



ARDEN GARDENS

COURTENAY, BRITISH COLUMBIA

SUBMITTED FOR:
DEVELOPMENT PERMIT 13/07/2021

PROPOSED SUBDIVISION PLAN OF LOT 1, PLAN 2963, EXCEPT THAT PART IN PLAN 20420, PART OF THAT PART OF LOT 2, PLAN 2963 LYING TO THE NORTH WEST OF A BOUNDARY PARALLEL TO AND PERPENDICULARLY DISTANT 132 FEET FROM THE SOUTH EASTERLY BOUNDARY OF SAID LOT 2, AND THAT PART OF LOT 2, PLAN 2963 LYING TO THE SOUTH EAST OF A BOUNDARY PARALLEL TO AND PERPENDICULARLY DISTANT 132 FEET FROM THE SOUTH EASTERLY BOUNDARY OF SAID LOT 2, ALL OF DISTRICT LOT 96, COMOX DISTRICT

DEVELOPMENT TEAM

DEVELOPER:
SIMBA DEVELOPMENTS
Phone: 250.898.8824
Fax: 250.898.8854
3455 Cumberland Rd.
COURTENAY, B.C.
CONTACT: SHAWN VINCENT

ARCHITECT:
ERIC M NORMAN, ARCHITECT AIBC
Phone: 604.379.2488
5857 17A AVE
TSANWASSEN, B.C.
CONTACT: TODD HANSEN

LANDSCAPE ARCHITECT:
MURDOCH de GREEF Inc
Phone: 604.379.2488
200-524 Culluthel Rd.
VICTORIA, B.C.
CONTACT: SCOTT MURDOCH

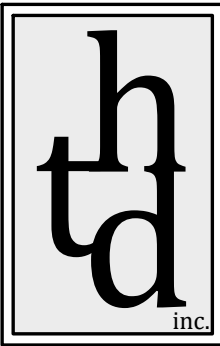
CIVIL ENGINEER:
McELHANNEY
Phone: 250.338.5495
1211 RYAN ROAD
COURTENAY, B.C.
CONTACT: RILEY SHAMBROOK

DRAWING INDEX

ARCHITECTURAL		LANDSCAPE		STRUCTURAL	MECHANICAL	ELECTRICAL	CIVIL
A0.00	COVER SHEET/DRAWING INDEX	A3.01	BLDG # 1 - ELEVATIONS	L0.0	TBD	TBD	C5-001 General Notes and Legend C5-100 Existing Site Plan and Removals C5-101 Overall Site Plan and Removals C5-102 General Servicing Plan C5-103 General Grading Plan C5-500 Erosion and Sediment Control Plan
A0.01	PROJECT DATA	A3.02a	BLDG # 2, 19, 21, 22, 24, 28, 31 - ELEVATIONS	L1.01			
A1.00	SITE PLAN	A3.02b	BLDG # 17, 18, 20, 23, 25, 26, 27, 29, 30 - ELEVATIONS	L1.02			
A2.00	FLOOR PLANS BUILDING #1	A3.03	BUILDING # 3 - ELEVATIONS	L2.00			
A2.01	FLOOR PLANS BUILDING #2	A3.04	BUILDING # 4 - ELEVATIONS	L3.01	TBD	TBD	
A2.02	FLOOR PLANS BUILDING #3	A3.05	BUILDING # 5 - ELEVATIONS	L3.02			
A2.03	FLOOR PLANS BUILDING #4	A3.06	BUILDING # 6 - ELEVATIONS				
A2.04	FLOOR PLANS BUILDING #5	A3.07	BUILDING # 7 - ELEVATIONS				
A2.05	FLOOR PLANS BUILDING #6	A3.08	BUILDING # 8 - ELEVATIONS				
A2.06	FLOOR PLANS BUILDING #7	A3.09	BUILDING # 9 - ELEVATIONS				
A2.07	FLOOR PLANS BUILDING #8	A3.10	BUILDING # 10 - ELEVATIONS				
A2.08	FLOOR PLANS BUILDING #9	A3.11	BUILDING # 11 - ELEVATIONS				
A2.09	FLOOR PLANS BUILDING #10	A3.12	BUILDING # 12 - ELEVATIONS				
A2.10	FLOOR PLANS BUILDING #11	A3.13	BUILDING # 13 - ELEVATIONS				
A3.03	ELEVATIONS BLDG #4 - COLOUR	A3.14	BUILDING # 14 - ELEVATIONS				
A3.10	ELEVATIONS BLDG #11 - COLOUR	A3.15	BUILDING # 15 - ELEVATIONS				
		A3.16	BUILDING # 16 - ELEVATIONS				
		A3.17	MATERIAL BOARD				
A4.0	UNIT PLANS	A4.01	UNIT -D1				
		A4.02	UNIT -D2				
		A4.03	UNIT -D3				
		A4.04	UNIT -D4				
		A4.05	UNIT -E1				
		A4.06	UNIT -E2				
		A4.07	UNIT -F1				
		A4.08	UNIT -F2				
A5.0	DETAILS	A4.09	UNIT -M1/M2				

Eric M. Norman
Architect, A.I.B.C.

in association with



Todd Hansen Designs Inc.
Tel: +1 604 379 2488
info@thdesigns.ca

PROJECT:

ENGLAND OAKS
COURTENAY, B.C.

COPYRIGHT:

These drawings are the property of thd. All rights reserved. Any reproduction in whole or in part, in any form, without the written consent of thd are punishable by law

DRAWING HISTORY

NO.	REVISION DATE:	DESCRIPTION:
7		
6		
5		
4		
3		
2		
1	2021.07.14	TO CLIENT



DISCLAIMER:

Drawings are drawn to scale as indicated and scaling may vary slightly due to reproduction. Verify all dimensions on site prior to commencement of work. Any discrepancies are to be reported immediately to thd prior to construction. In the event of a discrepancy written dimension will take precedence

SCALE
AS NOTED

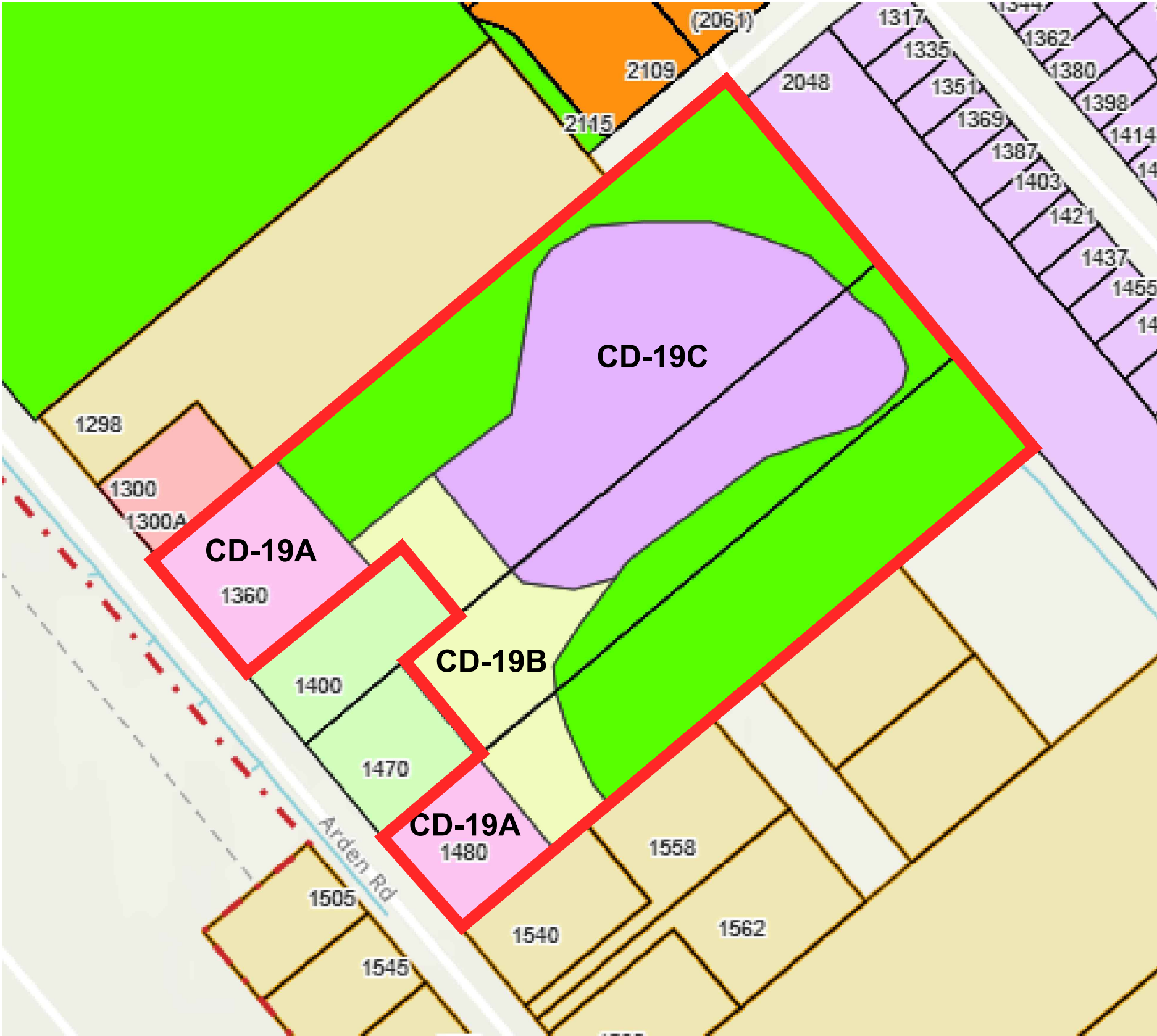
COVER
SHEET

SHEET NO.

A0.00



1 LOCATION MAP
Scale: NTS



2 ZONING MAP
Scale: NTS

PHASE 1 ONLY				
ZONING CLASSIFICATION PROPOSED CD-19 MULTIPLE FAMILY HOUSING DEVELOPMENT				
SITE INFORMATION				
	S.F.	S.M.	ACRES HECTARES	
Site Area Gross	393251.0	36534.2	9.03	3.65
Site Retention Pond,Creek, Wetland Setbacks	220029.0	20441.4	5.05	2.04
Site Area Net	173222.0	16092.8	3.98	1.61

TOTAL AREA CALCULATION (S.M.)											
Unit Type	1ST FLOOR	2ND FLOOR	3RD FLOOR	TOTAL (EXC. GARAGE)	TOT UNITS	TOT AREA	GRG	TOTAL	OVERALL	PKNG TYPE	No. OF PKNG
UNIT A (3 BED)	5.60	69.67	69.67	144.94	3	434.82	52	156	590.82	2 IN	6
UNIT A1 (3 BED)	3.60	69.67	69.67	142.94	1	142.94	52	52	194.94	2 IN	2
UNIT B1 (3 BED)	7.63	61.69	61.74	131.06	5	655.30	64.84	324.2	979.5	2 IN	10
UNIT B2 (3 BED)	7.63	61.69	61.74	131.06	5	655.30	64.84	324.2	979.5	2 IN	10
UNIT B3 (3 BED)	7.63	60.94	62.43	131.00	2	262.00	64.84	129.68	391.68	2 IN	4
UNIT B4 (3 BED)	7.63	60.94	66.14	134.71	2	269.42	64.84	129.68	399.1	2 IN	4
UNIT B5 (3 BED)	7.63	64.84	61.74	134.21	2	268.42	64.84	129.68	398.1	2 IN	4
UNIT B6 (3 BED)	7.63	64.84	66.05	138.52	2	277.04	64.84	129.68	406.72	2 IN	4
UNIT C (2 BED + DEN)	22.58	49.39	46.48	118.45	9	1066.05	26.384	237.4601	1303.5101	1 IN/1 OUT	18
UNIT C1 (2 BED + DEN)	22.58	49.39	46.48	118.45	3	355.35	26.384	79.15336	434.50336	1 IN/1 OUT	6
UNIT D (2 BED + DEN)	20.57	45.89	45.89	112.35	22	2362.99	26.384	527.689	2890.6768	1 IN/1 OUT	44
UNIT E (MICRO UNIT)	29			29	3	87.00			87	ON SITE	0
UNIT E1 (MICRO UNIT)	29			29	10	290.00			290	ON SITE	0
UNIT E2 (MICRO UNIT)	29			29	9	261.00			261	ON SITE	0
UNIT F (MICRO UNIT)	29			29	1	29.00			29	ON SITE	0
TOTAL MICROS					23						
TOTAL TOWNHOMES					56						
TOTAL UNITS					79	6836.63		2219.42	9636.05		112

GROSS FLOOR AREA (EXCLUDING DEDICATIONS)	
PERMITTED GFA (NET)	0.4 14613.68
PROPOSED GFA (NET)	0.19 6836.63

UNITS PER ACRE (U.P.H.)	
	19.87 UNITS

PARKING STATISTICS		
REQUIRED		
REQUIRED RESIDENT PARKING	1.5 /UNIT	118.5
REQUIRED VISITOR PARKING	10% OF REQ.	11.9
TOTAL REQUIRED		130.4

PROPOSED		
PROPOSED RESIDENT PARKING (2 IN)		44.0
PROPOSED RESIDENT PARKING (1 IN/1 OUT)		68.0
PROPOSED ADDITIONAL RESIDENT PARKING		15.0
PROPOSED VISITOR PARKING		12.0
TOTAL PROPOSED		139

CD-19A	
BUILDING HEIGHT	
PERMITTED - 3 STOREY OR 10M	
PROPOSED - 3 STOREY	

# OF DWELLINGS	ALLOWED	PROPOSED	BUILDING #	BLDG COVERAGE
MAXIMUM # OF DEWELLINGS	16	15	1	245 SQM
			2	342 SQM
			3	286 SQM
SET BACKS	REQUIRED	PROPOSED		
FRONT SETBACK	7.5 M.	7.5 M.		
REAR SETBACK	9 M.	9 M.		
SIDE YARD SETBACK	4.5 M.	4.5 M.	TOTAL COVERAGE	873 SQM

CD-19B	
BUILDING HEIGHT	
PERMITTED - 3 STOREY OR 10M	
PROPOSED - 3 STOREY	

# OF DWELLINGS	ALLOWED	PROPOSED	BUILDING #	BLDG COVERAGE
MAXIMUM # OF DEWELLINGS	18	16	4	464 SQM
			5	286 SQM
			6	286 SQM
SET BACKS	REQUIRED	PROPOSED		
FRONT SETBACK	7.5 M.	7.5 M.		
REAR SETBACK	4.5 M.	4.5 M.		
SIDE YARD SETBACK	4.5 M.	4.5 M.	TOTAL COVERAGE	1036 SQM

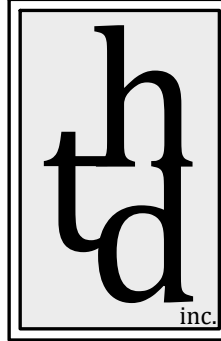
CD-19C	
BUILDING HEIGHT	
PERMITTED - 13m	
PROPOSED - 11m	

# OF DWELLINGS	ALLOWED	PROPOSED	BUILDING #	BLDG COVERAGE
MAXIMUM # OF DEWELLINGS	72	49	7	340 SQM
			8	489 SQM
			9	611 SQM
			10	245 SQM
			11	337 SQM
			TOTAL COVERAGE	2022 SQM
SET BACKS	REQUIRED	PROPOSED		
FRONT SETBACK	7.5 M.	7.5 M.		
REAR SETBACK	6 M.	6 M.		
SIDE YARD SETBACK	4.5 M.	4.5 M.		

3 DATA SHEET
Scale: NTS

Eric M. Norman
Architect, A.I.B.C.

in association with



Todd Hansen Designs Inc.
Tel: +1 604 379 2488
info@thdesigns.ca

PROJECT:

ENGLAND OAKS
COURTENAY, B.C.

COPYRIGHT:

These drawings are the property of thd.
All rights reserved. Any reproduction in
whole or in part, in any form, without the
written consent of thd are punishable by
law

DRAWING HISTORY

NO.	REVISION DATE	DESCRIPTION:
7		
6		
5		
4		
3		
2		
1	2021.07.14	TO CLIENT



DISCLAIMER:

Drawings are drawn to scale as indicated
and scaling may vary slightly due to
reproduction. Verify all dimensions on site
prior to commencement of work. Any
discrepancies are to be reported
Immediately to thd prior to construction.
In the event of a discrepancy
written dimension will take precedence

SCALE

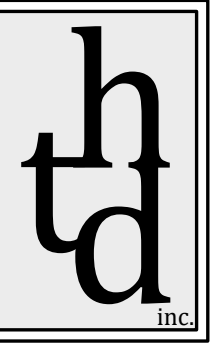
AS NOTED

COVER SHEET

SHEET NO.

A0.00

Eric M. Norman
Architect, A.I.B.C.
in association with



Todd Hansen Designs Inc.
Tel: +1 604 379 2488
info@thdesigns.ca

PROJECT:
ARDEN GARDENS
COURTENAY, B.C.

COPYRIGHT:
These drawings are the property of thd.
All rights reserved. Any reproduction in
whole or in part, in any form, without the
written consent of thd are punishable by
law

DRAWING HISTORY

NO.	REVISION	DATE	DESCRIPTION:
7			
6			
5			
4	2021.07.13		DP SUBMISSION
3	2021.03.17		TO CLIENT
2	2021.03.01		FOR CITY DISC.
1	2021.02.27		TO CLIENT



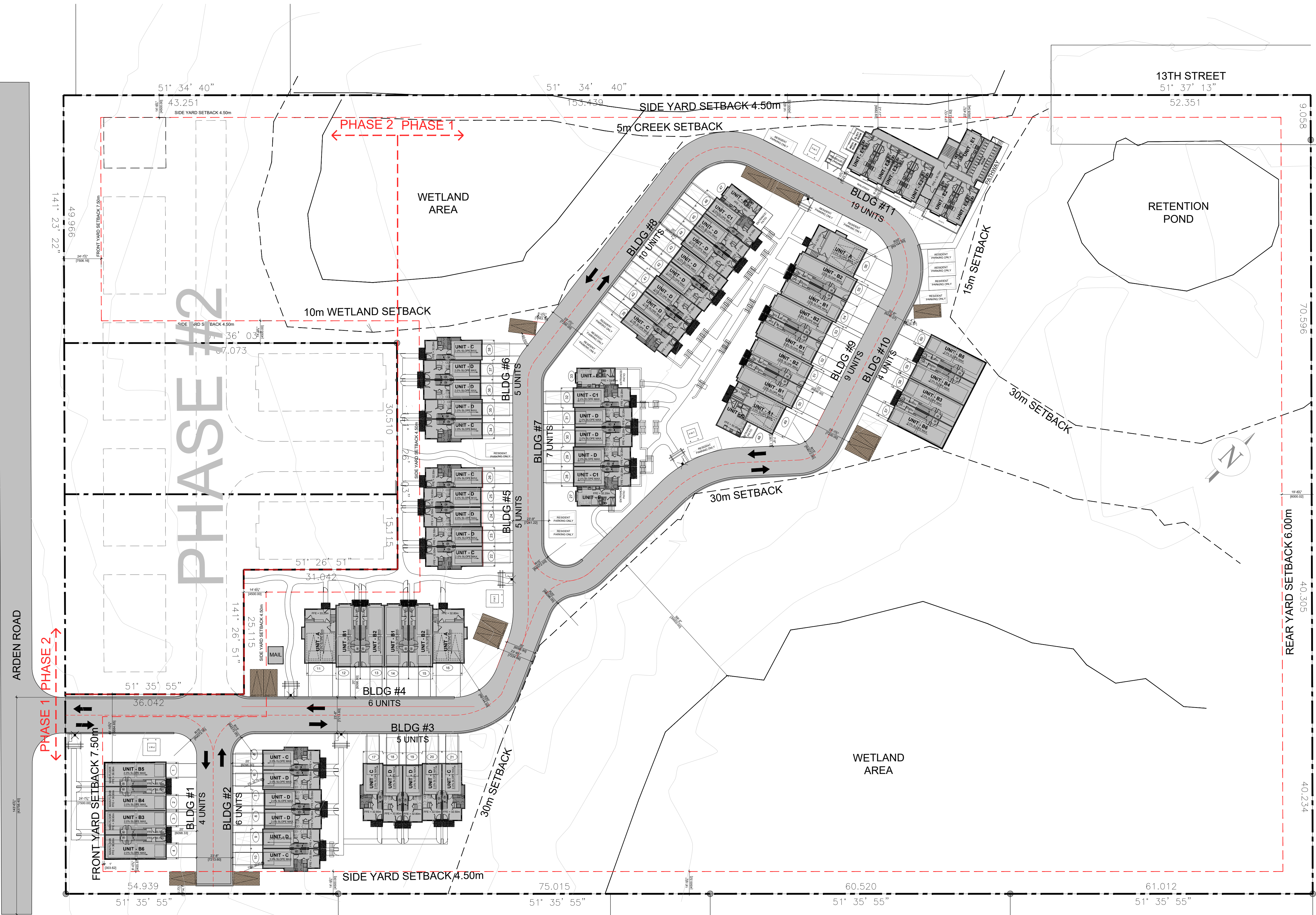
DISCLAIMER:
Drawings are drawn to scale as indicated
and scaling may vary slightly due to
reproduction. Verify all dimensions on site
prior to commencement of work. Any
discrepancies are to be reported
Immediately to thd prior to construction.
In the event of a discrepancy
written dimension will take precedence

SCALE
AS NOTED

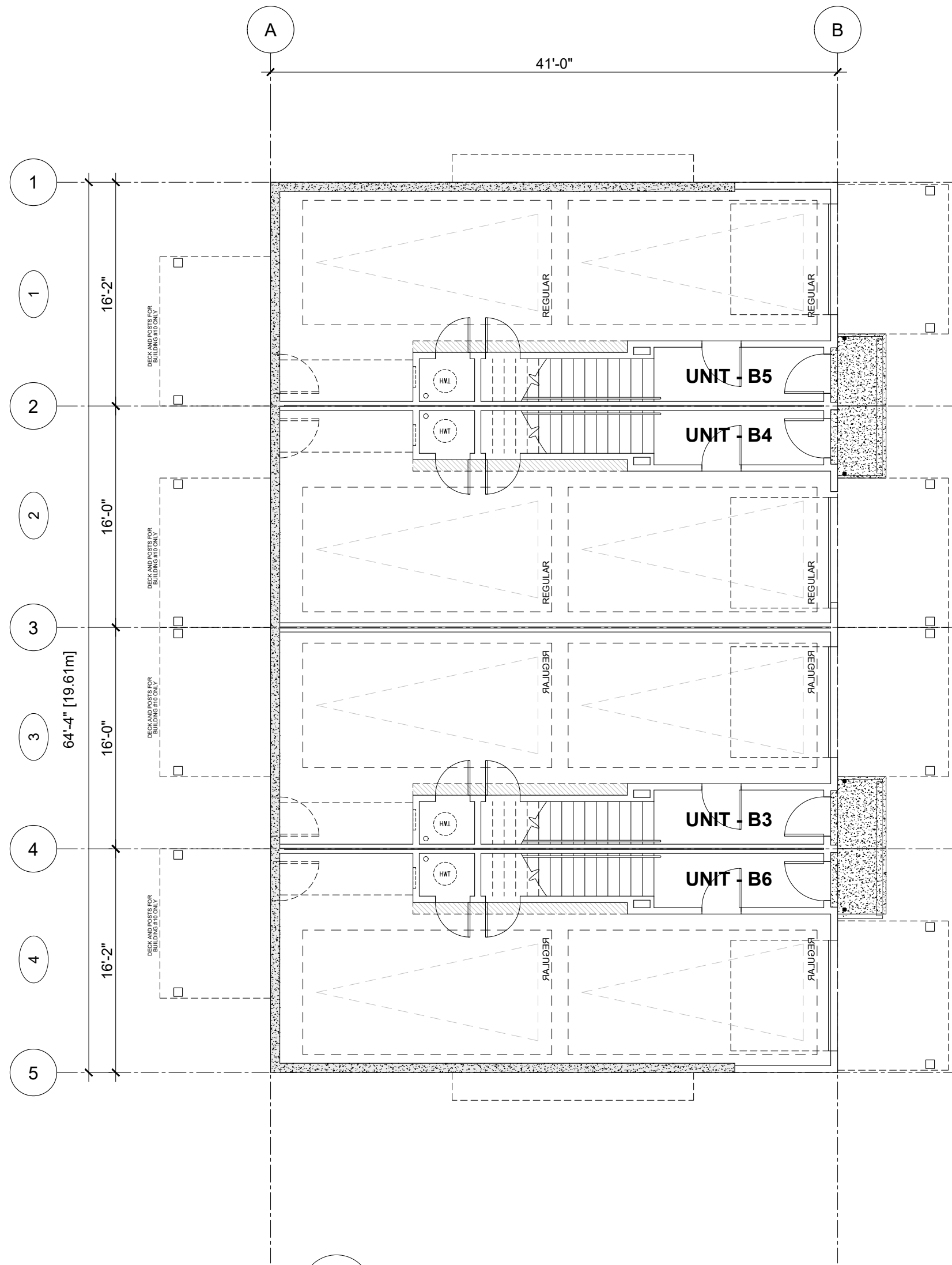
SITE PLAN

SHEET NO.

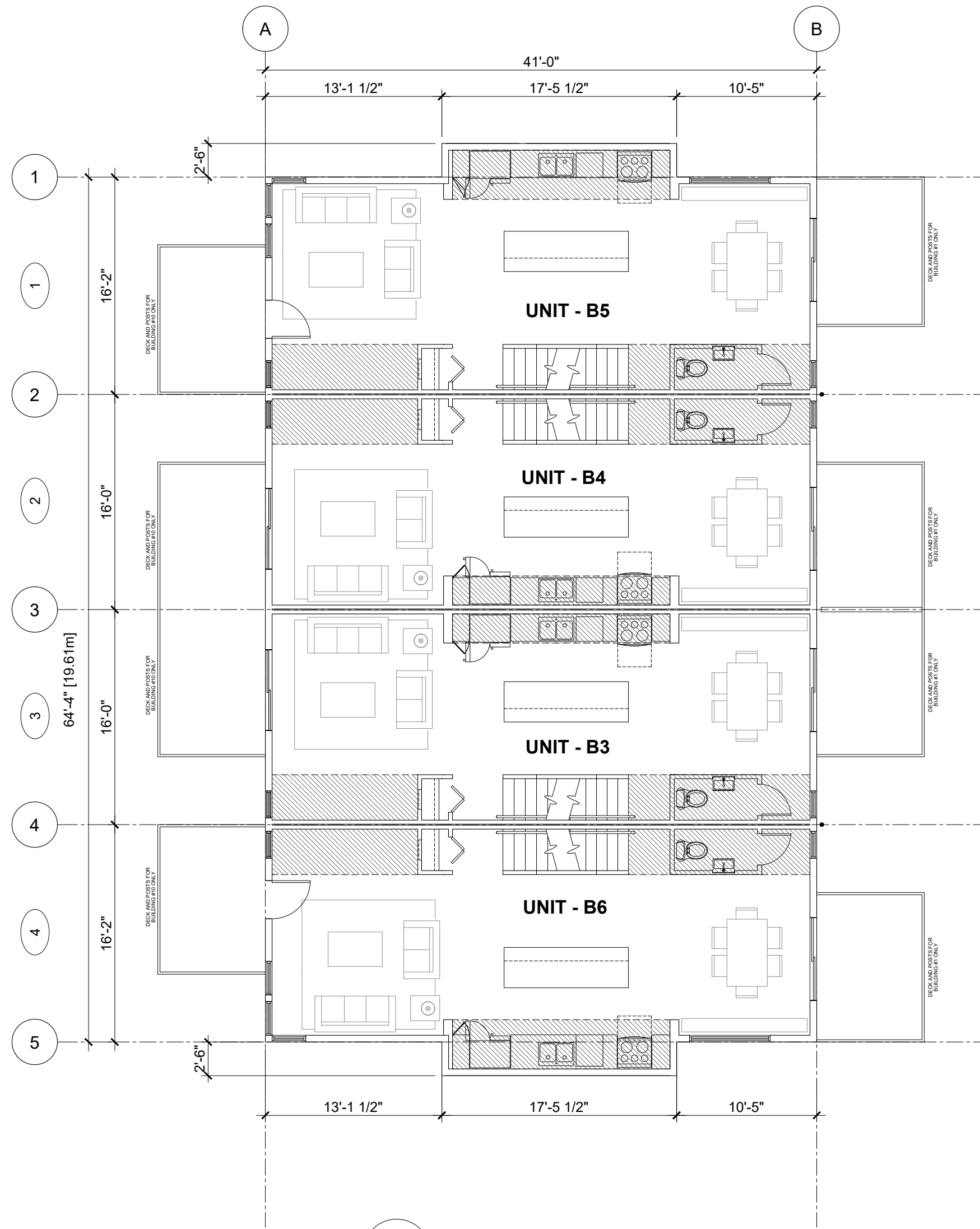
A1.00



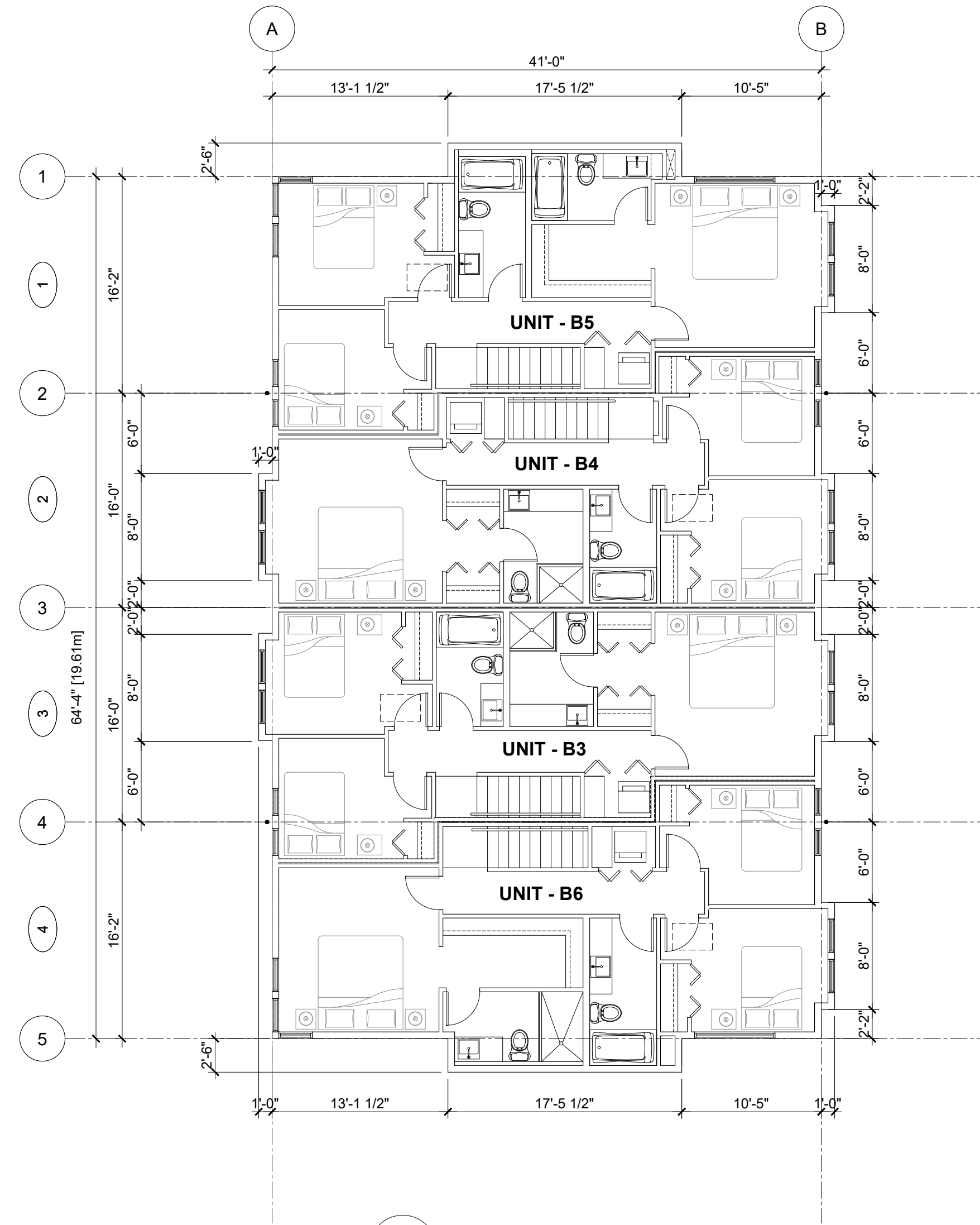
1 SITE PLAN
Scale: 1/32" = 1'-0"



1 GROUND FLOOR PLAN
A-2.01a Scale: 1/8" = 1'-0"



2 MAIN FLOOR PLAN
A-2.01a Scale: 1/8" = 1'-0"

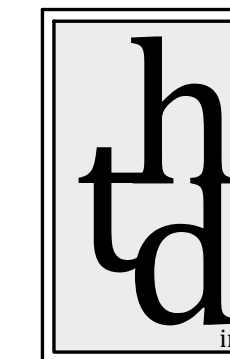


3 UPPER FLOOR PLAN
A-2.01a Scale: 1/8" = 1'-0"

- BUILDING 1 AREAS:		S.F.	S.M.
- GROUND FLOOR		346.48	32.19
- MAIN FLOOR		2,725.31	253.19
- UPPER FLOOR		2,773.07	257.63
- AREA TOTAL =		5,844.86	543.01

Eric M. Norman
Architect, A.I.B.C.

in association with



Todd Hansen Designs Inc.
Tel: +1 604 379 2488
info@thdesigns.ca

PROJECT:

ARDEN GARDENS
COURTENAY, B.C.

COPYRIGHT:

These drawings are the property of thd.
All rights reserved. Any reproduction in
whole or in part, in any form, without the
written consent of thd are punishable by
law

DRAWING HISTORY

NO	REVISION DATE:	DESCRIPTION:
7		
6		
5		
4	2021.07.13	DP SUBMISSION
3	2021.03.17	TO CLIENT
2	2021.03.01	FOR CITY DISC.
1	2021.02.27	TO CLIENT



DISCLAIMER:

Drawings are drawn to scale as indicated
and scaling may vary slightly due to
reproduction. Verify all dimensions on site
prior to commencement of work. Any
discrepancies are to be reported
Immediately to thd prior to construction.
In the event of a discrepancy
written dimension will take precedence

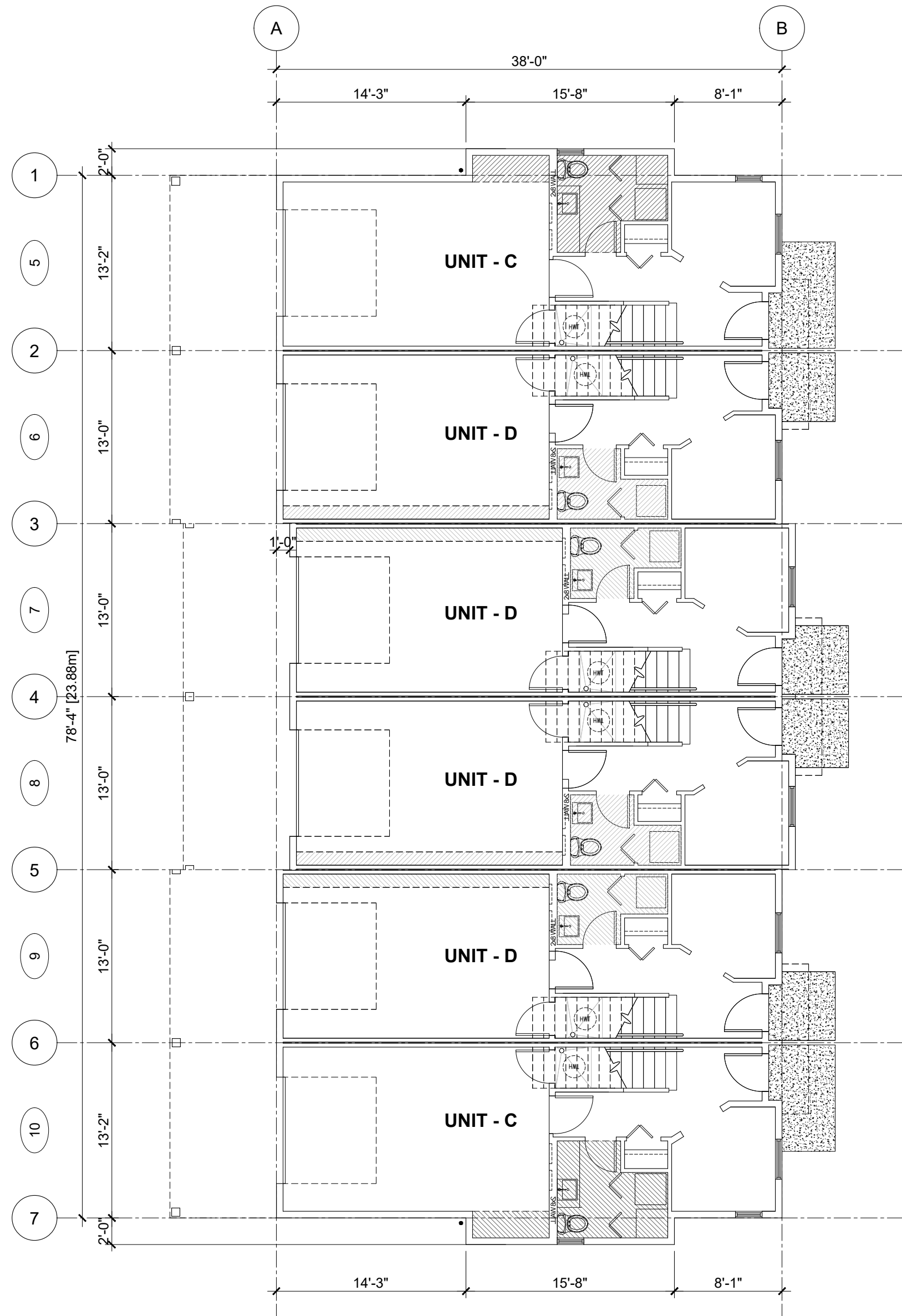
SCALE

AS NOTED

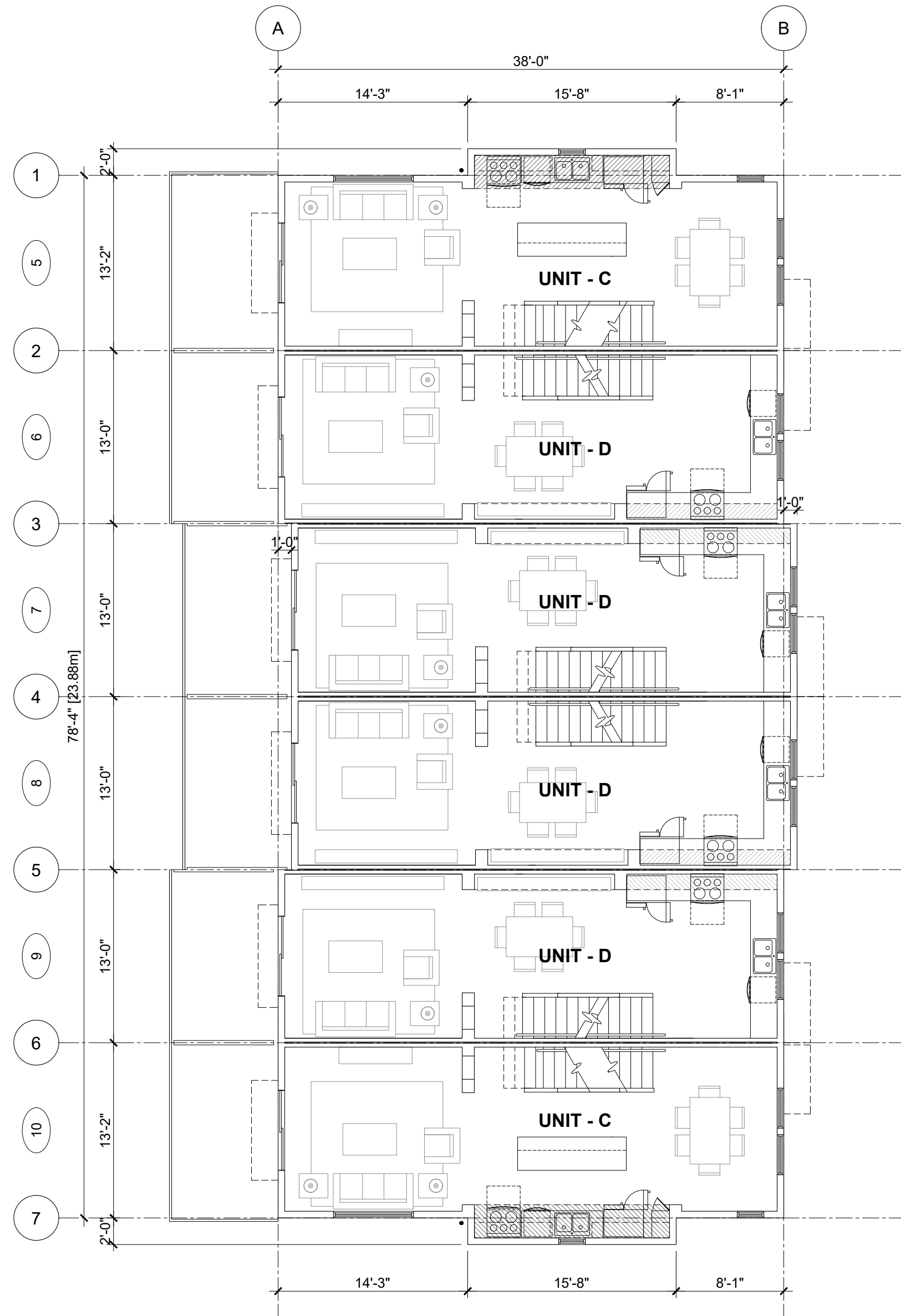
BUILDING #1 FLOOR PLANS

SHEET NO.

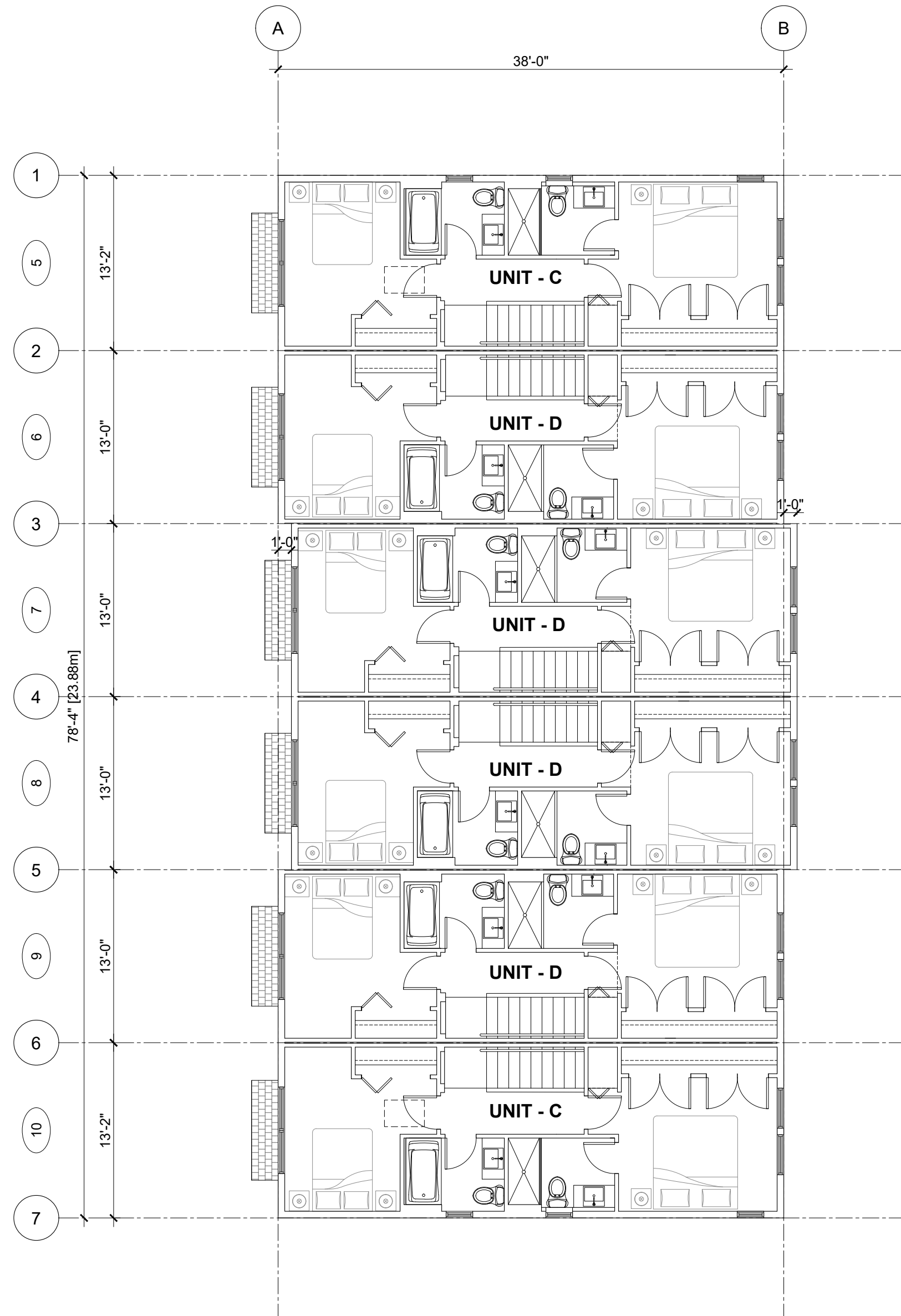
A-2.01a



1 GROUND FLOOR PLAN
A-2.02a Scale: 1/8" = 1'-0"



2 MAIN FLOOR PLAN
A-2.02a Scale: 1/8" = 1'-0"

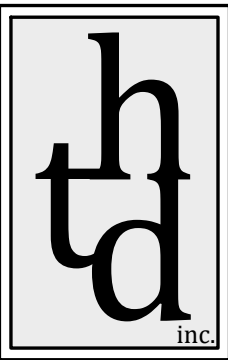


3 UPPER FLOOR PLAN
A-2.02a Scale: 1/8" = 1'-0"

- BUILDING 2 AREAS:		S.F.	S.M.
- GROUND FLOOR		1,267.11	117.72
- MAIN FLOOR		3,041.11	282.53
- UPPER FLOOR		2,977.33	276.60
- AREA TOTAL =		7,285.55	676.85

Eric M. Norman
Architect, A.I.B.C.

in association with



Todd Hansen Designs Inc.
Tel: +1 604 379 2488
info@thdesigns.ca

PROJECT:

ARDEN GARDENS
COURTENAY, B.C.

COPYRIGHT:

These drawings are the property of thd.
All rights reserved. Any reproduction in
whole or in part, in any form, without the
written consent of thd are punishable by
law

DRAWING HISTORY

NO	REVISION DATE:	DESCRIPTION:
7		
6		
5		
4	2021.07.13	DP SUBMISSION
3	2021.03.17	TO CLIENT
2	2021.03.01	FOR CITY DISC.
1	2021.02.27	TO CLIENT



DISCLAIMER:

Drawings are drawn to scale as indicated
and scaling may vary slightly due to
reproduction. Verify all dimensions on site
prior to commencement of work. Any
discrepancies are to be reported
Immediately to thd prior to construction.
In the event of a discrepancy
written dimension will take precedence

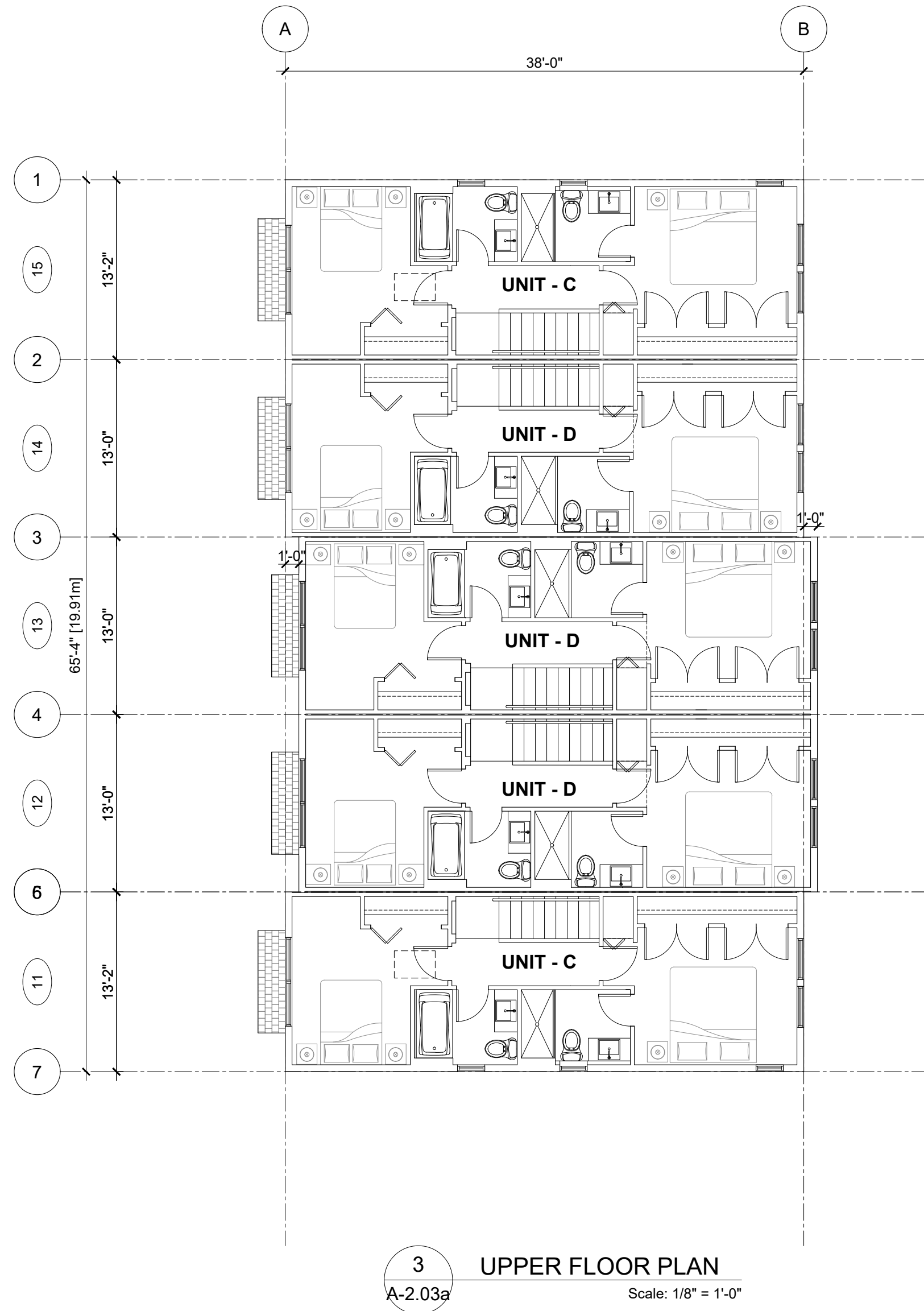
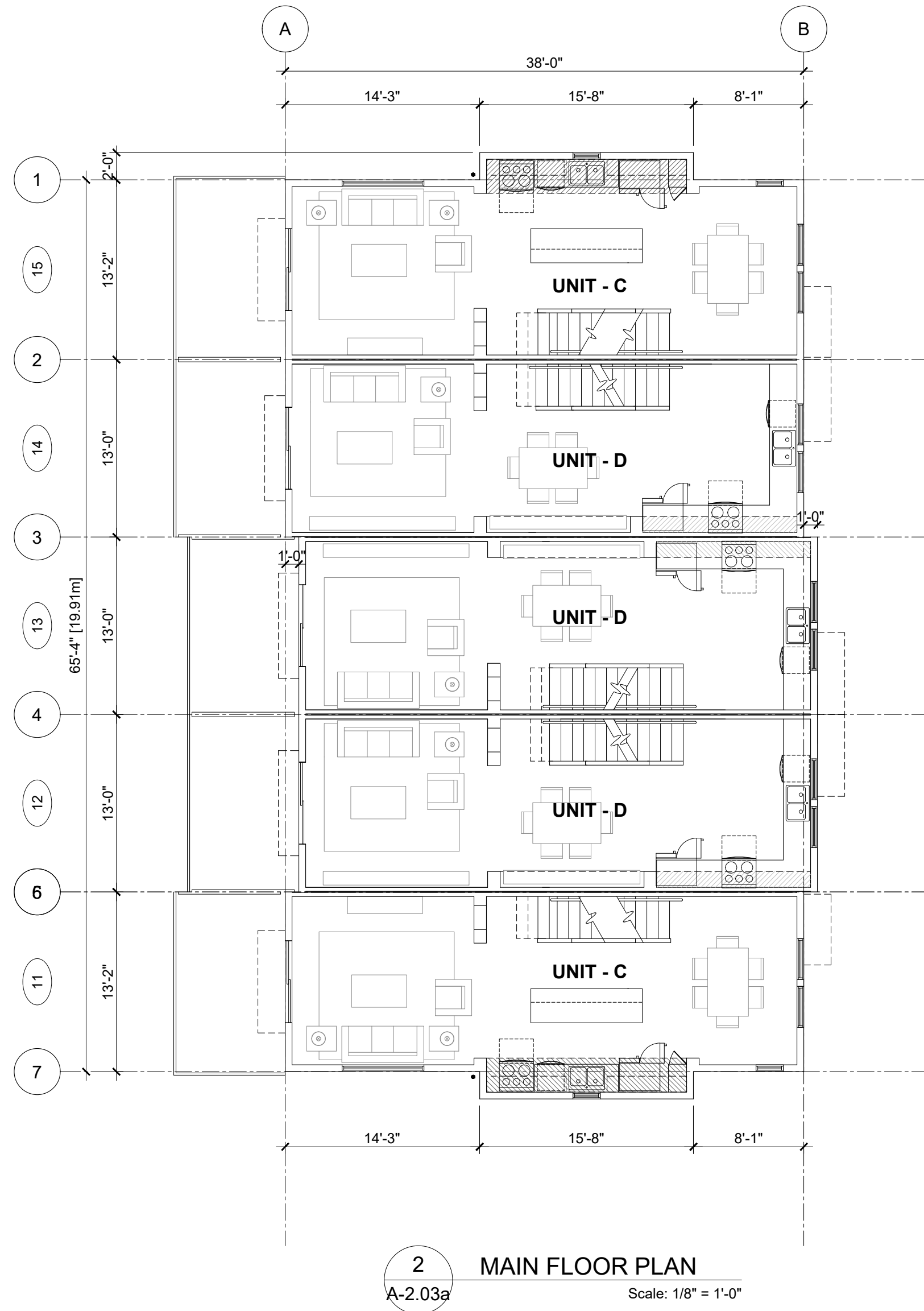
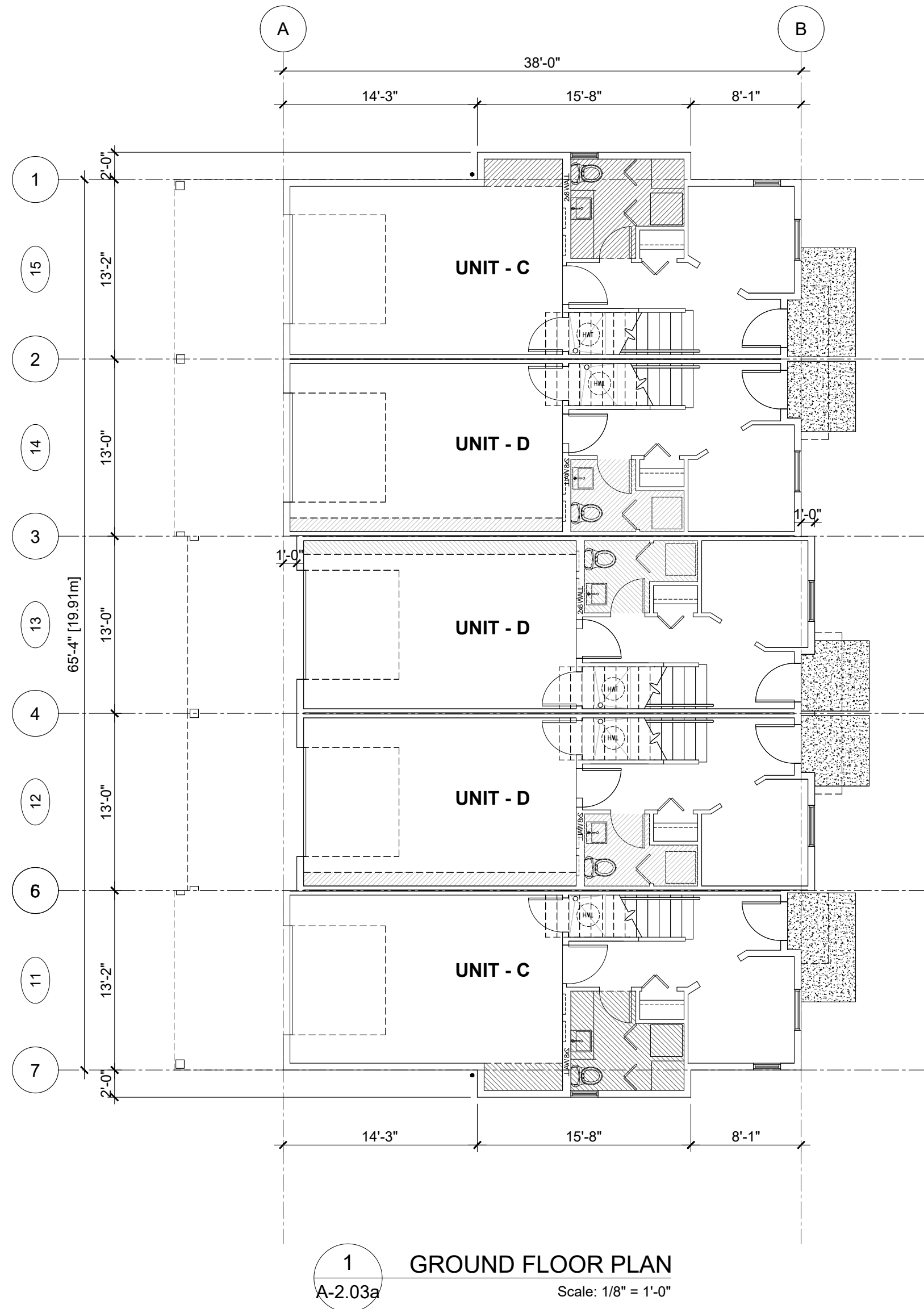
SCALE

AS NOTED

**BUILDING #2
FLOOR PLANS**

SHEET NO.

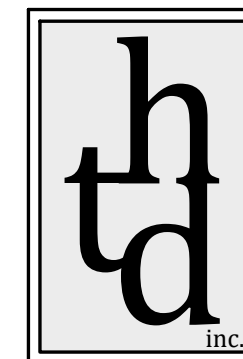
A-2.02a



- BUILDING 3 AREAS:		S.F.	S.M.
- GROUND FLOOR		1,062.95	98.75
- MAIN FLOOR		2,546.92	236.62
- UPPER FLOOR		2,484.20	230.79
- AREA TOTAL =		6,094.07	566.16

Eric M. Norman
Architect, A.I.B.C.

in association with



Todd Hansen Designs Inc.
Tel: +1 604 379 2488
info@thdesigns.ca

PROJECT:

ARDEN GARDENS
COURTENAY, B.C.

COPYRIGHT:

These drawings are the property of thd.
All rights reserved. Any reproduction in
whole or in part, in any form, without the
written consent of thd are punishable by
law

DRAWING HISTORY

NO	REVISION DATE	DESCRIPTION
7		
6		
5		
4	2021.07.13	DP SUBMISSION
3	2021.03.17	TO CLIENT
2	2021.03.01	FOR CITY DISC.
1	2021.02.27	TO CLIENT



DISCLAIMER:

Drawings are drawn to scale as indicated
and scaling may vary slightly due to
reproduction. Verify all dimensions on site
prior to commencement of work. Any
discrepancies are to be reported
Immediately to thd prior to construction.
In the event of a discrepancy
written dimension will take precedence

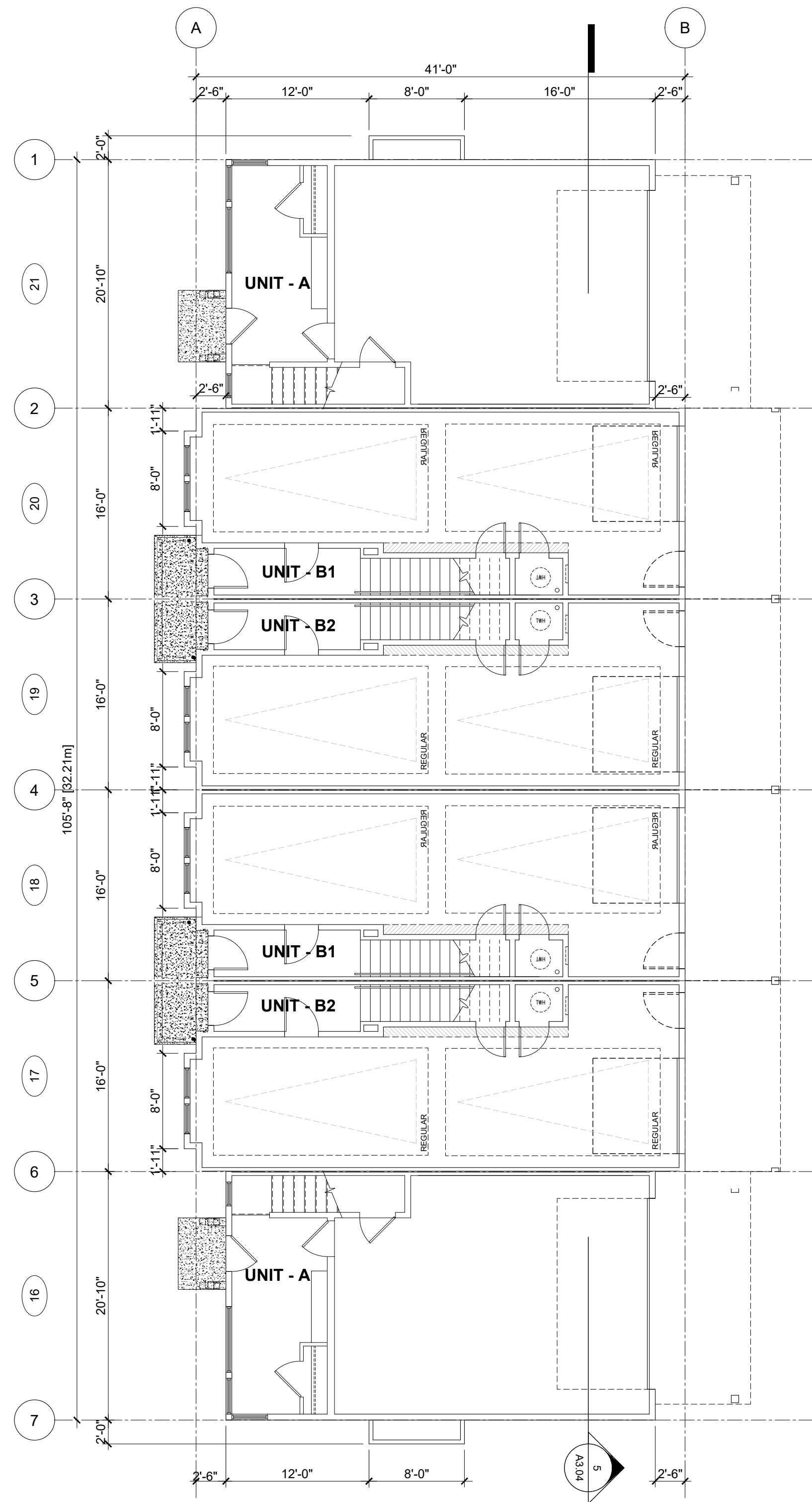
SCALE

AS NOTED

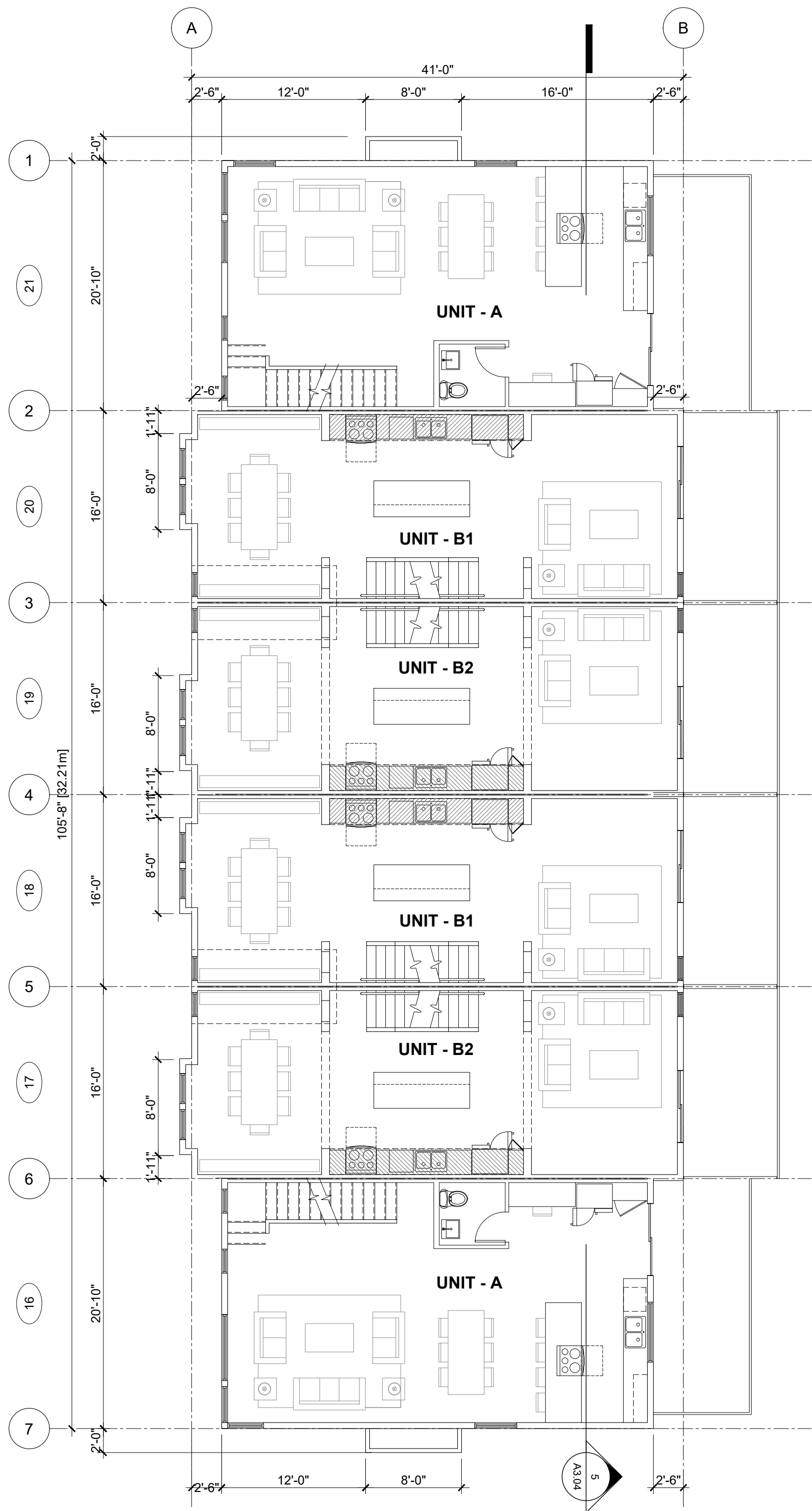
**BUILDING #3
FLOOR PLANS**

SHEET NO.

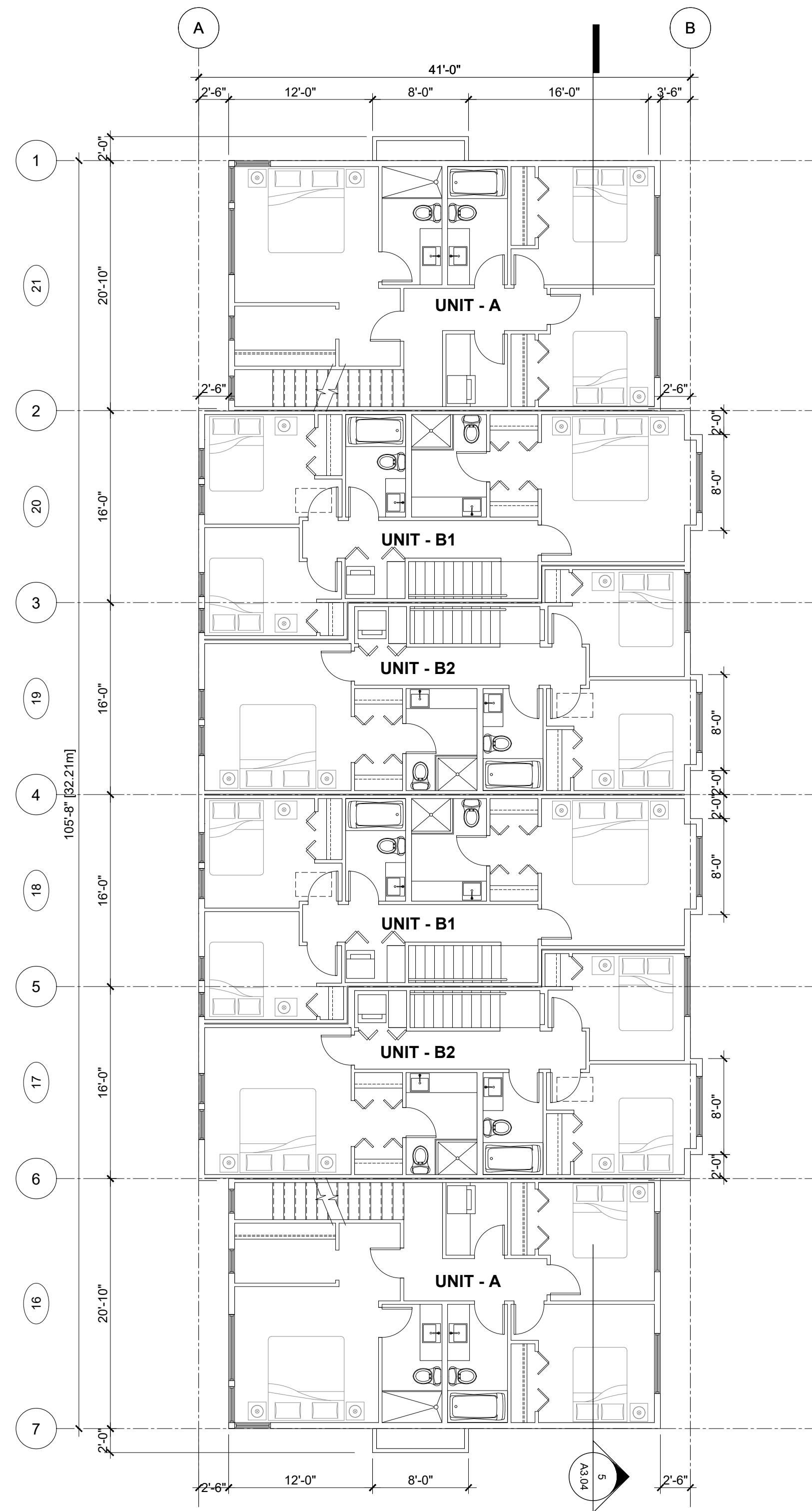
A-2.03a



1 GROUND FLOOR PLAN
A-2.04a Scale: 1/8" = 1'-0"



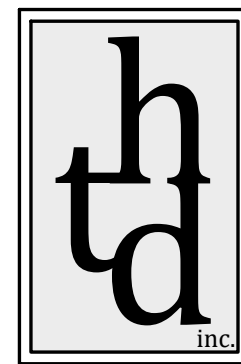
2 MAIN FLOOR PLAN
A-2.04a Scale: 1/8" = 1'-0"



3 UPPER FLOOR PLAN
A-2.04a Scale: 1/8" = 1'-0"

- BUILDING 4 AREAS:	S.F.	S.M.
- GROUND FLOOR	723.16	67.18
- MAIN FLOOR	4,158.36	386.32
- UPPER FLOOR	4,158.92	386.38
- AREA TOTAL =	9,040.44	839.88

Eric M. Norman
Architect, A.I.B.C.
in association with



Todd Hansen Designs Inc.
Tel: +1 604 379 2488
info@thdesigns.ca

PROJECT:
ARDEN GARDENS
COURTENAY, B.C.

COPYRIGHT:
These drawings are the property of thd.
All rights reserved. Any reproduction in
whole or in part, in any form, without the
written consent of thd are punishable by
law

DRAWING HISTORY

NO	REVISION DATE	DESCRIPTION
7		
6		
5		
4	2021.07.13	DP SUBMISSION
3	2021.03.17	TO CLIENT
2	2021.03.01	FOR CITY DISC.
1	2021.02.27	TO CLIENT



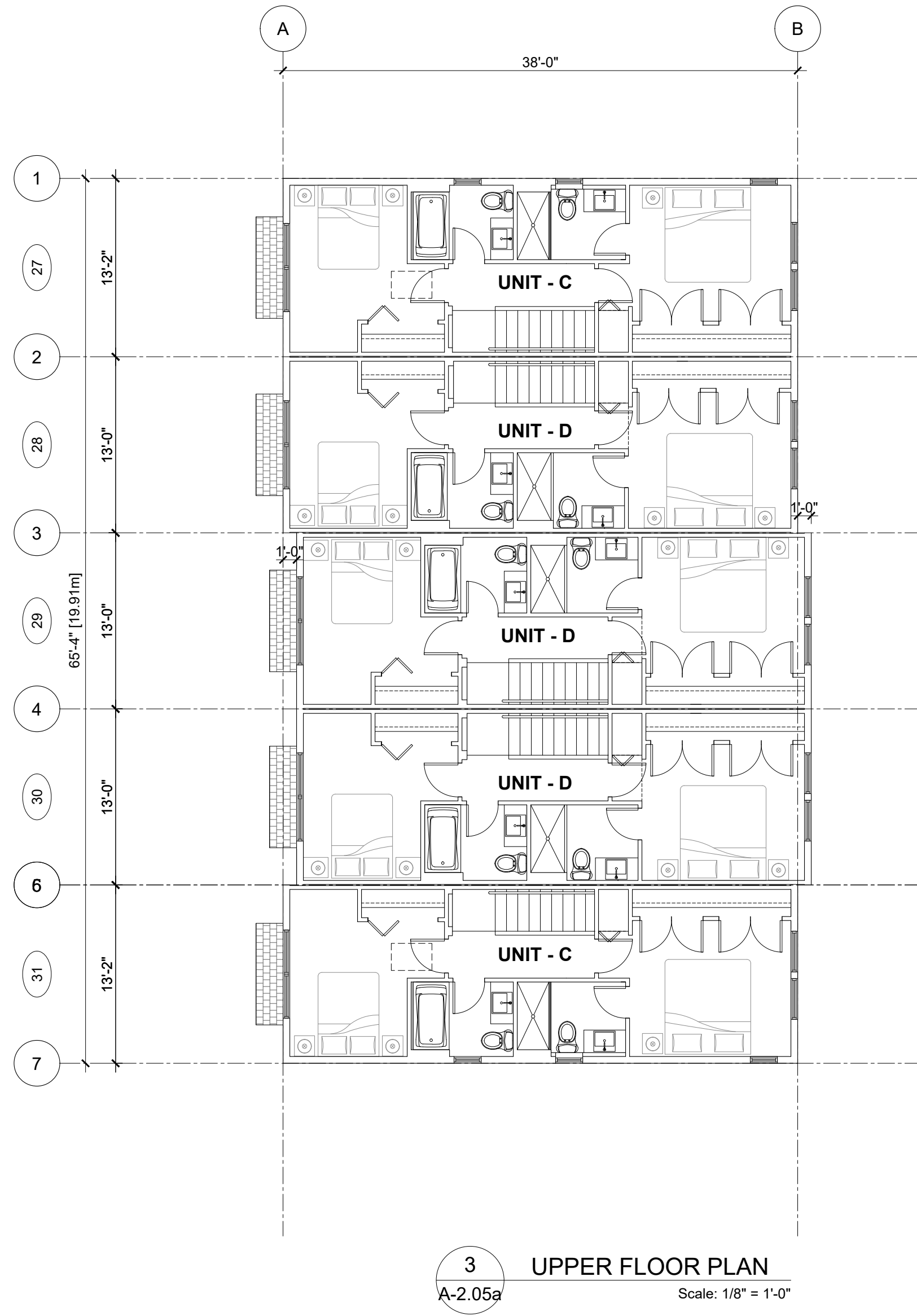
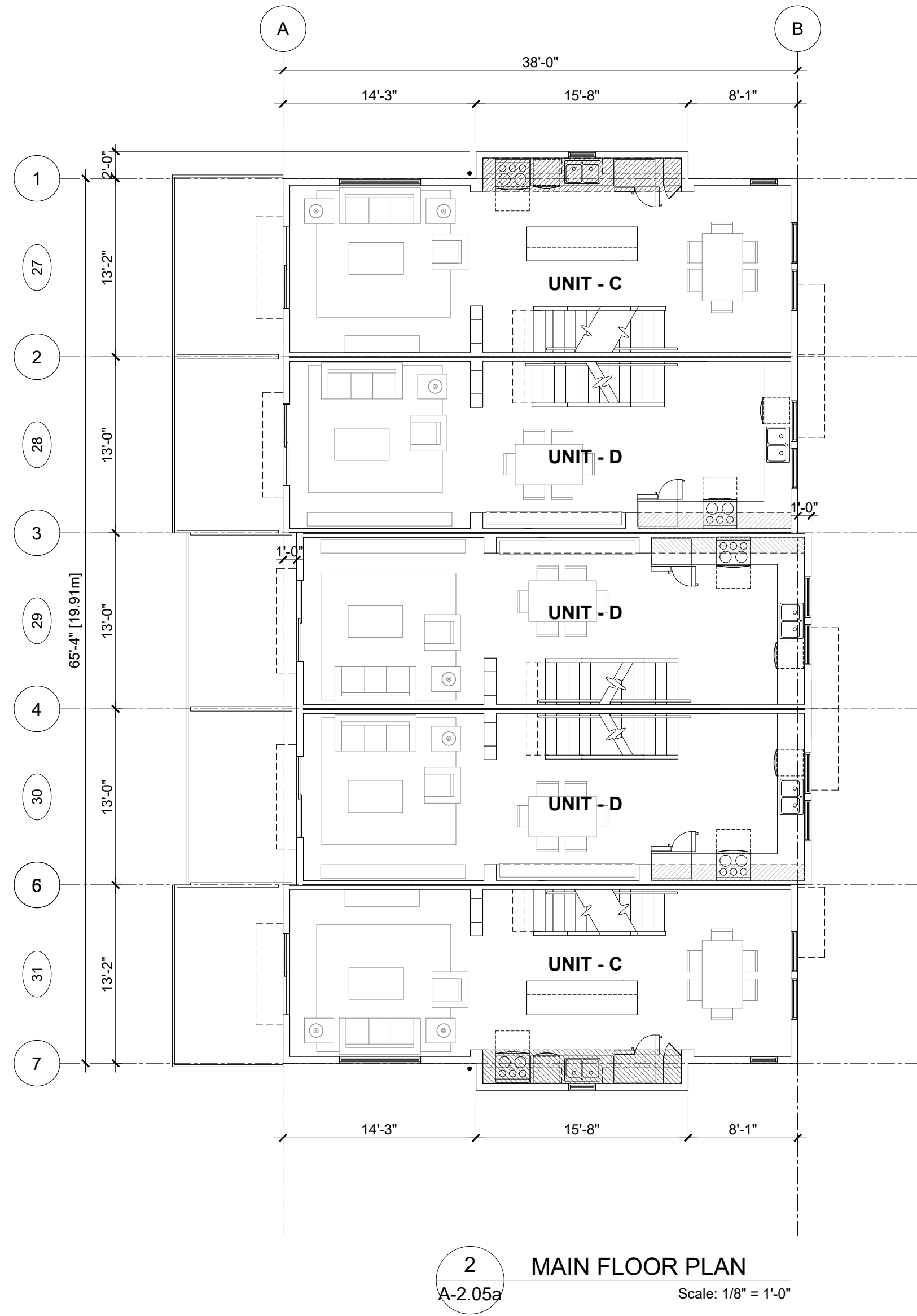
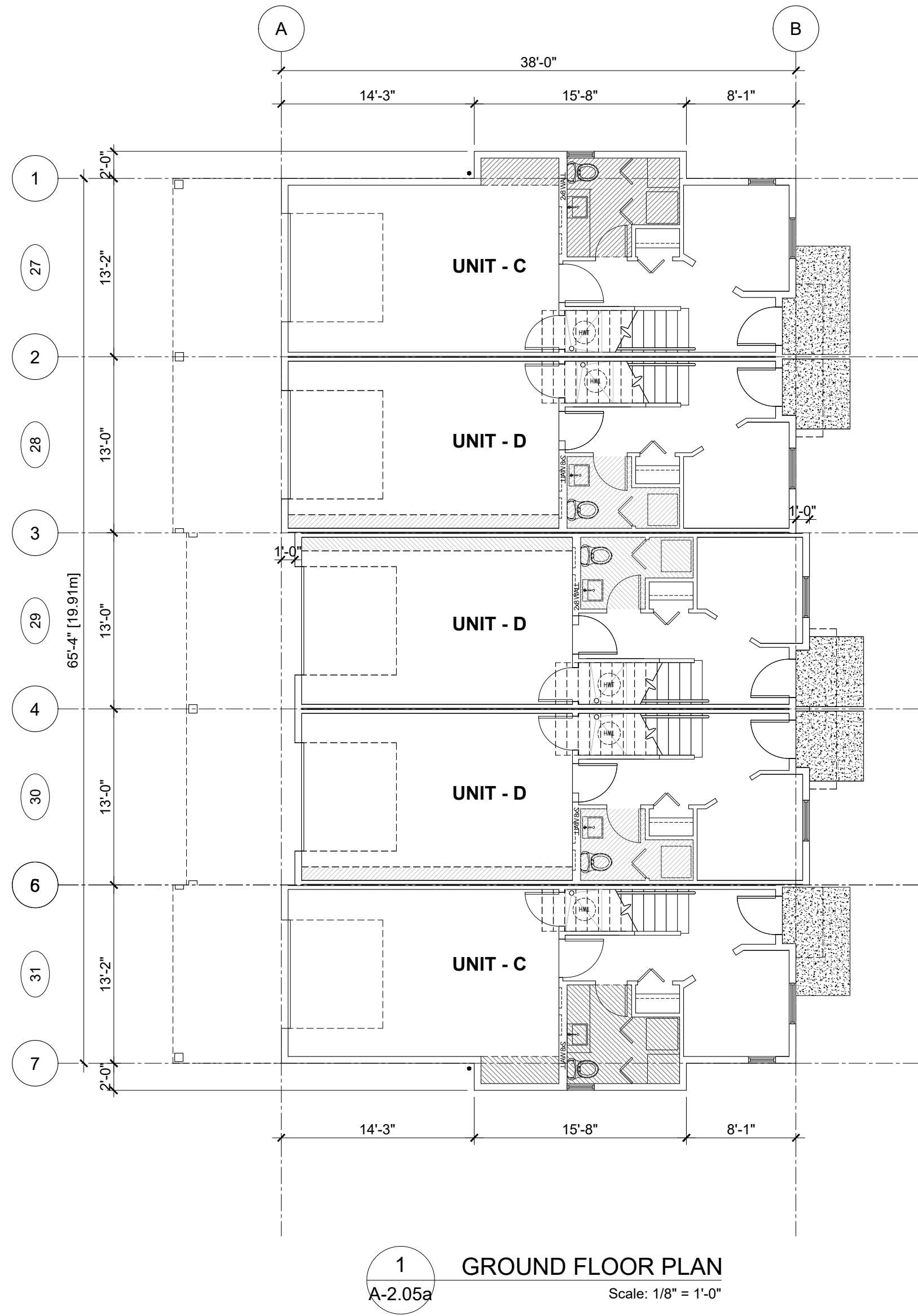
DISCLAIMER:
Drawings are drawn to scale as indicated
and scaling may vary slightly due to
reproduction. Verify all dimensions on site
prior to commencement of work. Any
discrepancies are to be reported
Immediately to thd prior to construction.
In the event of a discrepancy
written dimension will take precedence

SCALE
AS NOTED

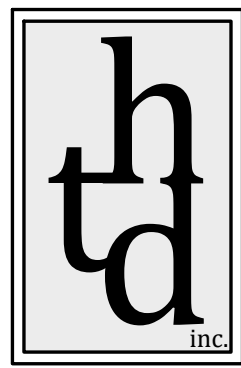
BUILDING #4
FLOOR PLANS

SHEET NO.

A-2.04a



- BUILDING 6 AREAS:		S.F.	S.M.
- GROUND FLOOR		1,062.95	98.75
- MAIN FLOOR		2,546.92	236.62
- UPPER FLOOR		2,484.20	230.79
- AREA TOTAL =		6,094.07	566.16

Eric M. Norman
Architect, A.I.B.C.
in association with

Todd Hansen Designs Inc.
Tel: +1 604 379 2488
info@thdesigns.ca

PROJECT:
ARDEN GARDENS
COURTENAY, B.C.

COPYRIGHT:
These drawings are the property of thd.
All rights reserved. Any reproduction in
whole or in part, in any form, without the
written consent of thd are punishable by
law

DRAWING HISTORY		
NO	REVISION DATE	DESCRIPTION
7		
6		
5		
4	2021.07.13	DP SUBMISSION
3	2021.03.17	TO CLIENT
2	2021.03.01	FOR CITY DISC.
1	2021.02.27	TO CLIENT

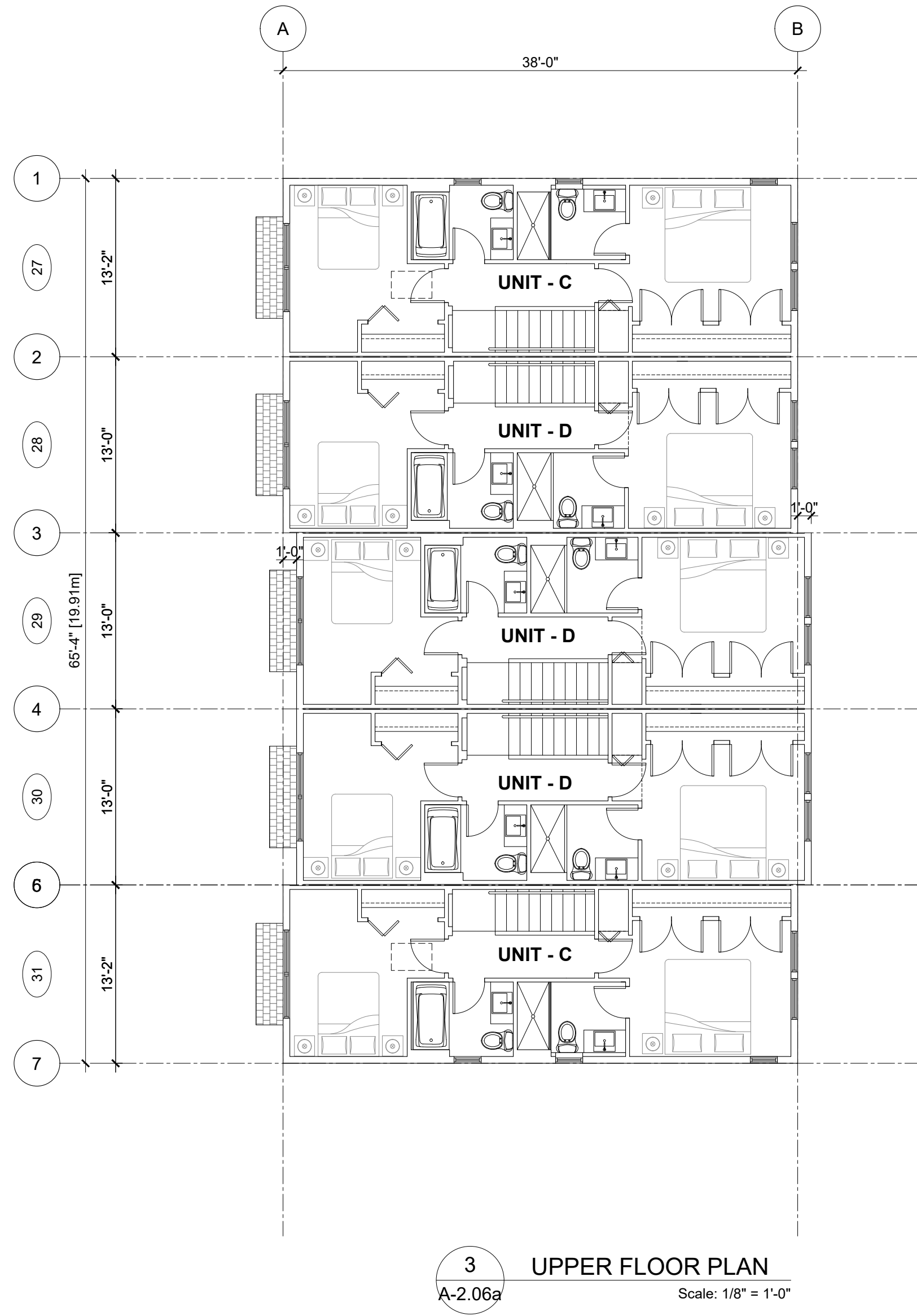
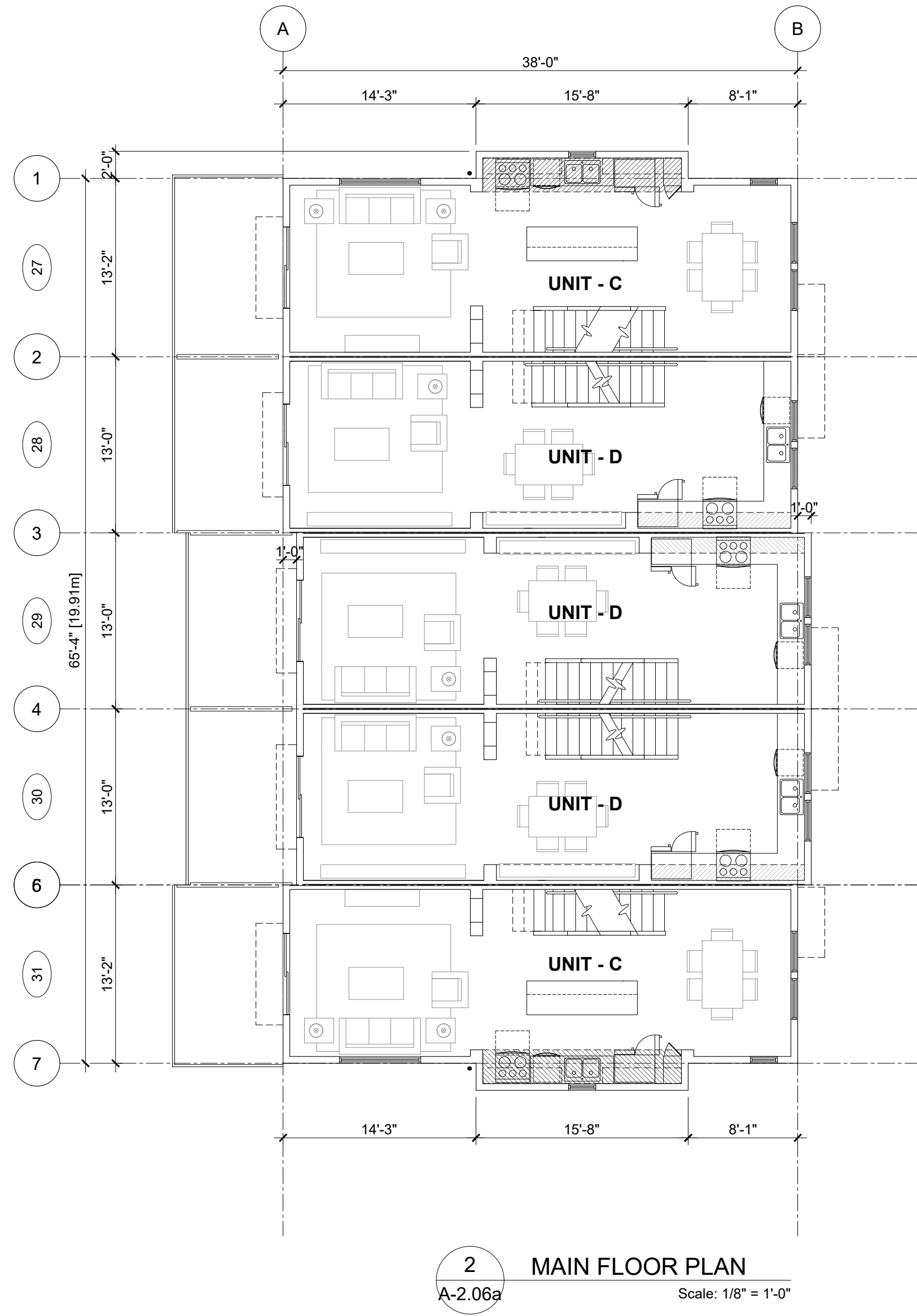
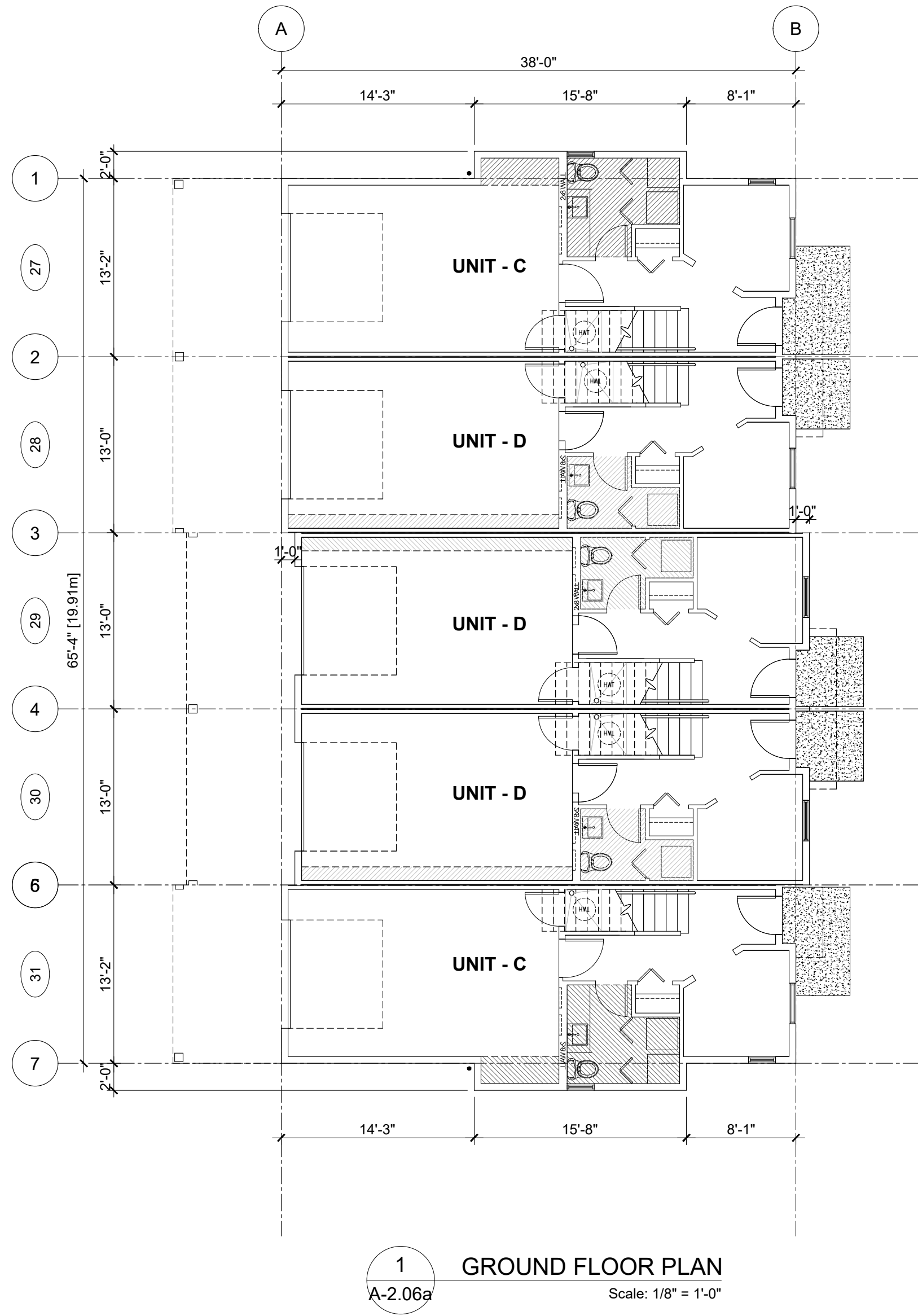


DISCLAIMER:
Drawings are drawn to scale as indicated
and scaling may vary slightly due to
reproduction. Verify all dimensions on site
prior to commencement of work. Any
discrepancies are to be reported
Immediately to thd prior to construction.
In the event of a discrepancy
written dimension will take precedence

SCALE
AS NOTED

**BUILDING #6
FLOOR PLANS**

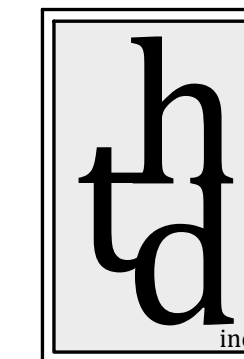
SHEET NO.
A-2.05a



- BUILDING 6 AREAS:		S.F.	S.M.
- GROUND FLOOR		1,062.95	98.75
- MAIN FLOOR		2,546.92	236.62
- UPPER FLOOR		2,484.20	230.79
- AREA TOTAL =		6,094.07	566.16

Eric M. Norman
Architect, A.I.B.C.

in association with



Todd Hansen Designs Inc.
Tel: +1 604 379 2488
info@thdesigns.ca

PROJECT:

ARDEN GARDENS
COURTENAY, B.C.

COPYRIGHT:

These drawings are the property of thd.
All rights reserved. Any reproduction in
whole or in part, in any form, without the
written consent of thd are punishable by
law

DRAWING HISTORY

NO	REVISION DATE	DESCRIPTION:
7		
6		
5		
4	2021.07.13	DP SUBMISSION
3	2021.03.17	TO CLIENT
2	2021.03.01	FOR CITY DISC.
1	2021.02.27	TO CLIENT



DISCLAIMER:

Drawings are drawn to scale as indicated
and scaling may vary slightly due to
reproduction. Verify all dimensions on site
prior to commencement of work. Any
discrepancies are to be reported
Immediately to thd prior to construction.
In the event of a discrepancy
written dimension will take precedence

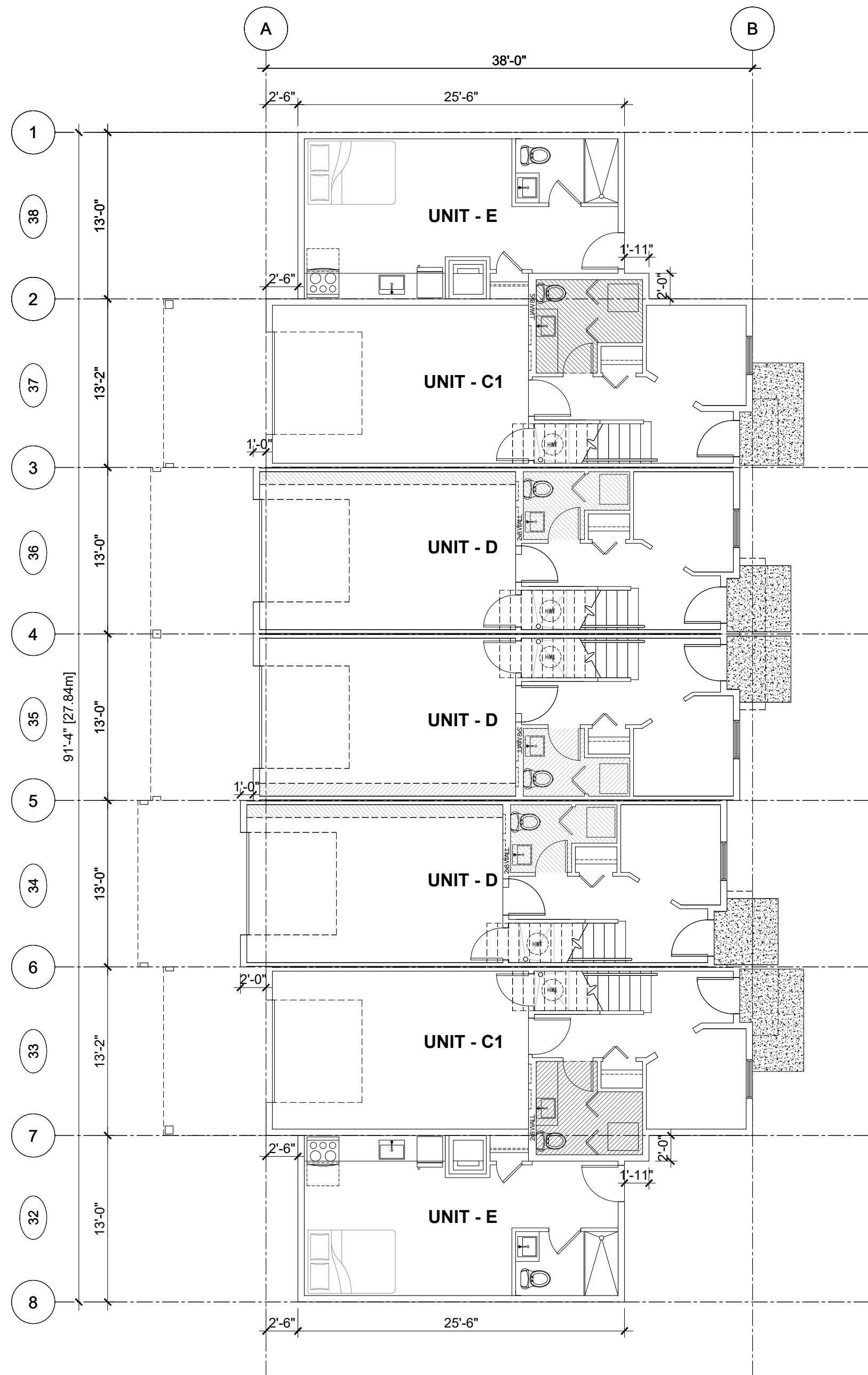
SCALE

AS NOTED

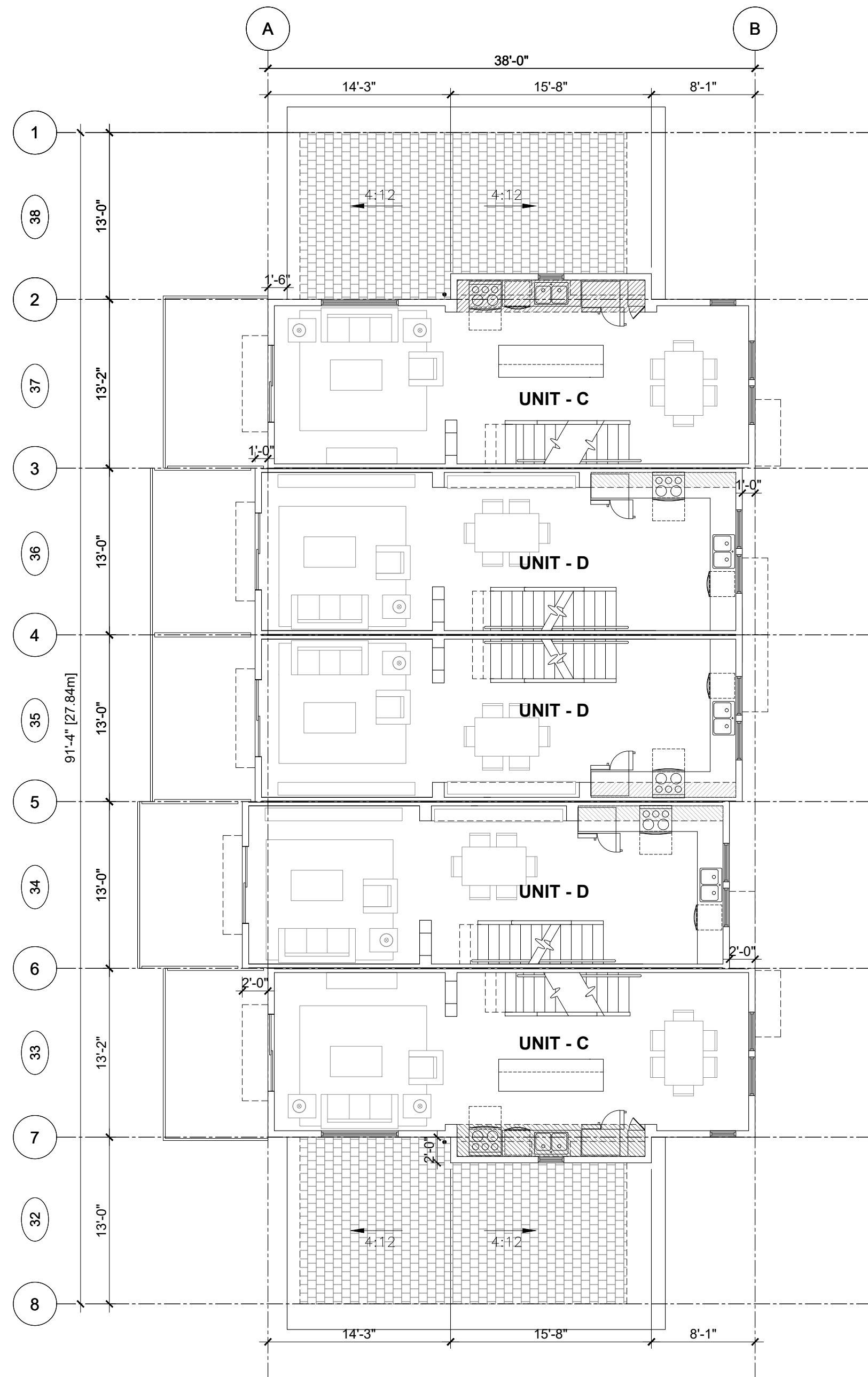
BUILDING #6
FLOOR PLANS

SHEET NO.

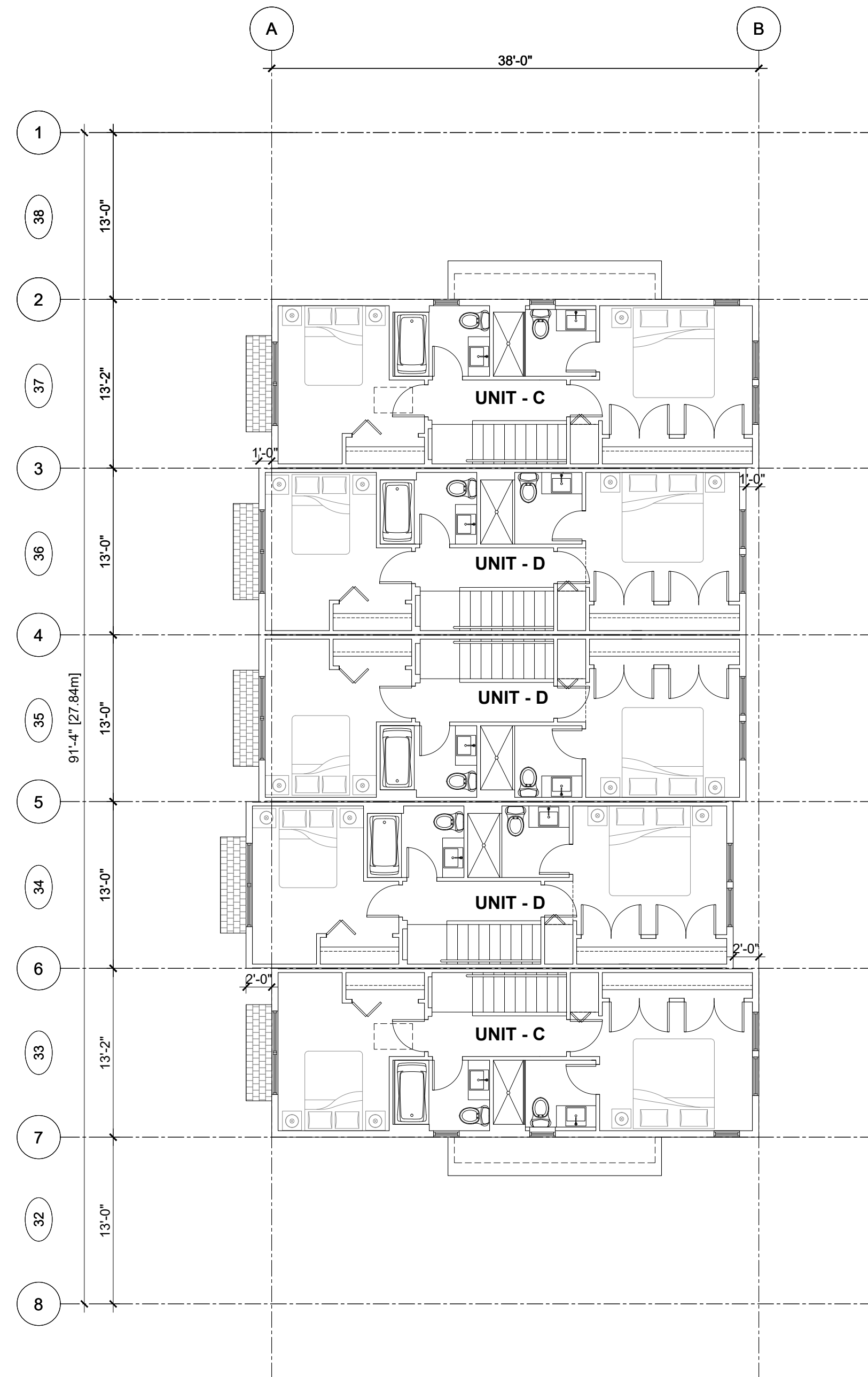
A-2.06a



1 GROUND FLOOR PLAN
Scale: 1/8" = 1'-0"



2 MAIN FLOOR PLAN
Scale: 1/8" = 1'-0"

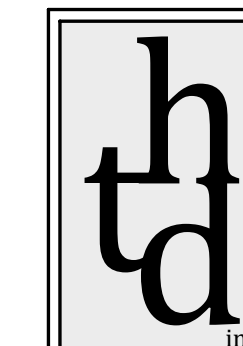


3 UPPER FLOOR PLAN
Scale: 1/8" = 1'-0"

- BUILDING 7 AREAS:		S.F.	S.M.
- GROUND FLOOR		1,705.39	158.44
- MAIN FLOOR		2,547.20	236.64
- UPPER FLOOR		2,486.07	230.96
- AREA TOTAL =		6,738.66	626.04

Eric M. Norman
Architect, A.I.B.C.

in association with



Todd Hansen Designs Inc.
Tel: +1 604 379 2488
info@thdesigns.ca

PROJECT:

ARDEN GARDENS
COURTENAY, B.C.

COPYRIGHT:

These drawings are the property of thd.
All rights reserved. Any reproduction in
whole or in part, in any form, without the
written consent of thd are punishable by
law

DRAWING HISTORY

NO	REVISION DATE	DESCRIPTION
7		
6		
5		
4	2021.07.13	DP SUBMISSION
3	2021.03.17	TO CLIENT
2	2021.03.01	FOR CITY DISC.
1	2021.02.27	TO CLIENT



DISCLAIMER:

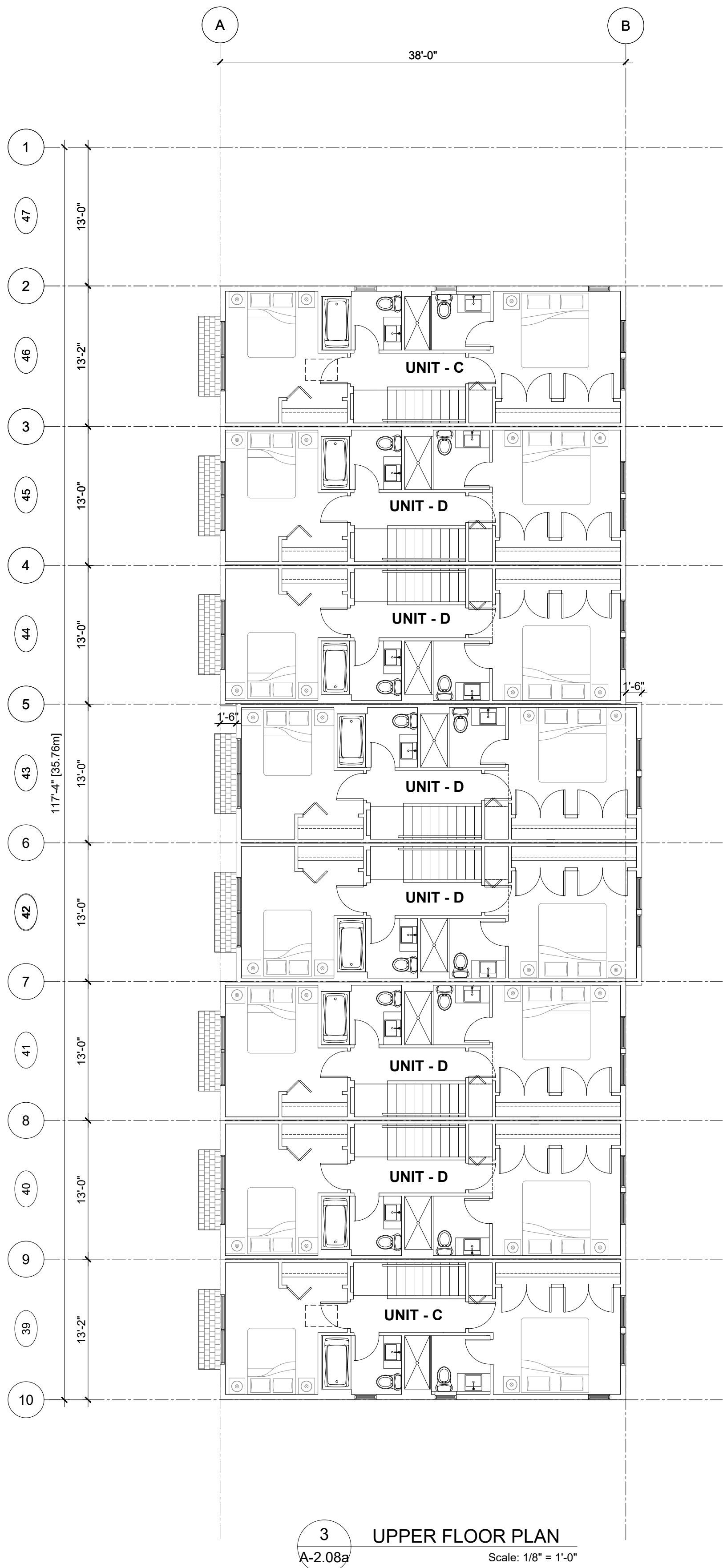
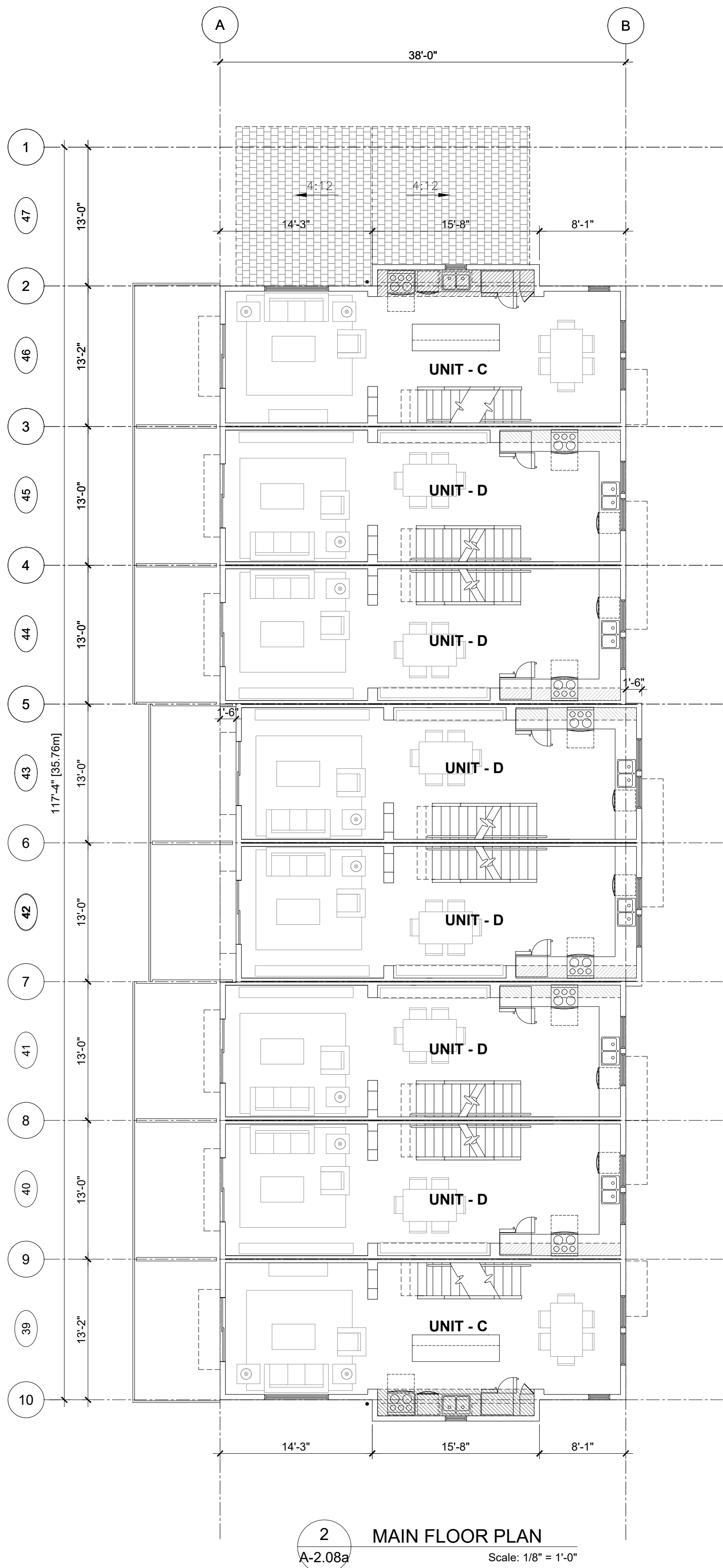
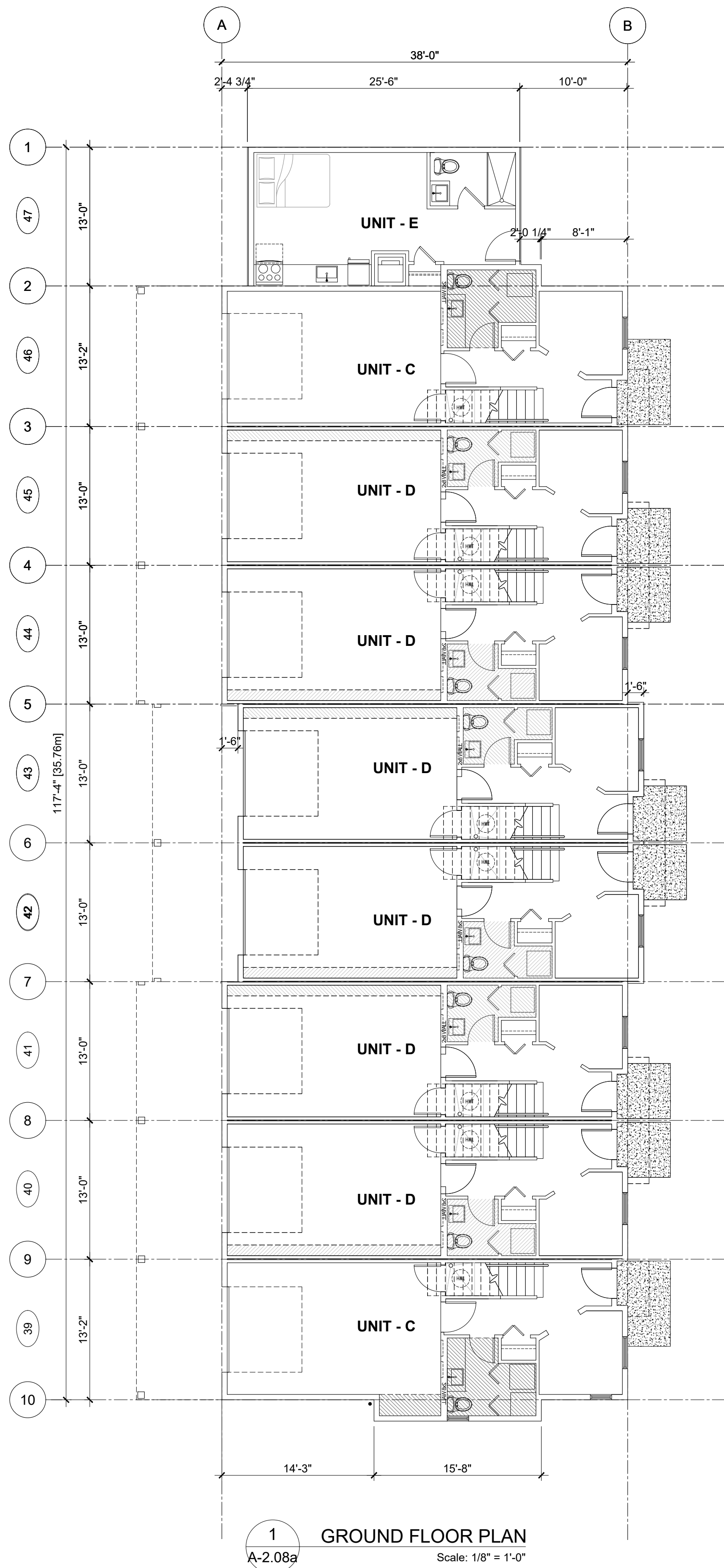
Drawings are drawn to scale as indicated
and scaling may vary slightly due to
reproduction. Verify all dimensions on site
prior to commencement of work. Any
discrepancies are to be reported
Immediately to thd prior to construction.
In the event of a discrepancy
written dimension will take precedence

SCALE
AS NOTED

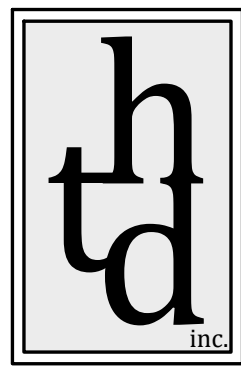
BUILDING #7
FLOOR PLANS

SHEET NO.

A-2.07a



- BUILDING 8 AREAS:		S.F.	S.M.
- GROUND FLOOR		1,997.01	185.53
- MAIN FLOOR		4,030.07	374.41
- UPPER FLOOR		3,965.92	368.45
- AREA TOTAL =		9,992.99	928.38

Eric M. Norman
Architect, A.I.B.C.
in association with

Todd Hansen Designs Inc.
Tel: +1 604 379 2488
info@thdesigns.ca

PROJECT:
ARDEN GARDENS
COURTENAY, B.C.

COPYRIGHT:
These drawings are the property of thd.
All rights reserved. Any reproduction in
whole or in part, in any form, without the
written consent of thd are punishable by
law

DRAWING HISTORY		
NO	REVISION DATE	DESCRIPTION
7		
6		
5		
4	2021.07.13	DP SUBMISSION
3	2021.03.17	TO CLIENT
2	2021.03.01	FOR CITY DISC.
1	2021.02.27	TO CLIENT

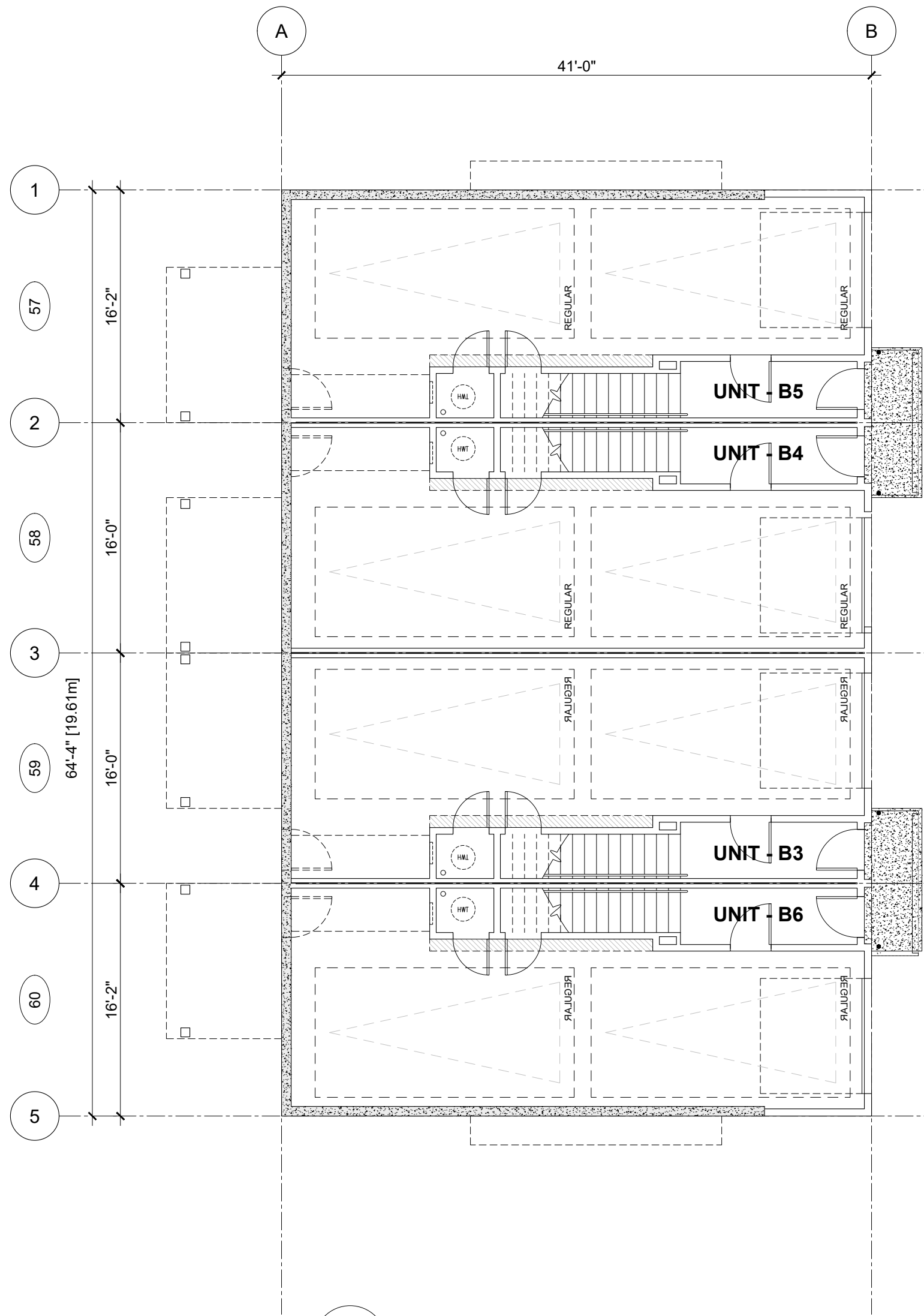


DISCLAIMER:
Drawings are drawn to scale as indicated
and scaling may vary slightly due to
reproduction. Verify all dimensions on site
prior to commencement of work. Any
discrepancies are to be reported
Immediately to thd prior to construction.
In the event of a discrepancy
written dimension will take precedence

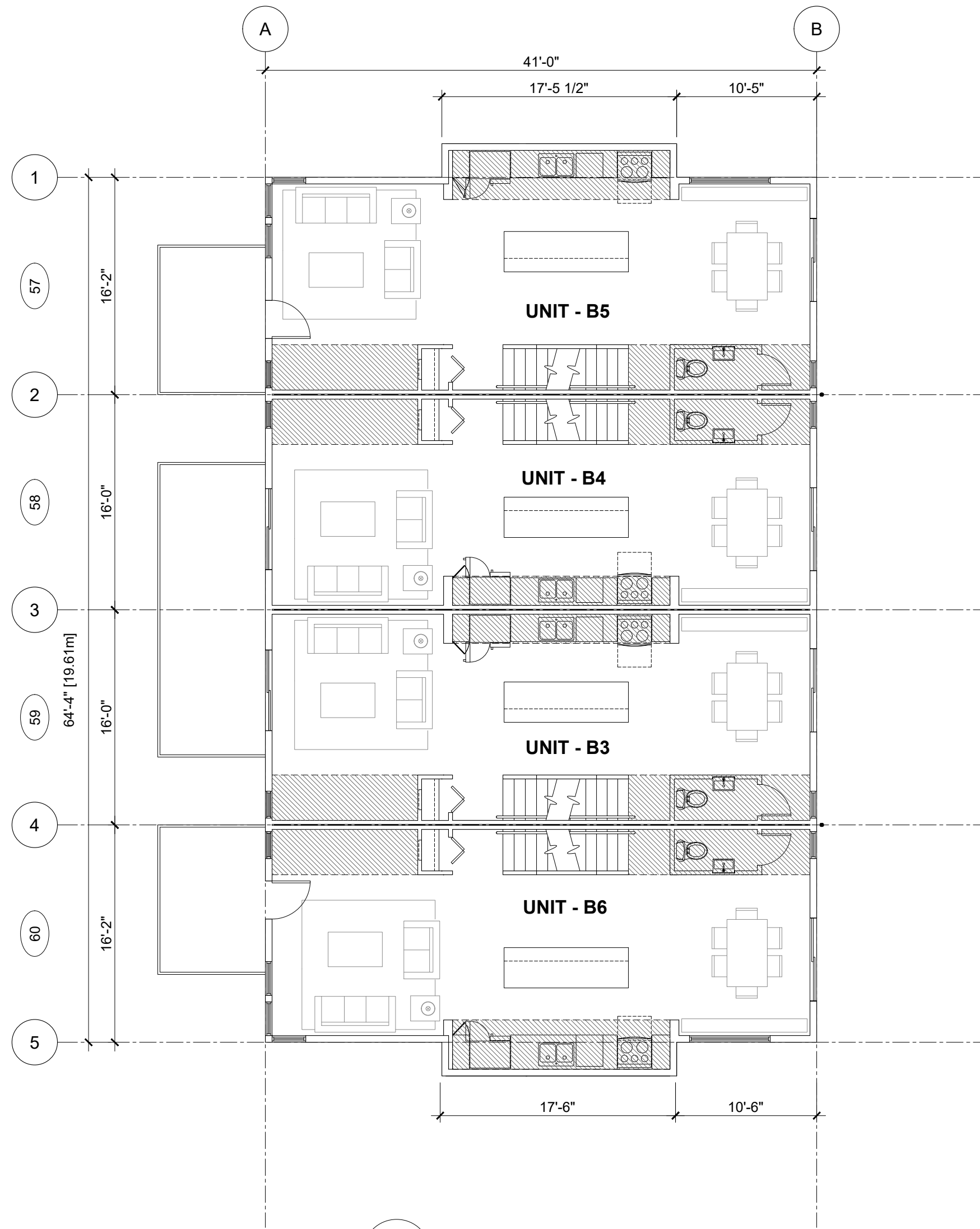
SCALE
AS NOTED

BUILDING #8
FLOOR PLANS

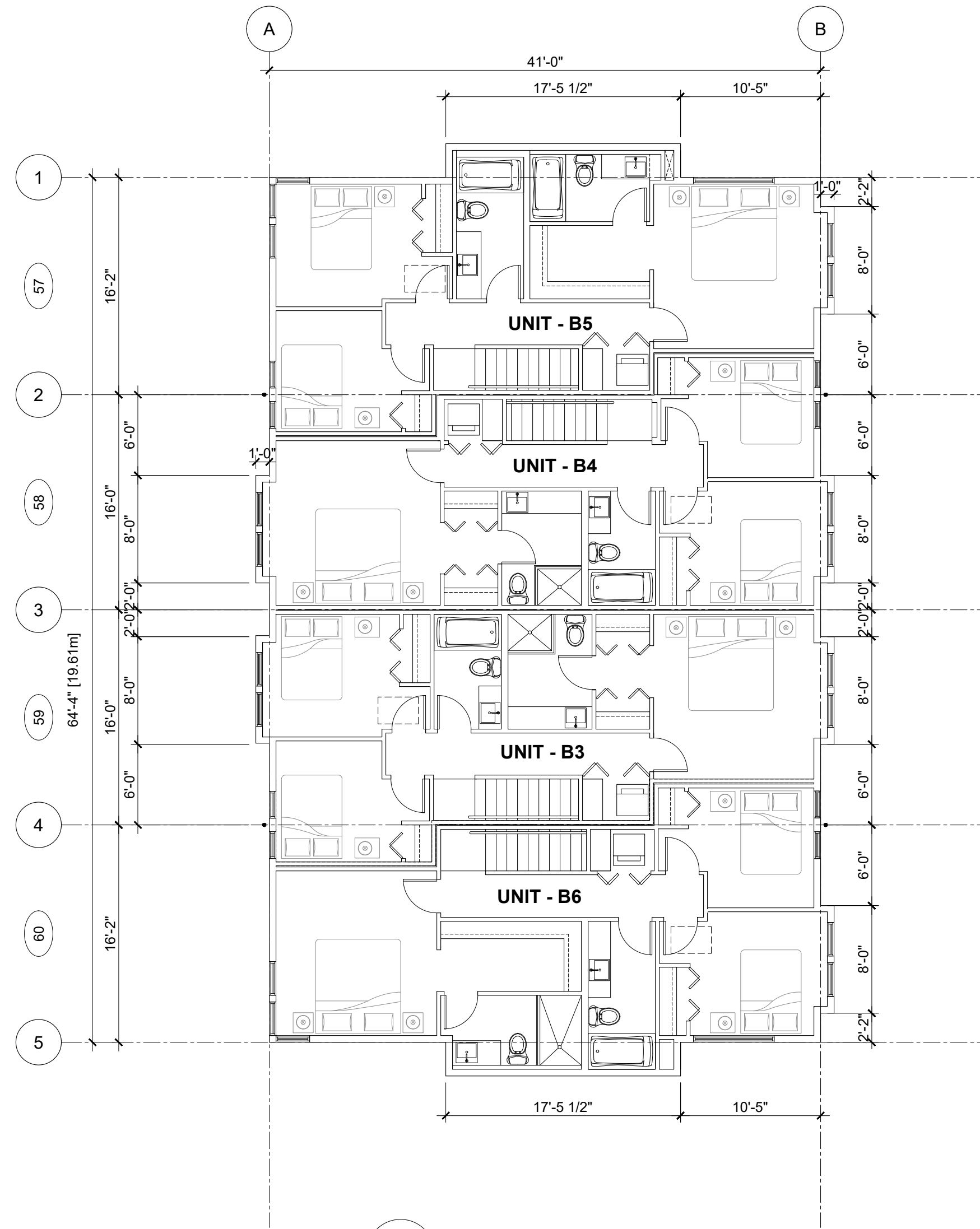
SHEET NO.
A-2.08a



1 GROUND FLOOR PLAN
A-2.10a Scale: 1/8" = 1'-0"



2 MAIN FLOOR PLAN
A-2.10a Scale: 1/8" = 1'-0"

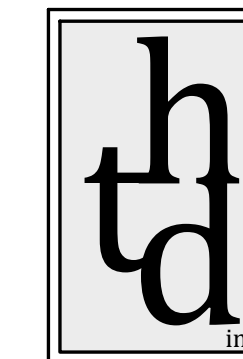


3 UPPER FLOOR PLAN
A-2.10a Scale: 1/8" = 1'-0"

- BUILDING 10 AREAS:			
- GROUND FLOOR	S.F.	S.M.	
- MAIN FLOOR	346.48	32.19	
- UPPER FLOOR	2,725.31	253.19	
- AREA TOTAL =	2,773.07	257.63	
	5,844.86	543.01	

Eric M. Norman
Architect, A.I.B.C.

in association with



Todd Hansen Designs Inc.
Tel: +1 604 379 2488
info@thdesigns.ca

PROJECT:

ARDEN GARDENS
COURTENAY, B.C.

COPYRIGHT:

These drawings are the property of thd.
All rights reserved. Any reproduction in
whole or in part, in any form, without the
written consent of thd are punishable by
law

DRAWING HISTORY

NO	REVISION DATE	DESCRIPTION:
7		
6		
5		
4	2021.07.13	DP SUBMISSION
3	2021.03.17	TO CLIENT
2	2021.03.01	FOR CITY DISC.
1	2021.02.27	TO CLIENT



DISCLAIMER:

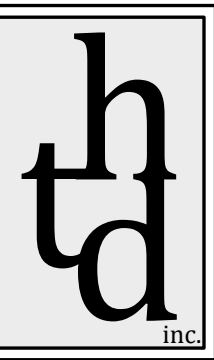
Drawings are drawn to scale as indicated
and scaling may vary slightly due to
reproduction. Verify all dimensions on site
prior to commencement of work. Any
discrepancies are to be reported
Immediately to thd prior to construction.
In the event of a discrepancy
written dimension will take precedence

SCALE
AS NOTED

BUILDING #10
FLOOR PLANS

SHEET NO.

A-2.10a



PROJECT:

ARDEN GARDENS
COURTENAY, B.C.

COPYRIGHT:

These drawings are the property of thd.
All rights reserved. Any reproduction in
whole or in part, in any form, without the
written consent of thd are punishable by
law

DRAWING HISTORY

NO	REVISION DATE	DESCRIPTION
7		
6		
5		
4	2021.07.13	DP SUBMISSION
3	2021.03.17	TO CLIENT
2	2021.03.01	FOR CITY DISC.
1	2021.02.27	TO CLIENT



DISCLAIMER:

Drawings are drawn to scale as indicated
and scaling may vary slightly due to
reproduction. Verify all dimensions on site
prior to commencement of work. Any
discrepancies are to be reported
Immediately to thd prior to construction.
In the event of a discrepancy
written dimension will take precedence

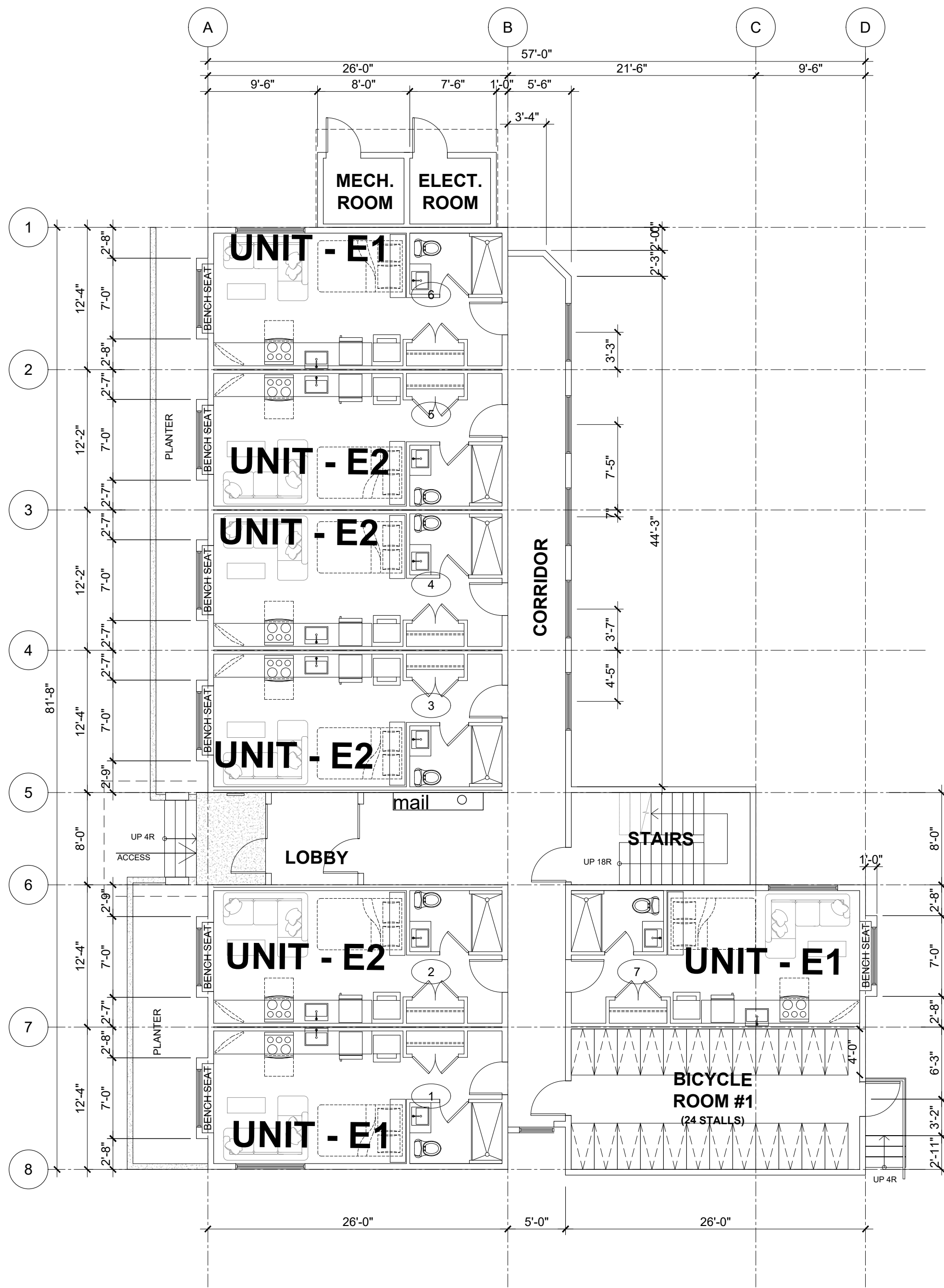
SCALE

AS NOTED

BUILDING #11
FLOOR PLANS

SHEET NO.

A-2.11a





Eric M. Norman
Architect, A.I.B.C.
in association with

thd
Inc.

Todd Hansen Designs Inc.
Tel: +1 604 379 2488
info@thdesigns.ca

PROJECT:
ENGLAND OAKS
COURTENAY, B.C.

COPYRIGHT:
These drawings are the property of thd. All rights reserved. Any reproduction in whole or in part, in any form, without the written consent of thd are punishable by law

DRAWING HISTORY

NO.	REVISION DATE:	DESCRIPTION:
7		
6		
5		
4		
3		
2		
1	2021.07.14	TO CLIENT

DISCLAIMER:
Drawings are drawn to scale as indicated and scaling may vary slightly due to reproduction. Verify all dimensions on site prior to commencement of work. Any discrepancies are to be reported immediately to thd prior to construction. In the event of a discrepancy written dimension will take precedence

SCALE
AS NOTED

**BUILDING #4
ELEVATIONS**

SHEET NO.
A3.04



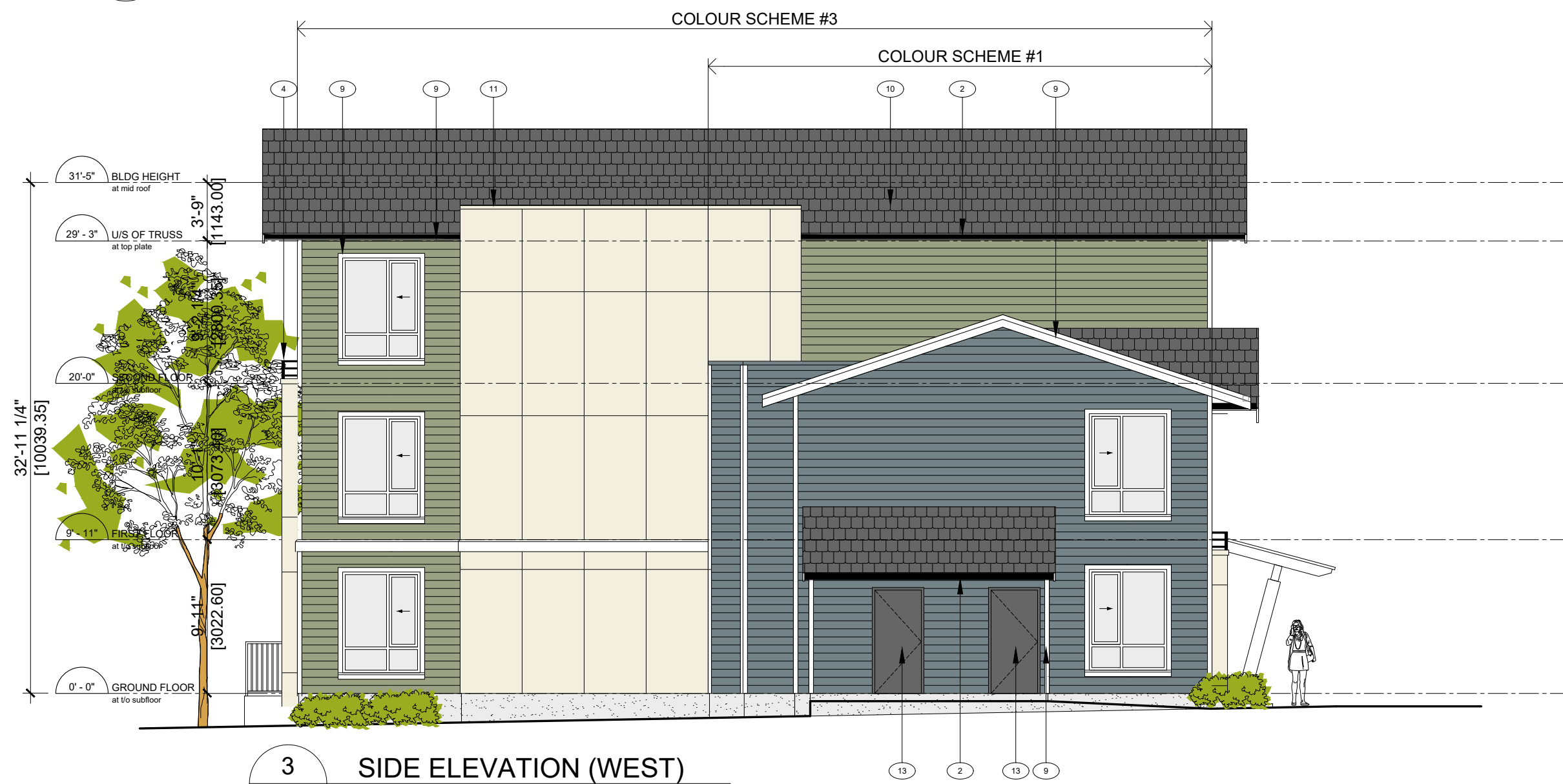
1 FRONT ELEVATION (SOUTH)
Scale: 1/8" = 1'0"



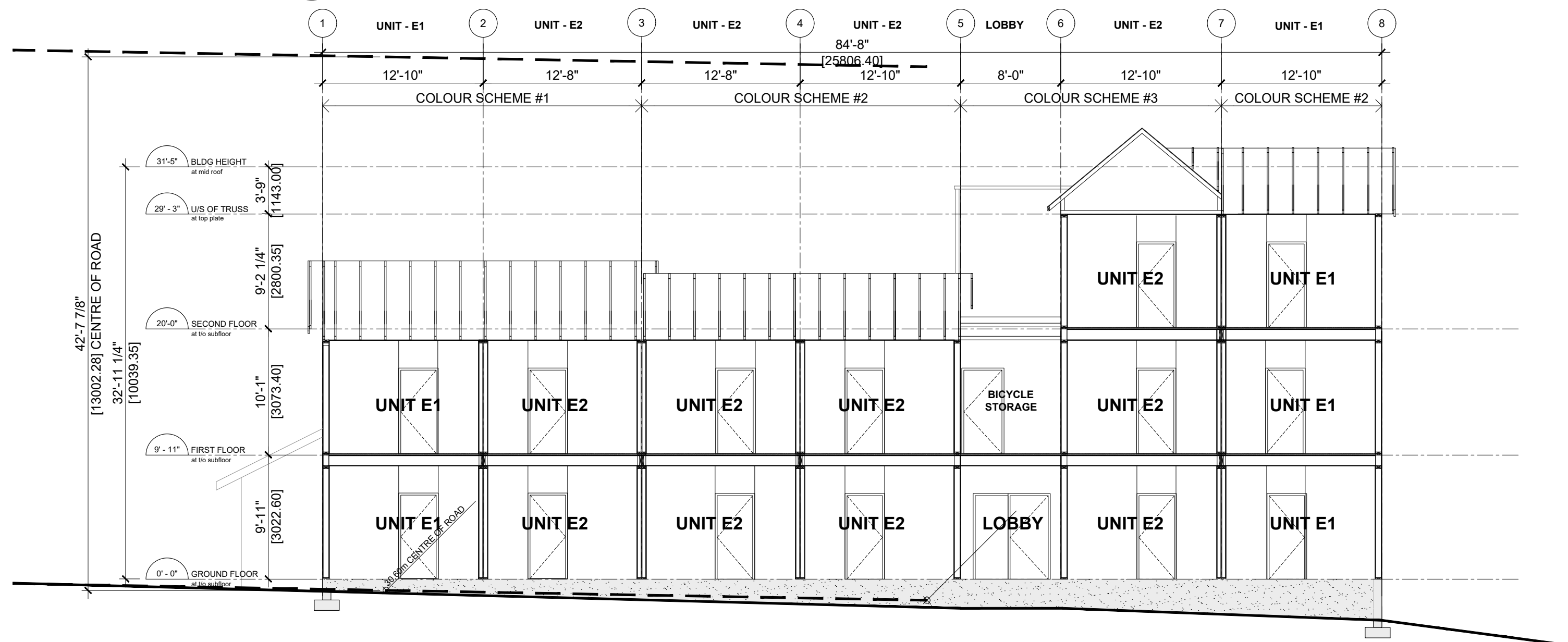
4 SIDE ELEVATION (EAST)
Scale: 1/8" = 1'0"



2 REAR ELEVATION (NORTH)
Scale: 1/8" = 1'0"



3 SIDE ELEVATION (WEST)
Scale: 1/8" = 1'0"



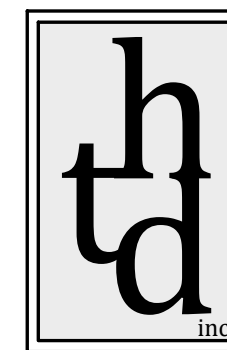
5 SECTION
Scale: 1/8" = 1'0"

- COLOUR SCHEME #1**
- 7" VINYL LAP SIDING
- Sequoia Select® Ultra-Premium
- COLOUR ROCKWELL BLUE
 - COMPOSITE PANEL WITH HIDDEN REVEAL.
- COLOUR TIMID WHITE (BM 2148-60)
- COLOUR SCHEME #2**
- 7" VINYL LAP SIDING
- Sequoia Select® Ultra-Premium
- COLOUR ALMOND
 - COMPOSITE PANEL WITH HIDDEN REVEAL.
- COLOUR IRON MOUNTAIN (BM 2134-30)
- COLOUR SCHEME #3**
- 7" VINYL LAP SIDING
- Sequoia Select® Ultra-Premium
- COLOUR SAGE
 - COMPOSITE PANEL WITH HIDDEN REVEAL.
- COLOUR TIMID WHITE (BM 2148-60)
- COLOUR SCHEME #4**
- COMPOSITE SIDING STAGGERED EDGE PANEL
- COLOUR BOOTH BAY BLUE
 - COMPOSITE PANEL WITH HIDDEN REVEAL.
- COLOUR TIMID WHITE (BM 2148-60)

TYPICAL MATERIALS/COLOURS

- CULTURED STONE
SCULPTED ASHLAR (SILVER SHORE)
- METAL GUTTERS/RWL's
PAINTED BLACK
- METAL RAILINGS
PAINTED BLACK
- METAL FALSE RAILING
PAINTED BLACK
- INSULATED WOOD GRAINED FIBREGLASS
FRONT DOOR
PAINTED CALIENTE (BM AF-290)
- INSULATED WOOD GRAINED FIBREGLASS
GARAGE DOOR
COLOUR: IRON MOUNTAIN (BM 2134-40)
- STANDING SEAM METAL ROOF
COLOUR: DEEP CHARCOAL
- ENTRANCE POST/EXPOSED RAFTERS AND
BEAMS
COLOUR: IRON MOUNTAIN (BM 2134-40)
- TRIM/FASCIA/POSTS/BEAMS
COLOUR: WHITE
- 3 TAB ASPHALT SHINGLE
COLOUR: BLACK
- FLASHING TO MATCH COLOUR BELOW
- BOARD AND BATTEN SIDING
COLOUR: ALMOND
- RESERVED INSULATED STEEL MAIN DOOR
COLOUR: IRON MOUNTAIN (BM 2134-40)
- METAL OR WOOD PRIVACY SCREEN
COLOUR: BLACK
- METAL CHIMNEY CAP
COLOUR: BLACK

Eric M. Norman
Architect, A.I.B.C.
in association with



Todd Hansen Designs Inc.
Tel: +1 604 379 2488
info@thdesigns.ca

PROJECT:
ENGLAND OAKS
COURTENAY, B.C.

COPYRIGHT:
These drawings are the property of thd.
All rights reserved. Any reproduction in
whole or in part, in any form, without the
written consent of thd are punishable by
law

DRAWING HISTORY

NO.	REVISION DATE:	DESCRIPTION:
7		
6		
5		
4		
3		
2		
1	2021.07.14	TO CLIENT



DISCLAIMER:
Drawings are drawn to scale as indicated
and scaling may vary slightly due to
reproduction. Verify all dimensions on site
prior to commencement of work. Any
discrepancies are to be reported
Immediately to thd prior to construction.
In the event of a discrepancy
written dimension will take precedence

SCALE
AS NOTED

**BUILDING #11
ELEVATIONS**

SHEET NO.

A3.11