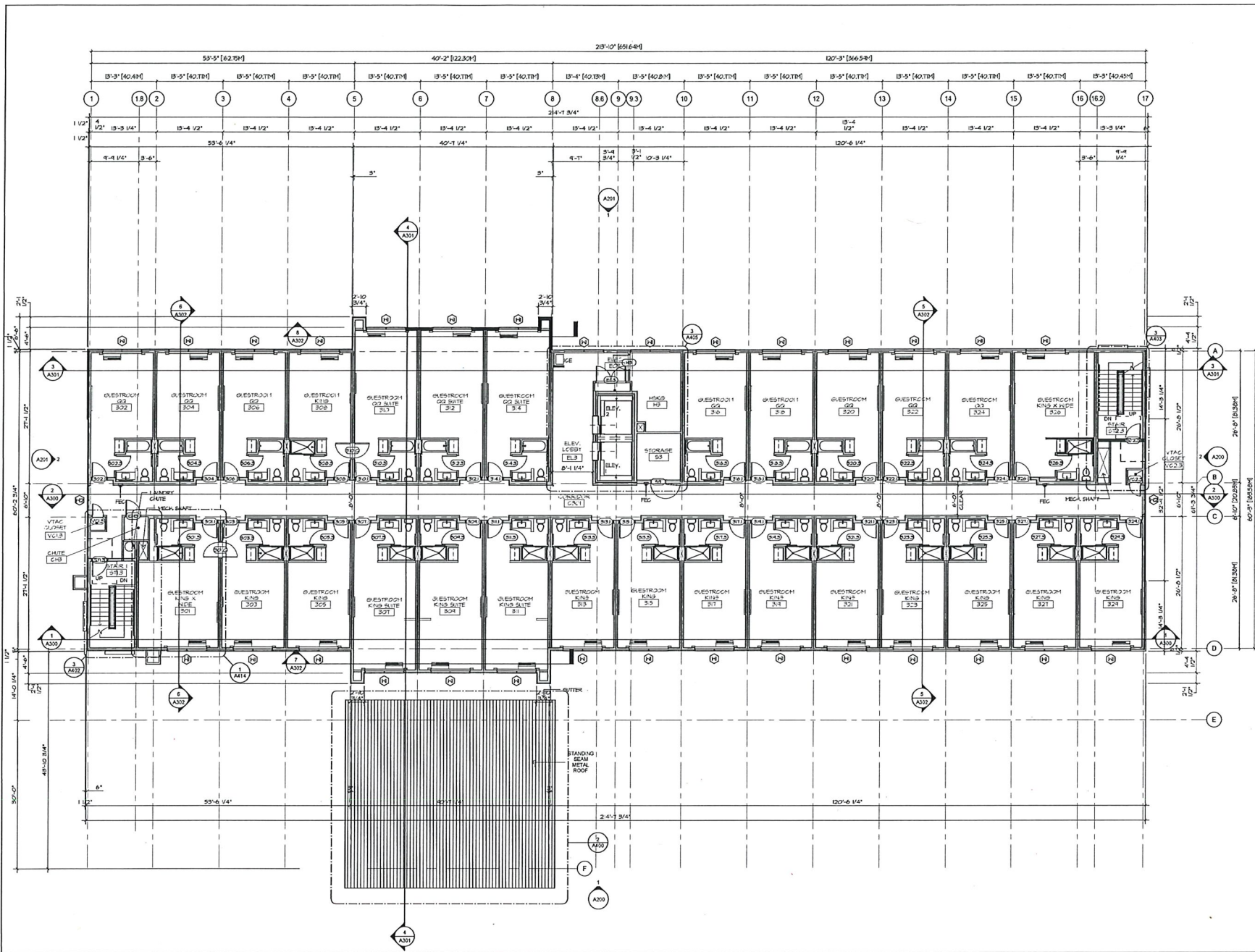


REV	DATE	DESCRIPTION
04	01/22/20	RE-ISSUED FOR REZONING / DP
03	04/28/20	ISSUED FOR IAS REVIEW / APPROVAL
02	04/30/20	ISSUED FOR EP
01	04/30/20	ISSUED FOR REZONING / EP

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS SHALL NOT BE SCALE.
 ARCHITECT

LOVICK SCOTT ARCHITECTS
 3707 1ST AVENUE
 BURNABY, BC V5C 3V6
 ADMIN@LOVICKSCOTT.COM
 604 298 3700 WWW.LOVICKSCOTT.COM
 MEMBER OF THE AIBC, AAA, SAA, MAA
 ARCHITECTS B.C.

DRAWING
 SHEET NO. R5
 PROJECT
HOLIDAY INN EXPRESS
 310, 320, & 360 HANT RD.
 COURTENAY, BRITISH COLUMBIA
 DRAWING
FLOOR PLAN
SECOND FLOOR
 PROJECT NUMBER: 19-069
 DRAWING NUMBER: A102
 SCALE: 1/100
 DATE: AUG 23RD 2019
 DESIGNER: LSA
 APPROVED: LSA
 PROJECT: HOLIDAY INN EXPRESS 19-068
 DATE: 07/22/20



REV	DATE	DESCRIPTION
C4	07/22/20	RE-ISED FOR REZONING / DP
C3	04/25/20	ISSUED FOR REV REVIEW / APPROVAL
C2	04/30/20	ISSUED FOR BP
C1	01/09/20	ISSUED FOR REZONING / DP
REV	DATE	DESCRIPTION

CONSULTANT SEAL

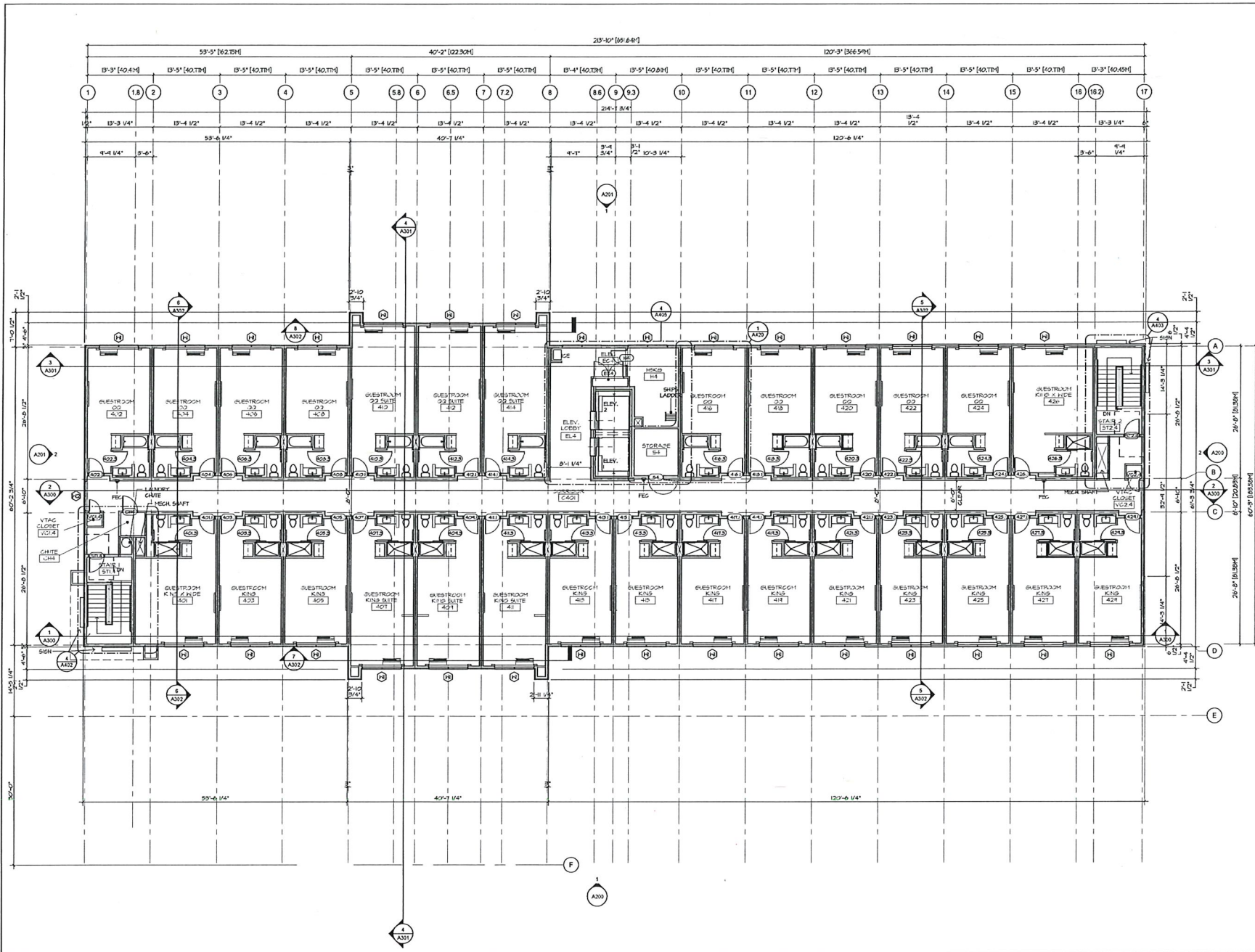


3707 1ST AVENUE
 BURNABY, B.C. V5C 3V6
 ADMIN @ LOVICKSCOTT.COM
 604 238 3700 WWW.LOVICKSCOTT.COM
 MEMBER OF THE AIBC, AAA, SAA, MAA
 ARCHITECTURAL SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS SHALL NOT BE
 REARED.
 APPROVED
 R/S LSA
 PROJECT
HOLIDAY INN EXPRESS
 310, 320, & 360 HANT RD.
 COURTESY, BRITISH COLUMBIA

FLOOR PLAN
 THIRD FLOOR
 PROJECT NUMBER: 14-069
 DRAWING NUMBER: A103
 SCALE: 1/100
 DATE: AUG 23RD 2014
 REVISION: 07/22/20

HOLIDAY INN EXPRESS 19-068



REV	DATE	DESCRIPTION
C4	07/22/20	RE-SEALED FOR REVISION / DP
C3	04/30/20	ISSUED FOR I-9 REVIEW / APPROVAL
C2	04/30/20	ISSUED FOR BP
C1	07/09/20	ISSUED FOR REVISION / DP
REV	DATE	DESCRIPTION

CONSULTANT

CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE EXCEPT THOSE SHOWN ON THIS PLAN.



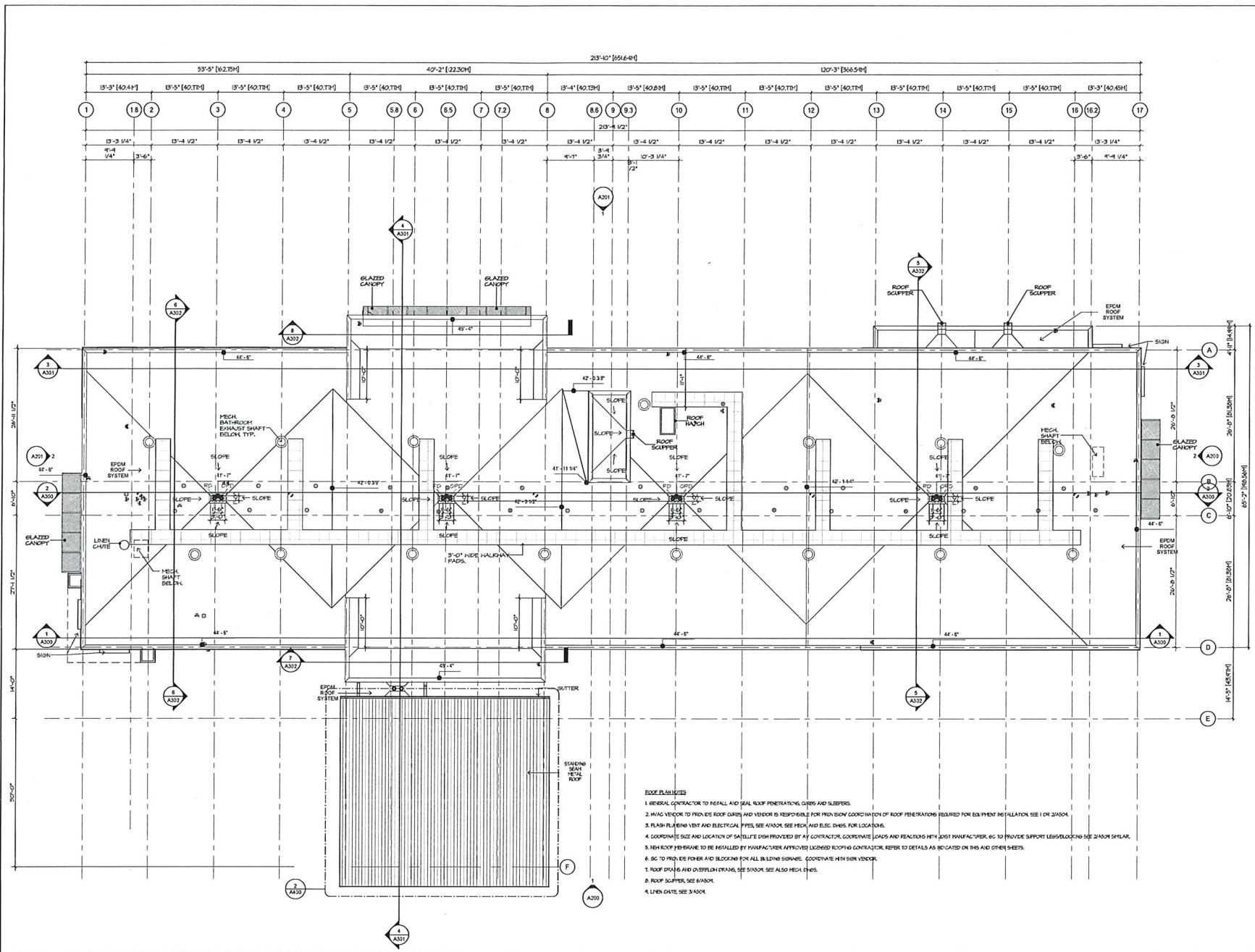
3707 1ST AVENUE
 BURNABY, B.C. V5C 3V6
 ADMIN@LOVICKSCOTT.COM
 604.298.3700 WWW.LOVICKSCOTT.COM
 MEMBER OF THE AIBC, AAA, SAA, MAA
 ARCHITECTURE SEAL

DESIGNER: LSA
 PROJECT: HOLIDAY INN EXPRESS
 310, 320, & 360 HANT RD.
 COURTENAY, BRITISH COLUMBIA

APPROVED: LSA
 PROJECT: HOLIDAY INN EXPRESS
 310, 320, & 360 HANT RD.
 COURTENAY, BRITISH COLUMBIA

FLOOR PLAN
 FOURTH FLOOR
 PROJECT NUMBER: 11-069
 SHEET NUMBER: A104
 SCALE: 1/100
 DATE: AUG 23RD 2014
 REVISION: 07/22/20

HOLIDAY INN EXPRESS 19-088



- ROOF PLAN NOTES**
- GENERAL CONTRACTOR TO INSTALL AND SEAL ROOF PENETRATIONS, GUTTERS AND SLEEPERS.
 - MECH VENDOR TO PROVIDE ROOF GATES AND VENDOR IS RESPONSIBLE FOR PROVISION COORDINATION OF ROOF PENETRATIONS REQUIRED FOR EQUIPMENT INSTALLATION, SEE 1 OR 2 ABOVE.
 - FLASH FLASHING VENT AND ELECTRICAL PIPES, SEE MECH AND ELEC. DWGS. FOR LOCATIONS.
 - COORDINATE SIZE AND LOCATION OF SATELLITE DISH PROVIDED BY A/J CONTRACTOR. COORDINATE LOADS AND REACTIONS WITH DISH MANUFACTURER, E/C TO PROVIDE SUPPORT LEGS/BRACKETS SEE 2 ABOVE SIMILAR.
 - NEW ROOF PENETRATIONS TO BE INSTALLED BY MANUFACTURER APPROVED LICENSED ROOFING CONTRACTOR. REFER TO DETAILS AS LOCATED ON THIS AND OTHER SHEETS.
 - GC TO PROVIDE POWER AND BLOCKING FOR ALL BUILDING SIGNAGE. COORDINATE WITH SIGN VENDOR.
 - ROOF DRAIN-6 AND OVERFLOW DRAIN, SEE 5 ABOVE. SEE ALSO MECH. DWGS.
 - ROOF SCUPPER, SEE 5 ABOVE.
 - LINEA CHUTE SEE 5 ABOVE.

REV	DATE	DESCRIPTION
04	07/22/20	ISSUED FOR REVISION / EP
05	06/25/20	ISSUED FOR HIS REVIEW / APPROVAL
02	04/30/20	ISSUED FOR EP
01	03/03/20	ISSUED FOR REVISION / EP
REV	DATE	DESCRIPTION

CONSULTANT SEAL

DETAILS SHALL VERIFY ALL VENDOR ON SITE DRAWINGS SHALL NOT BE BOUND



3707 1ST AVENUE
 BURNABY, BC V5C 3V6
 ADMIN@LOVICKSCOTT.COM
 604 299 3700 WWW.LOVICKSCOTT.COM
 MEMBER OF THE AIBC, AAA, SAA, MAA
 ARCHITECTS B.C.

LOVICK SCOTT ARCHITECTS LTD. IS THE EXCLUSIVE RETAINER OF SERVICE AND DESIGN AT ALL TIMES THE EXCLUSIVE PROPERTY OF LOVICK SCOTT ARCHITECTS LTD. ITS REPRESENTATIVES OF THE ABOVE PROJECT SHALL HOLD THE INTERESTS AND NAME OF LOVICK SCOTT ARCHITECTS LTD. AUTHORITY TO SIGN OR SEAL ON THE SUBMITTED PROJECT ONLY

DESIGN BY: LSA PROJECT: LOVICK SCOTT ARCHITECTS LTD.
 DRAWN BY: LSA PROJECT: LOVICK SCOTT ARCHITECTS LTD.
 PROJECT NUMBER: 19-068 DRAWING NUMBER: A105
 SCALE: 1:100
 DATE: ALB 23RD 2019 REVISION: 07/22/20

ROOF PLAN

HOLIDAY INN EXPRESS 19-068



REV	DATE	DESCRIPTION
01	02/03/20	ISSUED FOR PERMITTING / DP
02	04/03/20	ISSUED FOR BIP

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE DRAWINGS SHALL NOT BE SCALE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE DRAWINGS SHALL NOT BE SCALE



3707 1ST AVENUE
 BURNABY, BC V5C 3V6
 ADMIN@LOVICKSCOTT.COM
 604 298 3700 WWW.LOVICKSCOTT.COM
 MEMBER OF THE AIBC, AIA, SAA, MAA
 REGISTERED ARCHITECT

EXTERIOR FINISHES LEGEND

NOTE: COLOUR NOTED BELOW ARE FOR VISUAL REFERENCE ONLY

- (G1) DOUBLE GLAZED ALUMINUM WINDOW (ANODIZED)
- (RP-1) WIDE REVEAL PANEL SYSTEM (DARK/COGNAC)
- (RP-2) WIDE REVEAL PANEL SYSTEM (OLIVE)
- (RP-3) WIDE REVEAL PANEL SYSTEM (DULVE)
- (RP-4) WIDE REVEAL PANEL SYSTEM (WHITE)
- (RP-5) WIDE REVEAL PANEL SYSTEM (CHARCOAL)
- (M-1) PRE-FINISHED CAP FLASHING (WHITE)
- (M-2) PRE-FINISHED BREAK METAL (CHARCOAL)
- (M-3) PRE-FINISHED ALUMINUM GRILL (SILVER)
- (M-4) PRE-FINISHED BREAK METAL FASCIA (CHARCOAL)
- (M-5) PAINTED (CHARCOAL)
- (M-6) PRE-FINISHED ALUMINUM SPLIT (SILVER)
- (M-7) GLAZING PANEL - VISION GLASS
- (S-1) STONE CLADDING - (OLDER CREEK)
- (S-2) STONE WALL BASE - (OLDER CREEK)
- (E-1) STONE FRONT SYSTEM - FRAME (ANODIZED)
- (P-1) SITE PAINTED - (DARK/COGNAC)
- (P-2) SITE PAINTED - (OLIVE)
- (P-3) SITE PAINTED - (SILVER)
- (E-2) SITE PAINTED - (CHARCOAL)

EXTERIOR KEY NOTES

NOTE: (S) EXISTING (N) NEW (F) FUTURE

- 1) OUTLINE OF EXTERIOR SIGNAGE BY OTHER PROVIDE BLOCKING & POWER.
- 2) SIGN DUCT.
- 3) EXHAUST FAN BEHIND PARAPET TYP.
- 4) GUEST ROOM EXTERIOR GRILL TYP.
- 5) SCUPPER.
- 6) EXTERIOR LIGHT A LT FIXE.
- 7) EXTERIOR LIGHT HALLMARK LIGHTS ON WALL BEYOND.
- 8) REFLECT LINES AS PER MANUFACTURE SPECIFICATION.
- 9) CONDENSER LANTS.
- 10) IRIG OP.



COPYRIGHT LOVICK SCOTT ARCHITECTS LTD. THIS MATERIAL IS AN INSTRUMENT OF SERVICE AND REMAINS AT ALL TIMES THE EXCLUSIVE PROPERTY OF LOVICK SCOTT ARCHITECTS LTD. REPRODUCTION OR USE IN ANY MANNER WITHOUT THE WRITTEN CONSENT AND SIGNATURE OF LOVICK SCOTT ARCHITECTS LTD. INFORMATION SHOWN IS FOR USE IN THE DESIGNATED PROJECT ONLY.

DESIGNED BY: RLS
 PROJECT: ILSA
COURTENAY HOTEL
 310, 320, & 360 HUNT RD.
 COURTENAY, BRITISH COLUMBIA

EXTERIOR ELEVATIONS

PROJECT NUMBER	DRAWING NUMBER
I4-068	A202
SCALE	1:100
DATE	REVISION
AUG 23RD 2014	04/30/20

COURTENAY HOTEL 19-068



VIEW OF FRONT SIDE

LSA
LOVICK
SCOTT
ARCHITECTS

COURTENAY HOTEL
310,320 & 360 HUNT RD., COURTENAY, B.C.



VIEW OF REAR SIDE



LOVICK
SCOTT
ARCHITECTS

HEDGE AT PLANTING - APPROX. 10'-0"

COURTENAY HOTEL
310,320 & 360 HUNT RD., COURTENAY, B.C.

