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REVISIONS:

rev.	date	description
1.	SEPT 21/20	ISSUED FOR COORDINATION
2.	DEC 10/20	ISSUED FOR DP
3.	APRIL 13/21	RE-ISSUED FOR DP
4.	JUNE 7/21	RE-ISSUED FOR DP
5.		
6.		
7.		
8.		
9.		
10.		
11.		
12.		

SEAL:

NOTES:  
THE DRAWINGS ARE NOT TO BE SCALED.  
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THE CONTRACTOR MUST CHECK AND VERIFY ALL DETAILS AND DIMENSIONS OF THE JOB AND BE RESPONSIBLE FOR SAME. REPORTING ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING WORK.  
ALL DRAWINGS, DETAILS AND SPECIFICATIONS ARE TO BE USED FOR CONSTRUCTION ONLY WHEN SIGNED BY ATA ARCHITECTURAL DESIGN.

CONSULTANT:

PROJECT:

PROPOSED APARTMENT  
995 ENGLAND AVE  
COURTENAY, B.C.

SHEET TITLE:

SITE PLAN  
(PROPOSED)

CHECKED BY: ATA

DRAWN BY: TDS

START DATE: 8/24/20

SCALE: AS NOTED

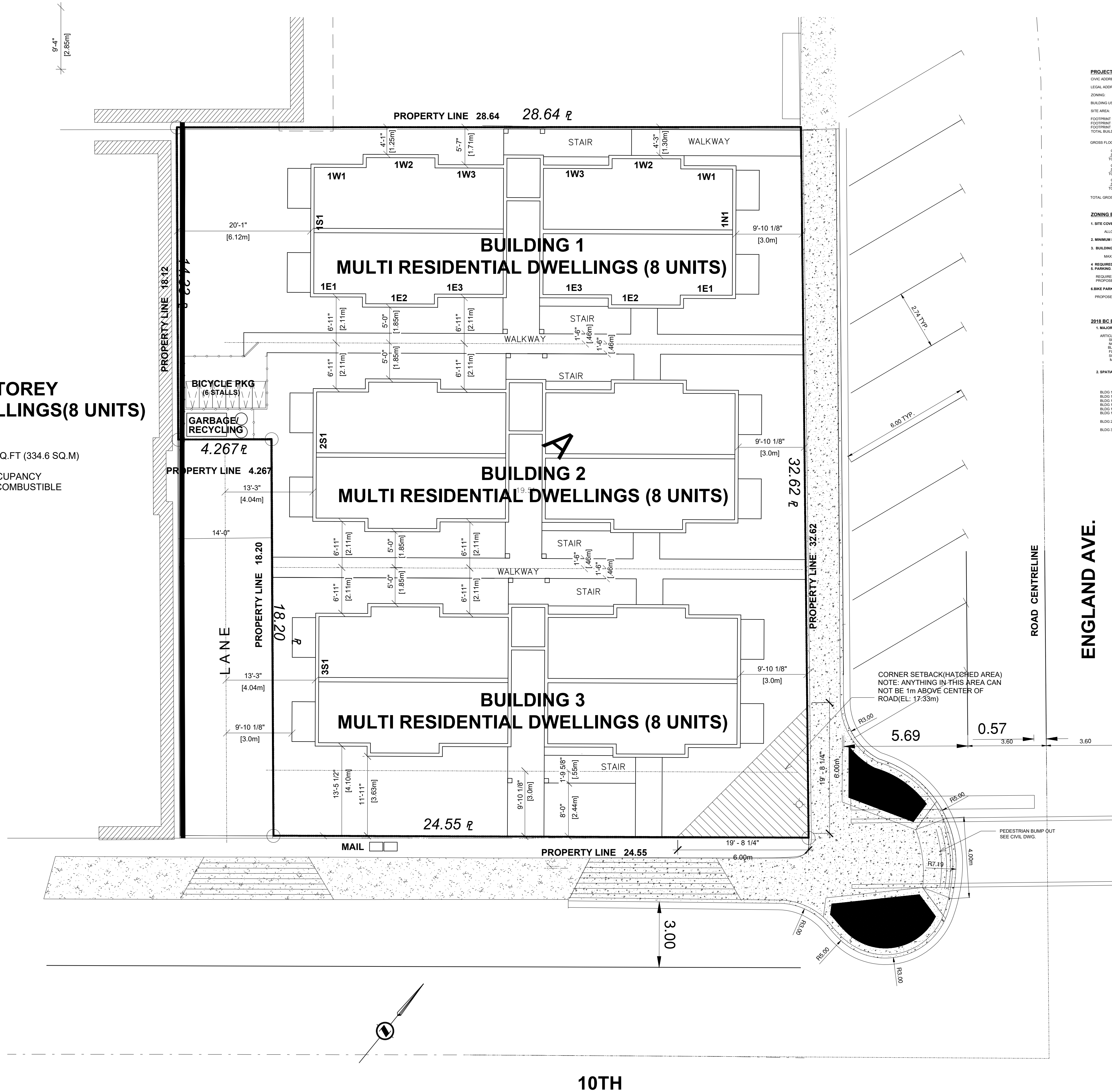
PROJECT NO. DRAWING NO.

19.33 A1.0

PROPOSED 2 STOREY  
MULTI RESIDENTIAL DWELLINGS(8 UNITS)

FFE: 18.37m

BUILDING FOOTPRINT AREA: 3,602 SQ.FT (334.6 SQ.M)  
BCBC 2018  
GROUP C RESIDENTIAL OCCUPANCY  
3.2.2.51 COMBUSTIBLE OR NONCOMBUSTIBLE



**PROJECT INFORMATION**  
CIVIC ADDRESS: 995 ENGLAND AVE, COURTENAY, BC  
LEGAL ADDRESS: LOTA, SECTION 61, COMAR DISTRICT, PLAN 13322  
ZONING: G-1 (COMMERCIAL ONE ZONE)  
BUILDING LINE: GROUP C (RESIDENTIAL DWELLINGS)  
SITE AREA: 8,250 SQ.FT (762.7 SQ.M)  
FOOTPRINT OF BUILDING 1 AREA: 1,830 SQ.FT (170.4 SQ.M)  
FOOTPRINT OF BUILDING 2 AREA: 1,830 SQ.FT (170.4 SQ.M)  
FOOTPRINT OF BUILDING 3 AREA: 1,830 SQ.FT (170.4 SQ.M)  
TOTAL BUILDING FOOTPRINT: 4,980 SQ.FT (461.2 SQ.M)

**GROSS FLOOR AREA**  
GROUND FLOOR BLDG 1: 1,381 SQ.FT (128.2 SQ.M)  
SECOND FLOOR BLDG 1: 1,381 SQ.FT (128.2 SQ.M)  
TOTAL FLOOR AREA BLDG 1: 2,762 SQ.FT (256.4 SQ.M)  
GROUND FLOOR BLDG 2: 1,381 SQ.FT (128.2 SQ.M)  
SECOND FLOOR BLDG 2: 1,381 SQ.FT (128.2 SQ.M)  
TOTAL FLOOR AREA BLDG 2: 2,762 SQ.FT (256.4 SQ.M)  
GROUND FLOOR BLDG 3: 1,381 SQ.FT (128.2 SQ.M)  
SECOND FLOOR BLDG 3: 1,381 SQ.FT (128.2 SQ.M)  
TOTAL FLOOR AREA BLDG 3: 2,762 SQ.FT (256.4 SQ.M)  
TOTAL GROSS FLOOR AREA: 8,116 SQ.FT (754.7 SQ.M)

**ZONING BYLAW ANALYSIS**  
1. SITE COVERAGE: ALLOWABLE SITE COVERAGE: N/A  
2. MINIMUM FLOOR AREA: N/A  
3. BUILDING HEIGHT: MAX ALLOWED: PROPOSED: 12'-0" (3.66m) / 12'-0" (3.66m)  
4. REQUIRED SETBACKS: N/A  
5. PARKING AND LOADING: N/A  
6. BIKE PARKING: PROPOSED: 6 STALLS  
7. BIKE PARKING: PROPOSED: 0 STALLS

**2018 BC BUILDING CODE ANALYSIS (PART 9)**  
1. MAXIMUM OCCUPANCY - GROUP C  
ARTICLE 9.10.1.1  
NO. OF STORIES: NO  
FLOOR SUPPORT: SEE SEPARATION TABLE BELOW  
MAX. BUILDING AREA: 800 SQ.M  
2. SPATIAL SEPARATION - TABLE 9.10.14.4

WALL AREA (SQ.M)	SEPARATION DISTANCE (M)	OPENING ALLOWED	ACTUAL OPENING	REAL CONST.	CLAD CONST.	RATING
BLDG 1W1 16 2.89	11.17	COMB.NON.COMB.NON.COMB.	100%			
BLDG 1W1 23 2.40	10.77	COMB.NON.COMB.NON.COMB.	100%			
BLDG 1E1 14 2.31	14.87	COMB.NON.COMB.NON.COMB.	100%			
BLDG 1E1 14 2.31	14.87	COMB.NON.COMB.NON.COMB.	100%			
BLDG 1E1 14 2.31	14.87	COMB.NON.COMB.NON.COMB.	100%			
BLDG 1E1 14 2.31	14.87	COMB.NON.COMB.NON.COMB.	100%			
BLDG 1E1 14 2.31	14.87	COMB.NON.COMB.NON.COMB.	100%			
BLDG 1E1 14 2.31	14.87	COMB.NON.COMB.NON.COMB.	100%			
BLDG 1E1 14 2.31	14.87	COMB.NON.COMB.NON.COMB.	100%			
BLDG 1E1 14 2.31	14.87	COMB.NON.COMB.NON.COMB.	100%			

ENGLAND AVE.

10TH