



THE CORPORATION OF THE CITY OF COURTENAY
MEMORANDUM

To: Geoff Garbutt, Chief Administrative Officer
From: Dana Beatson, Planner II, Development Planning
Subject: Application for Development Permit at 995 England Avenue

File No.: 3060-20-2003
Date: October 12, 2021

PURPOSE:

To consider the issuance of Development Permit No. 2003 to permit the construction of a 24 unit, multi residential development pursuant to the requirements of Commercial One Zone (C-1) and the guidance established within the Downtown and Multi Residential Development Permit Guidelines. The subject property is located at 995 England Avenue and is legally described as Lot A, Section 61, Comox District Plan, Plan 33222.

BACKGROUND:

The subject property is located at the northwest corner of the intersection of England Avenue and 10th Street, is 857m² in size and is vacant of building and structures. The parcel was initially created in 1979 when it was subdivided off of an adjacent lot (957 England Avenue (Lot 1)) to the north, has been utilized over the years for off-street parking and remains a vacant parking lot.



Figure 1: Subject Property and Context

Application for Development Permit at 995 England Avenue

A development permit application has been submitted for a 24-unit multi-family development. Each of the three buildings consists of eight 1 bedroom, 1 bathroom units approximately 312 ft² (29m²) in size with private patios. The development concept for the property is a uniform building design that focuses on providing single occupancy housing for residents who wish to reside close to amenities Downtown as well as those households wanting to downsize and reside in smaller building footprints.

The proposed buildings are two storeys with four units on each floor. The proposal is evaluated based on the requirements of the Commercial One Zone (C-1) in addition to the guidance detailed in the Multi Residential and Downtown Development Permit Guidelines.

DISCUSSION:**Zoning**

The role of zoning regulations is to establish regulatory requirements concerning the use, density, building bulk and other requirements a proposed development must satisfy. A comparison of the proposal with zoning regulations is provided in **Table 1 below**. The proposal complies with all applicable zoning regulations.

	Required	Proposed
Permitted Use	Multi Residential Dwellings	Multi Residential Dwellings
Lot Coverage	N/A	42%
Front Yard (10 th Street)	N/A	2.46m (to edge of staircase)
Rear Yard (Yard opposite the front yard)	N/A	0.9m (to edge of staircase)
Side Yard	N/A	0.86m (to edge of patio projection)
Side Yard (England Avenue)*	N/A	1.95m (to edge of patio projection)
Building Height	13.5m	6.56m
Screening for Garbage and Recycling Receptacles	2.0m in height	2.0m in height
Vehicle Parking Stalls	1 stall per residential unit	No stalls provided *applicant is paying for all 24 stalls in accordance with Section 7.1.7(2) of <i>Zoning Bylaw No. 2500</i>
Bicycle Parking Stalls	N/A	13 bicycle parking stalls
Sight Triangle (Section 6.7.1)	Site Triangle for Corner Lots	Meets Requirement at Corner (10 th Street and England Avenue)
Fence Height (along property perimeter except west side yard)	2.0m	1.0m

Table 1: Zoning Compliance (C-1 Zone and Proposal)

Development Permit Guidelines

The role of development permit guidelines is to guide elements of a development proposal such as architectural character, site and landscape design. The Multi Residential and Downtown Development Permit Checklists were submitted by the applicant in support of the development application (**Attachment No. 2 and No. 3**). The applicant notes that the proposal generally complies with these guidelines and that about 25 guidelines are not directly applicable between the two sets of guidelines. Compliance with the guidelines is detailed below.

Form and Character

Regarding form and character, the building design reflects the heritage character of the City (through the use of wooden siding, knee braces, wood columns and recessed entryways). It also utilizes similar building materials and employs an architectural style that reflects older areas of the City.

The guidelines state that multi residential buildings should front onto roadways and that all building walls visible from the street should be finished to the same standard as the front. To provide an attractive appearance all building facades visible from England Avenue and 10th Street have a similar level of articulation, detail and variation in materials. Walls not visible from the streets have not been articulated to the same extent.

To break up the mass of the buildings the façades have been staggered, have a diversity of materials and a varied colour scheme. The north and south building elevations are staggered and include projections (staircases) and the front and rear elevations also contain projections (patios). A review of the architectural submissions indicates that the proposal utilizes quality materials such as cement siding (smooth, shingle, plank), wood, glass, asphalt shingles and aluminium (gutters, balconies, railings, stairs, landings and soffits) with each building painted with two distinct colour tones: Heathered Moss (green) and white Bluebay Blue and White, Traditional Red and White and Harris Cream and White. Samples of the proposed exterior colour scheme can be seen in **Schedule No. 1**.

The site has been designed to prioritize pedestrians through the provision of walkways leading to and from buildings providing direct connections to City sidewalks along England Avenue and 10th Street. Weather protection for pedestrians is provided by roof overhangs and recessed entryways.

To maintain privacy between residential units balconies have been situated in the east and west side yards on the first and second storeys and patios have been off-set so they are not in direct view of one another. Clusters of landscape plantings including trees (saskatoon berry and chinese dogwood) and shrubs (butterfly bush, blueberry bush, box leaf euonymus) will be installed adjacent to and between patios for enhanced privacy.

The multifamily DP guidelines encourage buildings sited on corner lots to be stepped down towards the flanking streets, in this case 10th Street and England Avenue. As proposed, the building design does not satisfy the DP guideline's direction to step the buildings down towards adjacent streets.

The DP guidelines state that buildings shall be sited to retain existing trees and undeveloped areas of the site should remain in a natural state if there is existing vegetation. The property is a vacant parking lot and does not contain any vegetation or trees, therefore, these guidelines are not directly applicable to the proposal.

Application for Development Permit at 995 England AvenueSignage

At this time no signage is being proposed with this development nor was a sign detail provided as part of the submissions. The applicant has indicated that any future signage will conform to the guidelines, being architecturally integrated with the overall site and building design as well as meet the regulations in the City's Sign Bylaw No. 2760.

Siting, Landscaping and Screening

Concerning site design, a landscape plan has been provided by a Landscape Architect detailing a planting plan and plant and tree species (**as seen in Schedule No. 3**). Much like the building style, the landscape design is uniform and focuses on clusters of plantings around building entrances, the rear yard, between patios, within side yards and adjacent to 10th Street.

As a single household orientated development, recreation areas are passive and focus on the rear and side yards for individual use and adjacent to 10th Street where an outdoor seating area (bench) and four (4) bicycle parking stalls are provided for communal use. Because the development is geared towards single occupancy households no passive recreation or play areas for families were contemplated.

Landscape buffering is being provided along the perimeter of the site (as seen in **Table No. 2**).

Landscaping and Screening	Multi Family DP Guidelines	Development Proposal
10 th Street (front)	4.5m	4.6m to 5.1m
England Avenue (side yard flanking street)	4.5m	3.04m to 6.55m
Side Yard (lane)	4.5m	1.95m to 2.96m
Rear	4.5m	0m to 1.7m
Garbage and Recycling Area	Gated to a minimum height of 2.0m with landscaping or decorative fence or combination	Yes; Guideline Met

Table 2: Landscaping and Screening

The DP guidelines state that landscape buffer area of at least 4.5m wide shall be provided inside property lines adjacent to roads and approved access points, the proposal is consistent with this guideline along both road frontages.

Along 10th Street the applicant is proposing three large clusters of plantings including groundcovers (coral beauty cotoneaster) shrubs (rhododendrons, butterfly bush, midseason blueberry), perennials (autumn stonecrop, low catmint) and trees (little leaf linden). Staff note that the clusters of plantings installed at the southeast corner meets the site triangle regulation for corner lots.

The landscaped area along England Avenue ranges from 3.04m to 6.55m and includes clusters of trees (saskatoon berry, chinese dogwood and little leaf linden) and shrubs (butterfly bush, boxleaf euonymus, flowering current, small leaved rhododendron, oregon grape, blueberry). Staff note that clusters of landscaping have been placed adjacent to patios to provide enhanced privacy for occupants.

In the rear yard the landscape area ranges from 0m to 1.7m in width with no perimeter landscaping in the northeast rear yard where a pedestrian walkway and set of exterior stairs is located. Landscaping in this location focuses on clusters of plantings adjacent to exterior patios and in the northwest corner of the property. Plantings consist of trees and shrubs (saskatoon berry, chinese dogwood, butterfly bush, orgeon grape holy, boxleaf euonymus), perennials and ground covers (catmint, stonecrop, japanese spurge, wooly

Application for Development Permit at 995 England Avenue

thyme). A vine, honeysuckle has also been incorporated into the landscaping in this yard in order to attract bees, butterfly and birds into residential garden areas.

The landscape area in the western side yard is smaller because it accommodates a City lane and a new building (for waste and bicycle storage). Landscaping in this location focuses on clusters of trees plantings (e.g. saskatoon berry, chinese dogwood, orgeon grape, blueberry, and flowering current) in the northwest side yard and adjacent to building facades and exterior patios.

Garbage and recycling will be collected using the existing laneway. A review of the plans indicates a waste disposal and bike storage building is being provided in the western side yard which is screened with black corrugated steel siding and has a roofline articulated with wood accents. This building also contains a bike rack that provides parking for nine bicycles.

Pedestrian walkways have been integrated into the site design and provide access to City sidewalks, services and amenities along England Avenue and 10th Street.

Staff note that several of the guidelines in this section are not applicable or are contemplated through other bylaws and processes. Most of these pertain to requirements when the site contains existing vegetation or environmentally sensitive areas such as streams or wetlands or if the site contains hazard areas such as steep or unstable slopes.

Lighting

The applicant indicates that wall mounted lighting fixtures will be used to illuminate common areas of the development and acknowledges the requirement that all exterior lighting used to light roads, common areas and pedestrian walkways must be full-cut off, downward facing/facing into the interior of the development. This has been added as a condition of the development permit.

Parking

No off-street vehicle parking for the residential units or for visitors is being provided with this application because the property is zoned C-1. The zoning requires that one stall per residential unit be provided, however, the applicant is utilizing Section 7.1.7(2) of Zoning Bylaw No. 2500 which permits at the owner's to pay the City of Courtenay a sum of money in lieu of supplying parking stalls onsite.

The bylaw states that the sum of one parking stall is \$6,500.00 which will be placed in a special reserve fund to be used by the City to purchase off-street parking stalls or structures adjacent to the Downtown area. With this application, the total paid by the applicant to the City for these stalls totals \$156,000.00

To promote active transportation (cycling) bicycle parking stalls has been integrated into the site design with 13 bike stalls provided in the western side yard and within the landscaped area in the front yard adjacent to building #3.

Because no off-street vehicle parking is being provided, the guidelines related to the location, screening and landscaping, vehicular circulation of parking areas are not applicable to this proposal.

ADMINISTRATIVE IMPLICATIONS

Staff has spent approximately 35 hours processing this application to date, a majority of time was spent on obtaining revised submissions and plans from the applicant and the applicant's architect and landscape architect as the proposal went through a significant design change in January 2021 and several subsequent modifications.

Application for Development Permit at 995 England Avenue

Should the proposed development permit be approved, an additional two hours of staff time will be required to register the permit and close the file. Additional staff time will be required to process the subsequent building permit application including inspections.

STAFF RECOMMENDATION

Staff are have assessed this proposal relative to the regulations within the C-1 zone and confirmed that the proposal meets all regulations. Staff have further assessed this proposal relative to applicable development permit guidelines and concludes that overall the proposed development is generally consistent with the direction established within the guidelines.

Recommended Action: Should the Director agree with staff's assessment then approve Development Permit No. 2003.

Prepared by:



Dana Beatson, RPP, MCIP
Planner II, Development Planning

Approved by:



Geoff Garbutt, M.Pl., RPP, MCIP
Chief Administrative Officer

Attachments:

- 1. Attachment No. 1: Draft Development Permit No. 2003 and Associated Schedules*
- 2. Attachment No. 2: Multi Residential Development Permit Area Compliance Checklist*
- 3. Attachment No. 3: Downtown Development Permit Area Compliance Checklist*
- 4. Attachment No. 4: Applicant's Letter*

THE CORPORATION OF THE CITY OF COURTENAY

Permit No. Permit No. 3060-20-2003

September 15, 2021

DEVELOPMENT PERMIT

To issue a Development Permit

To: Name: Canadian Community Housing Ltd., Inc. No. BC0612016
Address: Box 3417
COURTENAY, BC
V9N 5N5

Property to which permit refers:

Legal Lot A, Section 61, Comox District, Plan 33222
Civic: 995 England Avenue

Conditions of Permit:

To issue a development permit to allow the construction of a 24 unit multi-family development on the above noted property subject to the following conditions:

Development Permit No. 2003 is subject to the following conditions:

1. Development must be in conformance with the site plan (s) and associated project data dated August 25, 2021 in **Schedule No. 1** by ATA Architectural Design;
2. Development must be in conformance with the building elevations dated August 25, 2021 and September 14, 2021 in **Schedule No. 2** by ATA Architectural Design;
3. Development must be in substantial conformance with the landscape plan(s) dated August 31, 2021 by Allison Mewett in **Schedule No. 3**;
4. Prior to the issuance of a building permit landscape security in the amount of \$47,568.75 (\$38,055.00 x 125%) is required as estimated by Alison Mewett dated August 10, 2021 in **Schedule No. 4**;
5. The minimum depth of topsoil or amended organic soil on all landscaped areas is to be as follows: shrubs – 450mm; groundcover and grass – 300 mm; and trees -300 mm. A sign permit shall be obtained prior to any signage installed on the property;
6. All signage must be architecturally integrated with the overall site and building design and comply with *Sign Bylaw No. 2960, 2013*;
7. All new replacement and upgraded street lighting in the proposed development must use Full Cut Off/Flat Lens (FCO/FL) luminaries to light roads pedestrian areas;
8. All exterior building and site and lighting must be in general conformance with the exterior lighting

plan in *Schedule No. 5*;

9. Prior to issuance of an occupancy permit by the City's Building Division, the applicant is required to pay \$156,000.00 to the City of Courtenay's special reserve fund for off street parking in accordance with section 7.1.2(2) of *Zoning Bylaw No. 2500*; and
10. No alterations or amendments shall be made without the City's permission. A formal amendment application is required if the plans change or additional variances are identified after the permit is issued.

Time Schedule of Development and Lapse of Permit

That if the permit holder has not substantially commenced the construction authorized by this permit within (12) months after the date it was issued, the permit lapses.

Date

Chief Administrative Officer

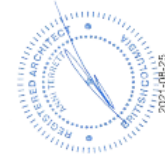
Schedule No. 1: Site Plan(s)

Application for Development Permit at 995 England Avenue

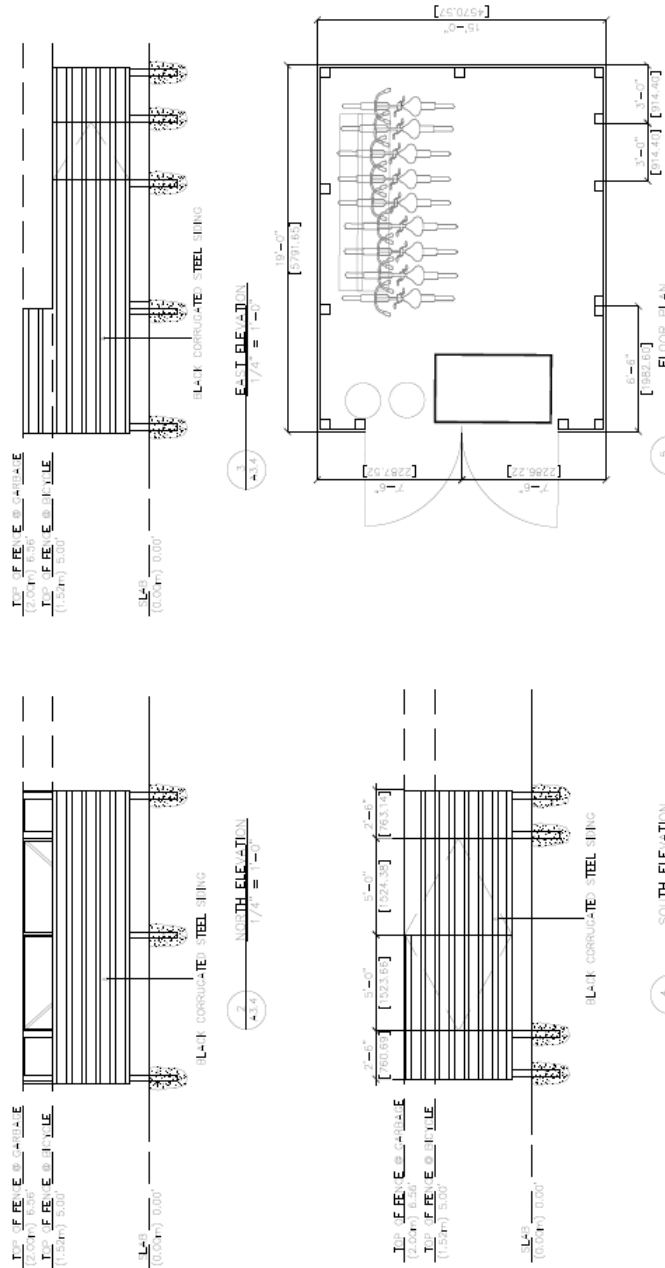
ATA ELECTRIC LTD
 708-1201 WEST PENNER
 VANCOUVER, B.C. V6E2V2
 TEL (604) 736-3730

NOTE: SEE PLAN SET OF THE DEVELOPMENT PERMIT FOR THE LOCATION OF THE PERMIT AND ALL THE INFORMATION REQUIRED TO OBTAIN THE PERMIT. SEE THE PERMIT FOR THE LOCATION OF THE PERMIT AND ALL THE INFORMATION REQUIRED TO OBTAIN THE PERMIT.

No.	Date	Description
1.	E-2/7/21	ISSUE FOR COORDINATION
2.	E-10/21	ISSUE FOR DP
3.	APR 13/22	E-ISSUE FOR DP
4.	JUN 07/22	E-ISSUE FOR DP
5.	AUG 24/22	E-ISSUE FOR DP
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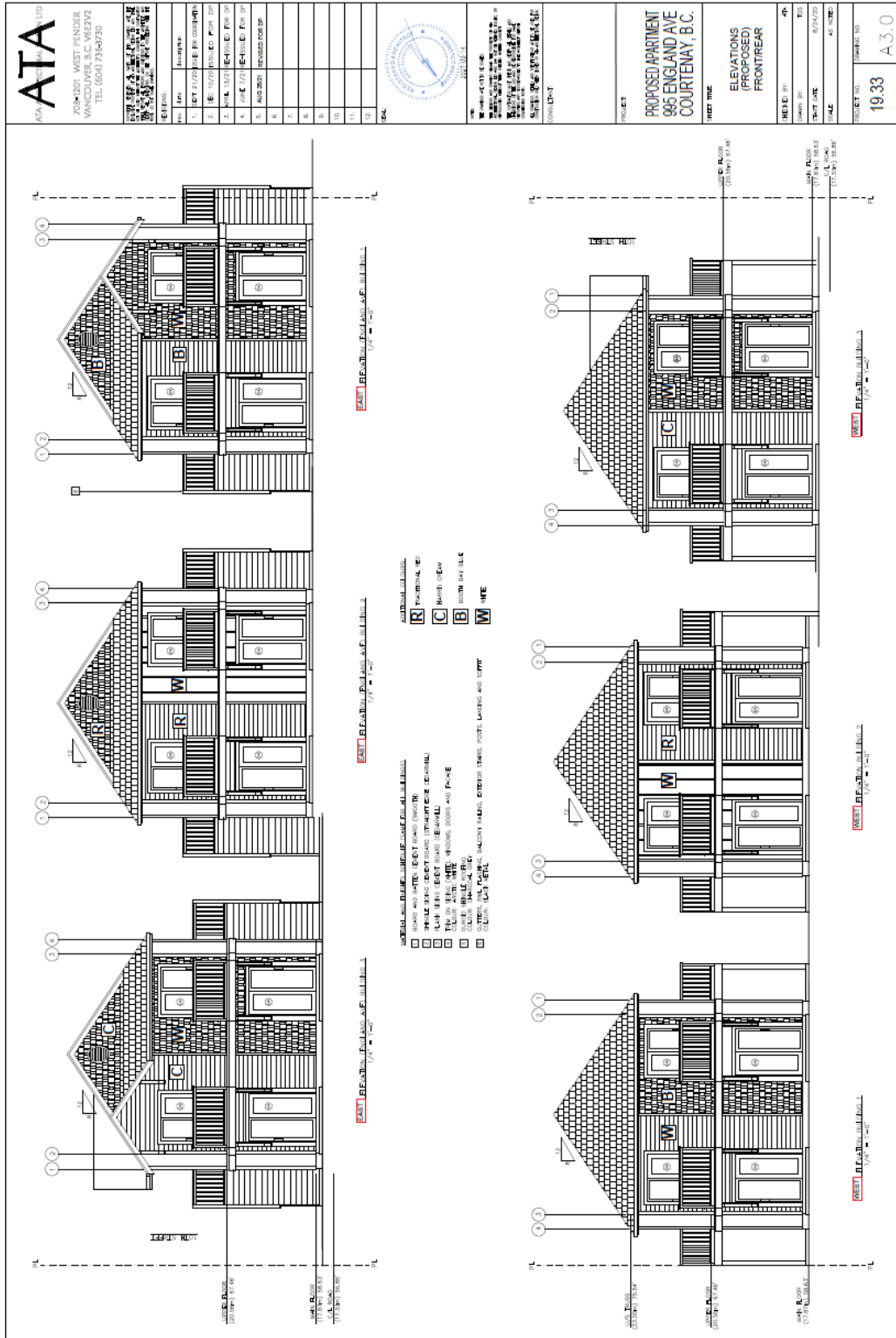


CARBON RECYCLING ENCLOSURE



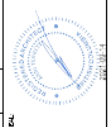
Schedule No. 2: Building Elevations

Application for Development Permit at 995 England Avenue



ATA
ARCHITECTS LTD.
711-1091 WEST HANOVER
VANCOUVER, B.C. V6E2V2
TEL: (604) 731-9730

REVISIONS	
No.	Description
1.	REVISED PER COMMENTS
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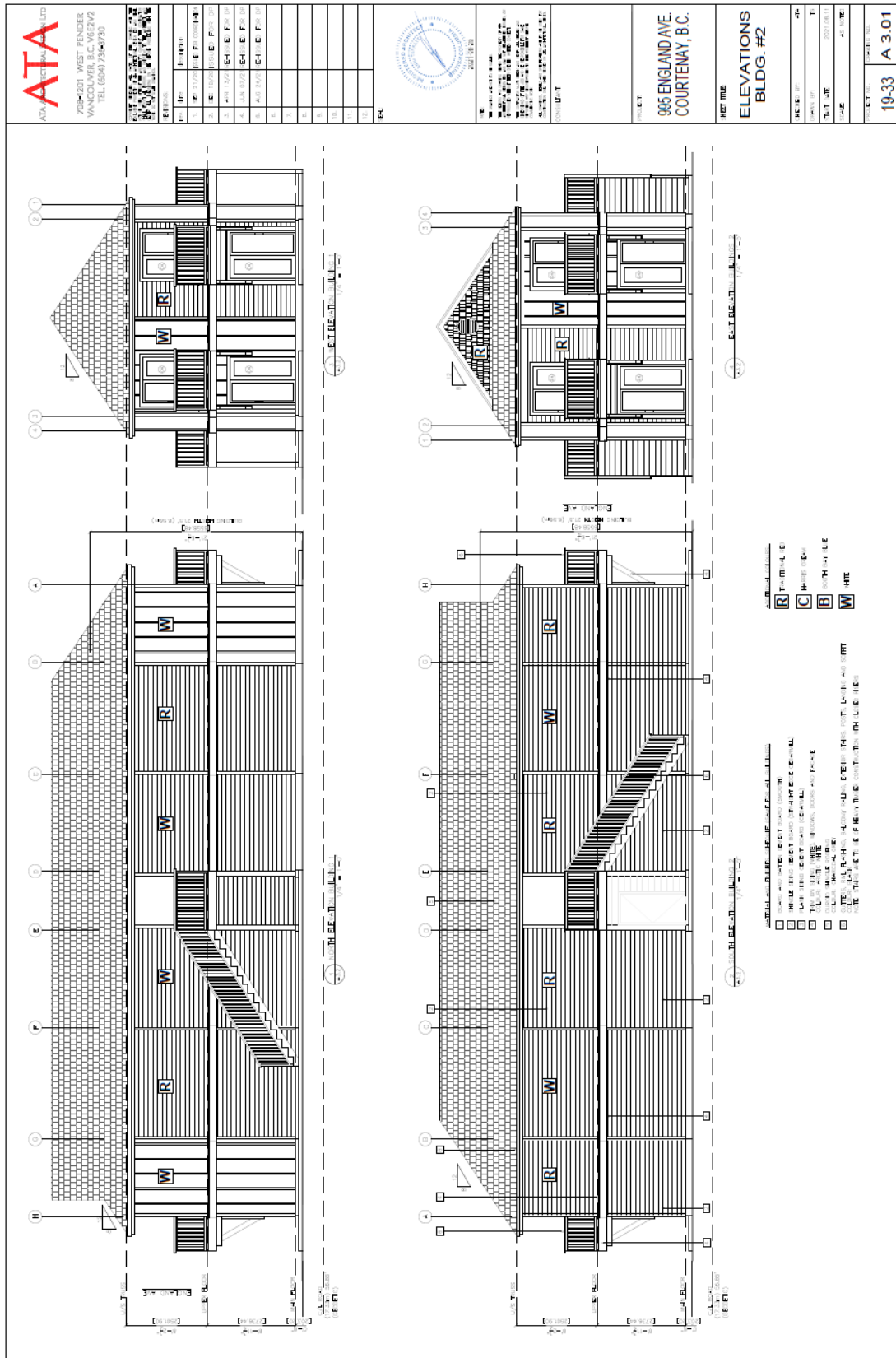
DESIGNED BY: **ATA**
DRAWN BY: **ATA**
CHECKED BY: **ATA**
DATE: 2021.10.14

PROJECT:
**PROPOSED APARTMENT
995 ENGLAND AVE
COURTENAY, B.C.**



DRAWING TITLE:
**ELEVATIONS
PROPOSED
FRONT/REAR**

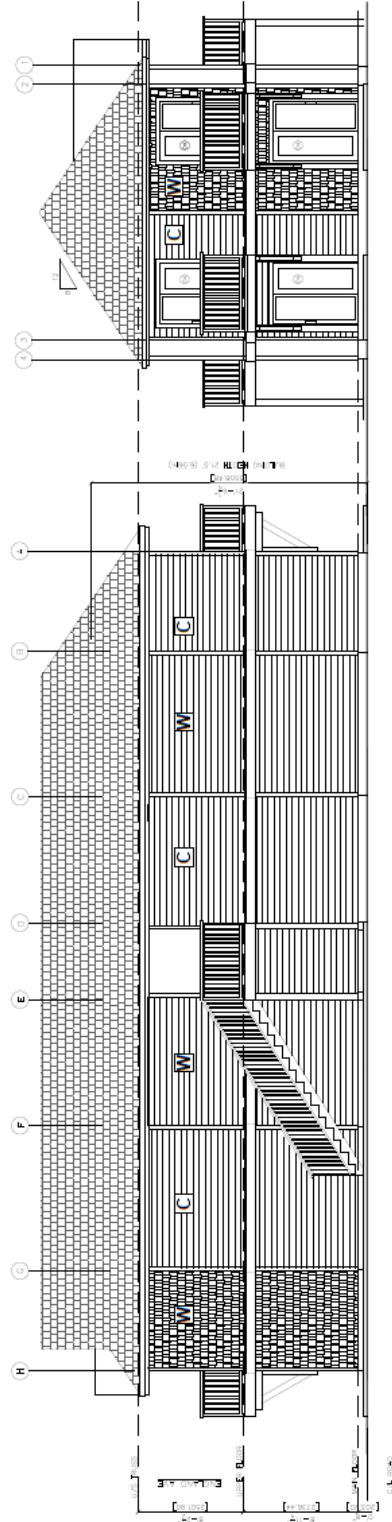
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PROJECT NO: **1933**
SHEET NO: **A3.0**

Application for Development Permit at 995 England Avenue

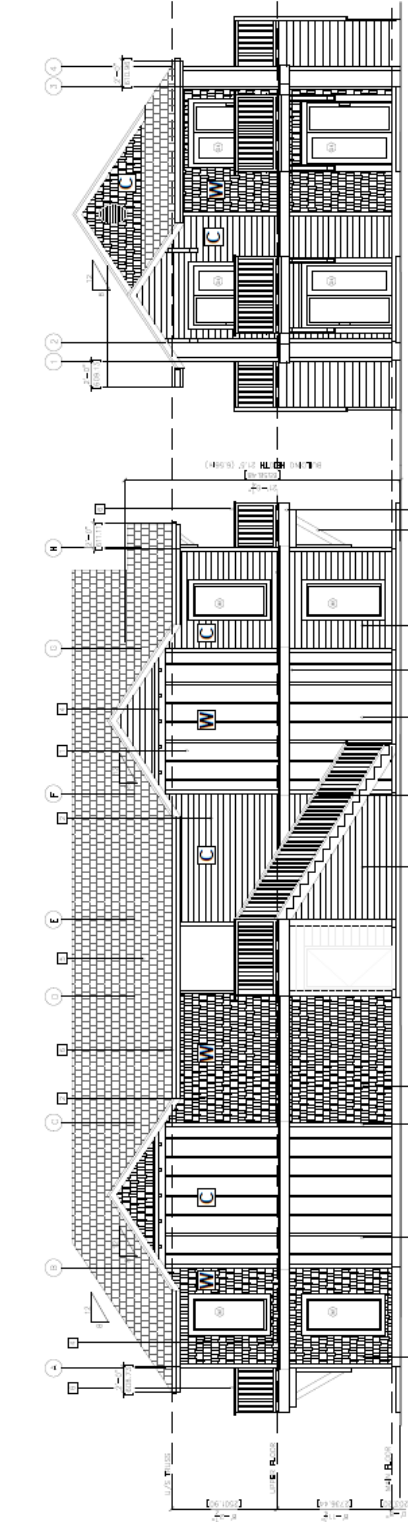


Application for Development Permit at 995 England Avenue

 <p>ATA ARCHITECTURAL LTD 709-201 WEST FENDER VANCOUVER, B.C. V6E 2V2 TEL: (604) 734-7330</p>	<p>DATE: 2021.09.23 DRAWN BY: J. H. H. / J. H. H. CHECKED BY: J. H. H. / J. H. H. SCALE: AS SHOWN PROJECT NO: 19-33 A 3.02</p>	<p>NO. 1: E 17/25/21 E F 17/25/21 P 1 NO. 2: E 17/25/21 E F 17/25/21 P 1 NO. 3: 48 15/21 E H E F 15/21 P 1 NO. 4: 48 15/21 E H E F 15/21 P 1 NO. 5: 48 15/21 E H E F 15/21 P 1 NO. 6: 48 15/21 E H E F 15/21 P 1 NO. 7: 48 15/21 E H E F 15/21 P 1 NO. 8: 48 15/21 E H E F 15/21 P 1 NO. 9: 48 15/21 E H E F 15/21 P 1 NO. 10: 48 15/21 E H E F 15/21 P 1 NO. 11: 48 15/21 E H E F 15/21 P 1 NO. 12: 48 15/21 E H E F 15/21 P 1 NO. 13: 48 15/21 E H E F 15/21 P 1 NO. 14: 48 15/21 E H E F 15/21 P 1 NO. 15: 48 15/21 E H E F 15/21 P 1 NO. 16: 48 15/21 E H E F 15/21 P 1 NO. 17: 48 15/21 E H E F 15/21 P 1 NO. 18: 48 15/21 E H E F 15/21 P 1 NO. 19: 48 15/21 E H E F 15/21 P 1 NO. 20: 48 15/21 E H E F 15/21 P 1 NO. 21: 48 15/21 E H E F 15/21 P 1 NO. 22: 48 15/21 E H E F 15/21 P 1 NO. 23: 48 15/21 E H E F 15/21 P 1 NO. 24: 48 15/21 E H E F 15/21 P 1 NO. 25: 48 15/21 E H E F 15/21 P 1 NO. 26: 48 15/21 E H E F 15/21 P 1 NO. 27: 48 15/21 E H E F 15/21 P 1 NO. 28: 48 15/21 E H E F 15/21 P 1 NO. 29: 48 15/21 E H E F 15/21 P 1 NO. 30: 48 15/21 E H E F 15/21 P 1 NO. 31: 48 15/21 E H E F 15/21 P 1 NO. 32: 48 15/21 E H E F 15/21 P 1 NO. 33: 48 15/21 E H E F 15/21 P 1 NO. 34: 48 15/21 E H E F 15/21 P 1 NO. 35: 48 15/21 E H E F 15/21 P 1 NO. 36: 48 15/21 E H E F 15/21 P 1 NO. 37: 48 15/21 E H E F 15/21 P 1 NO. 38: 48 15/21 E H E F 15/21 P 1 NO. 39: 48 15/21 E H E F 15/21 P 1 NO. 40: 48 15/21 E H E F 15/21 P 1 NO. 41: 48 15/21 E H E F 15/21 P 1 NO. 42: 48 15/21 E H E F 15/21 P 1 NO. 43: 48 15/21 E H E F 15/21 P 1 NO. 44: 48 15/21 E H E F 15/21 P 1 NO. 45: 48 15/21 E H E F 15/21 P 1 NO. 46: 48 15/21 E H E F 15/21 P 1 NO. 47: 48 15/21 E H E F 15/21 P 1 NO. 48: 48 15/21 E H E F 15/21 P 1 NO. 49: 48 15/21 E H E F 15/21 P 1 NO. 50: 48 15/21 E H E F 15/21 P 1 NO. 51: 48 15/21 E H E F 15/21 P 1 NO. 52: 48 15/21 E H E F 15/21 P 1 NO. 53: 48 15/21 E H E F 15/21 P 1 NO. 54: 48 15/21 E H E F 15/21 P 1 NO. 55: 48 15/21 E H E F 15/21 P 1 NO. 56: 48 15/21 E H E F 15/21 P 1 NO. 57: 48 15/21 E H E F 15/21 P 1 NO. 58: 48 15/21 E H E F 15/21 P 1 NO. 59: 48 15/21 E H E F 15/21 P 1 NO. 60: 48 15/21 E H E F 15/21 P 1 NO. 61: 48 15/21 E H E F 15/21 P 1 NO. 62: 48 15/21 E H E F 15/21 P 1 NO. 63: 48 15/21 E H E F 15/21 P 1 NO. 64: 48 15/21 E H E F 15/21 P 1 NO. 65: 48 15/21 E H E F 15/21 P 1 NO. 66: 48 15/21 E H E F 15/21 P 1 NO. 67: 48 15/21 E H E F 15/21 P 1 NO. 68: 48 15/21 E H E F 15/21 P 1 NO. 69: 48 15/21 E H E F 15/21 P 1 NO. 70: 48 15/21 E H E F 15/21 P 1 NO. 71: 48 15/21 E H E F 15/21 P 1 NO. 72: 48 15/21 E H E F 15/21 P 1 NO. 73: 48 15/21 E H E F 15/21 P 1 NO. 74: 48 15/21 E H E F 15/21 P 1 NO. 75: 48 15/21 E H E F 15/21 P 1 NO. 76: 48 15/21 E H E F 15/21 P 1 NO. 77: 48 15/21 E H E F 15/21 P 1 NO. 78: 48 15/21 E H E F 15/21 P 1 NO. 79: 48 15/21 E H E F 15/21 P 1 NO. 80: 48 15/21 E H E F 15/21 P 1 NO. 81: 48 15/21 E H E F 15/21 P 1 NO. 82: 48 15/21 E H E F 15/21 P 1 NO. 83: 48 15/21 E H E F 15/21 P 1 NO. 84: 48 15/21 E H E F 15/21 P 1 NO. 85: 48 15/21 E H E F 15/21 P 1 NO. 86: 48 15/21 E H E F 15/21 P 1 NO. 87: 48 15/21 E H E F 15/21 P 1 NO. 88: 48 15/21 E H E F 15/21 P 1 NO. 89: 48 15/21 E H E F 15/21 P 1 NO. 90: 48 15/21 E H E F 15/21 P 1 NO. 91: 48 15/21 E H E F 15/21 P 1 NO. 92: 48 15/21 E H E F 15/21 P 1 NO. 93: 48 15/21 E H E F 15/21 P 1 NO. 94: 48 15/21 E H E F 15/21 P 1 NO. 95: 48 15/21 E H E F 15/21 P 1 NO. 96: 48 15/21 E H E F 15/21 P 1 NO. 97: 48 15/21 E H E F 15/21 P 1 NO. 98: 48 15/21 E H E F 15/21 P 1 NO. 99: 48 15/21 E H E F 15/21 P 1 NO. 100: 48 15/21 E H E F 15/21 P 1</p>	 <p>2021.09.23</p>	<p>PROJECT 995 ENGLAND AVE. COURTENAY, B.C.</p>	<p>DATE ELEVATIONS BLDG. #3</p>	<p>SCALE AS SHOWN</p>	<p>PROJECT NO. 19-33 A 3.02</p>
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ELEVATION - EAST SIDE

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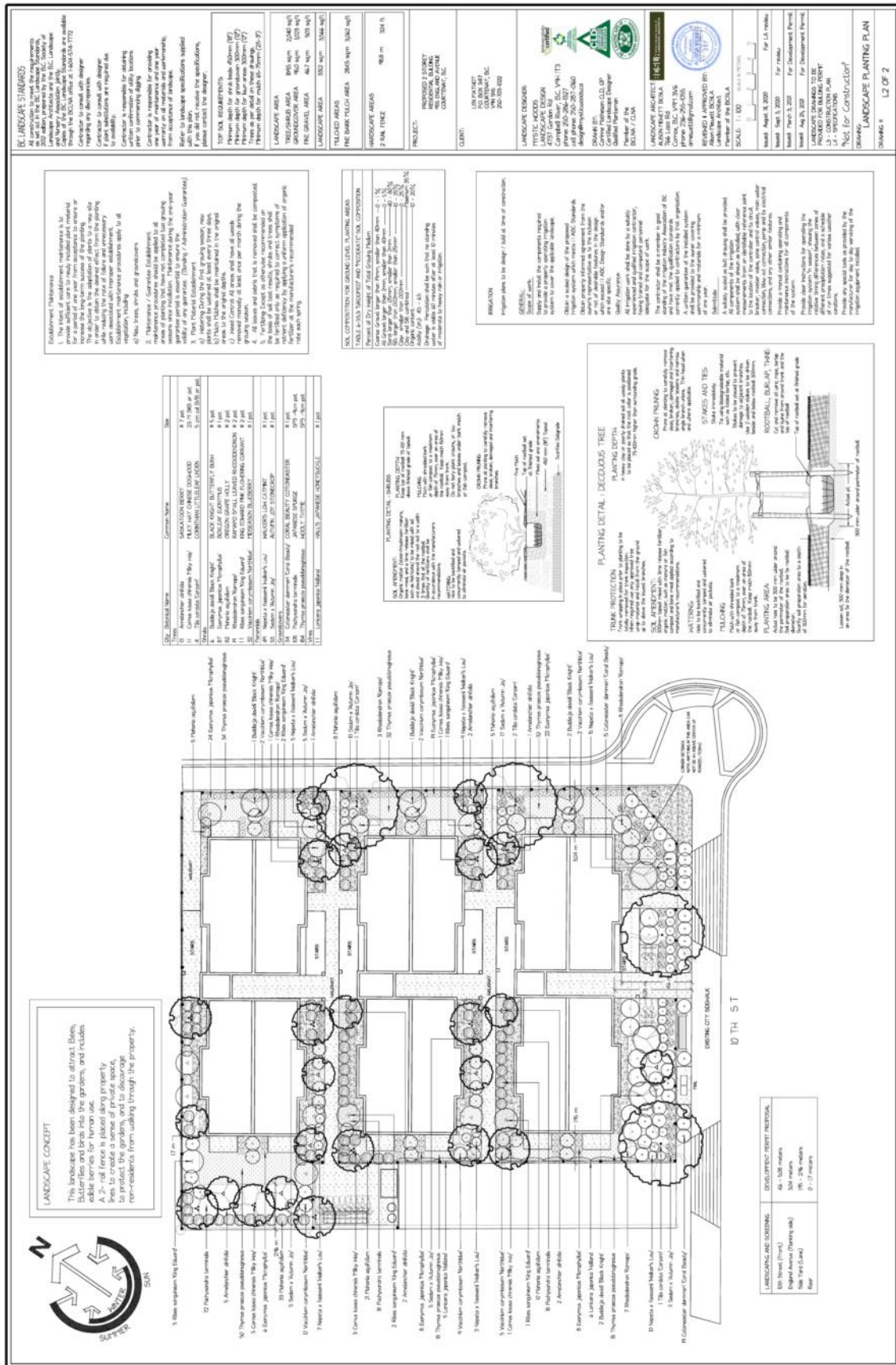
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Exterior Colors for proposed buildings

Schedule No. 3: Landscape Plan(s)

Application for Development Permit at 995 England Avenue



Schedule No 4: Landscape Cost Estimate

LANDSCAPE INSTALLATION ESTIMATE

Aug 10, 2021

LANDSCAPE ARCHITECT

Alison Mewett, BCSLA
 766 Lazo Road
 Comox, BC V9M 3V6
 (236)255-1055
 amewett@gmail.com

PROJECT

Multi-family Residential
 955 England Avenue,
 Courtenay, BC

Planting beds: 189.5 m² (2,040 ft²)
 Fine Gravel area: 46.7 m² (503 ft²)

Groundcover: 95.0 m² (1,023 ft²)

Plant material	\$ 10,295.00
Topsoil delivered (450mm for shrubs) 113 cu yds @ \$35	3,955.00
Topsoil delivered (300mm for groundcover) 38 cu yds @ \$35	1,330.00
Fine mulch delivered (100mm) 37 cu yds @ \$55	2,035.00
Fertilizers, tree stakes and miscellaneous	450.00
Machine work	1,560.00
Labour to install plant materials and other work to complete	6,500.00
Irrigation system installed	<u>6,800.00</u>
Planting sub-total (not including taxes)	\$ 32,925.00
Gravel for path delivered (150mm) 9 cu yds @ \$50	\$ 450.00
Fence (99 m) @ \$20/m	1,980.00
Bike racks (lump sum)	1,200.00
Bench (lump sum)	<u>1,500.00</u>
Hardscape sub-total (not including taxes)	\$ 5,130.00
TOTAL	<u><u>\$ 38,055.00</u></u>

Materials estimated at cost.

This estimate is approximate and may not reflect actual cost to install.

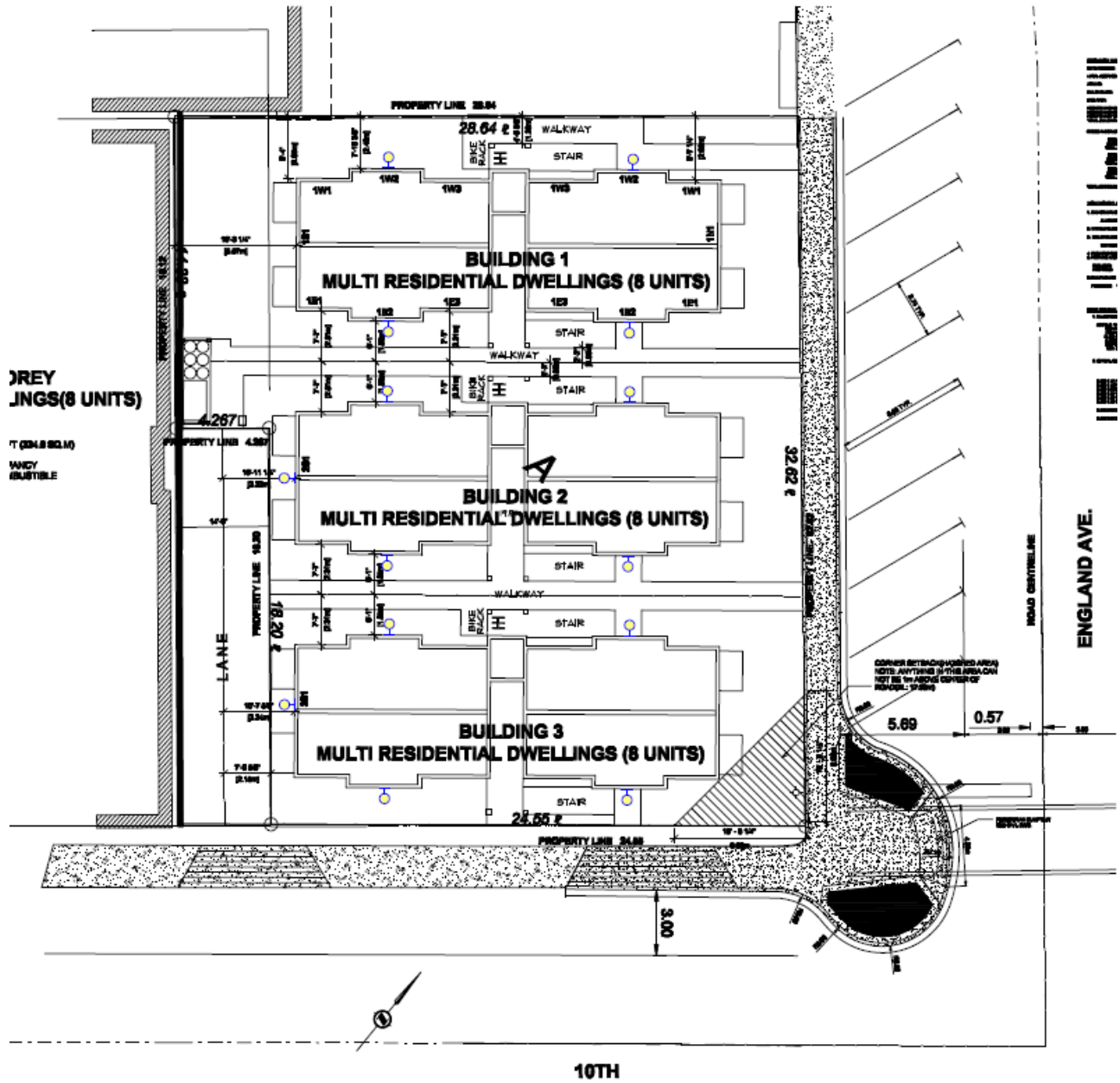
Corinne Matheson, CLD, HT
 Mystic Woods Landscape Design

Alison Mewett, BCSLA
 Landscape Architect



Schedule No. 5: Lighting Plan

Application for Development Permit at 995 England Avenue





Project: _____ Type: _____
 Drawn by: _____ Catalogue #: _____ Date: _____

WPR-L FULL CUT-OFF WALL PACK

The WPR-L full cut-off wall pack has a classic familiar design and is best suited for entrances or anywhere controlled security lighting is required. This luminaire is a great addition to any commercial or industrial wall mount application and complies with Dark Sky. The tough die cast aluminum housing and the IP65 drivers allow for optimal outdoor use.

FEATURES AND SPECIFICATIONS

• Construction

Housing

- Commercial grade and robust diecast Construction ensures durability
- Powder coating finish ensures resistance to cold and UV damage

Lens

Polycarbonate lens is standard in this product series.

• Compliance

- Wet location
- IP65
- IDA Dark Sky
- Meets requirements of ICES-005 issue 4 for class B products
- cULus

• Electrical

- The drivers allow input from 120-277 V and is reliable in the coldest of temperatures
- The WPR-L wall pack is suitable for ambient temperature range of -40°C to +40°C. Available in 3 000 K and 4 000 K color temperatures with a lumen per watt ratio of 113 lm/W to 119 lm/W depending on the lumen package.

OVERVIEW

Light source	LED
Watts (W)	48, 78
Lumen output (lm)	5 656 - 8 789
Efficiency (lm/W)	113 - 119
Color temperature (K)	3 000, 4 000
CRI	80+



Not all products are qualified on the DLC GPL. To view our DLC qualified products, please consult the DLC Qualified Products List at www.designlights.org/search.

¹ Please note that not all configurations are dimmable.

Attachment No. 2: Multi Residential Development Permit Area Compliance Checklist



995 England Avenue
 Courtenay, BC, V9N 2J7
 Tel: 250-334-4441 Fax: 250-334-4241
 Email: planning@courtenay.ca

CHECKLIST
MULTI RESIDENTIAL DEVELOPMENT PERMIT AREA

The following checklist provides a quick reference for compliance with the guidelines contained within Section 8.5 Multi Residential Development Permit Area of the City of Courtenay Official Community Plan No. 2387, 2005. Applicants are required to complete this checklist and indicate in the comment box how their proposal complies with each development permit guideline. Where an element of the design does not comply with a guideline, a justification stating the divergence and the reason shall be made. A separate sheet may be used to provide comment. **Incomplete forms will result in application delays.**

Project Address: 995 England Ave Date: 14 Dec 2020

Applicant: Canadian Community Housing Ltd Signature: [Signature]

A. FORM AND CHARACTER	Yes	No	Comment
1. The design of buildings shall reflect the heritage of the City of Courtenay and the use of materials such as stone, brick, ornamental work and wood with varied details and columns is required. All designs will be assessed to compare the submitted design with these guidelines.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Hardie plank, Hardie single wide wood trim in contrasting colors. Picket rails.
2. All multi residential projects shall front or appear to front onto abutting roadways. This may be achieved through appropriate treatment of the building exteriors and through the provision of pedestrian entranceways and walkways directly to the street.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Direct pedestrian walk access from England Ave and 10th St is achieved to main floor apartments
3. Buildings located on corner lots, lots adjacent to a single residential building, and lots next to public open spaces shall be stepped down toward the flanking street, adjacent building, or public open spaces.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Two story design fits in with neighbourhood
4. The design and introduction of a new building type to a residential neighbourhood shall provide harmony and lend continuity to the neighbourhood and should not create excessive disruption of the visual character of the neighbourhood.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Two story building broken up to fit in scale with existing neighbourhood
5. The design of a new project or an addition to an existing project shall be based on a comprehensive design concept and shall give adequate attention to the general architectural style, detailing, scale, materials, character of fenestration, character and materials of roofs, treatment of entrances, gradation of heights, relationship of indoor and outdoor spaces, design and placement of play areas, access parking arrangement and circulation, and landscape character and design. Plans submitted with Development Permit applications shall illustrate the aforementioned points.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Comprehensive design concept both building and landscape to address targeted tenancy a single person household. Landscaping to attract Blue butterfly Bites in the area.
6. No more than four townhouse units shall be linked in a row unless warranted by special design treatment.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	3 buildings 24 units
7. Where townhouse units have attached garages or carports, the units shall be wide enough to allow the creation of attractive entrances to the individual units between garages. Where lane access is available, parking entrances shall be limited to lane access.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<u>[Symbol]</u>
8. Where individual townhouse or multi-family units have vehicular access via public street, combined driveway access points are required.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<u>[Symbol]</u>

Application for Development Permit at 995 England Avenue

9. The design and siting of buildings and individual units shall take advantage of views, natural amenities and adjacent open spaces and shall provide the maximum of units with good sun exposure to enhance the liveability of units.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Morning Sunshine for east units, afternoon sun for west facing units
10. Stepped or alternating massing shall be used in the design of buildings in order to break up the volume of the building(s) and to avoid a box like appearance.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	3 buildings breaking up volume
11. Sloped roofs shall be encouraged to harmonize with surrounding residential areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Sloped roofs
12. Building shall ensure visual privacy between units and also between private amenity spaces such as balconies or patios.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Landscaping used to bar private space where applicable
13. Where a development is to be constructed in several phases, the proposed phasing plan indicating the sequence and timing of construction shall be included as part of the development permit application.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	One Phase
B. SIGNAGE	Yes	No	Explanation of Non-Conformity
1. All signs shall conform to the City of Courtenay Sign Bylaw No. 2760, 2013 and all amendments thereto.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
C. SITING, LANDSCAPING AND SCREENING	Yes	No	Explanation of Non-Conformity
1. A Landscape Architect or registered professional shall prepare a plan which will incorporate plant species, quantities and installation suitable for the project.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Alison Mewett BCLSA
2. A detailed landscaping and screening plan, drawn to scale and showing the type, size and location of proposed landscaping, shall be submitted with the development permit application.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	"
3. Recreation and play areas shall be provided within each project and shall be sensitive to the needs of the all age groups likely to reside in the development.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Age groups in single person households in liquid public open spaces. location allows use of amenities downtown
4. Care will be taken in developments intended for family living to ensure that the fundamental needs of family living are not compromised. This includes adequate storage, places for outdoor play, attention to sound and sight separation, and safe convenient parking.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	A may hold of one individual could occupy a bachelor unit (L.M.H.C)
5. A continuous landscaped buffer area of at least 7.5 metres in width shall be provided along the inside of all property lines adjacent to Cumberland Road, 17 th Street, 29 th Street, Island Highway, Cliffe Avenue, Ryan Road and Lerwick Road. A perimeter landscaped buffer area of at least 4.5 metres in width shall be provided along the inside of all property lines adjacent to all other roads and at approved access points.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The site has Landscape around and thru out the site
6. If a property is adjacent to the Agricultural Land Reserve boundary, a fence and landscaped buffer area of at least 10 metres in width shall be provided along the inside of the property line.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Ø
7. Buildings shall be sited to ensure the privacy of residences and adjoining properties, retain view amenities, and minimize the impact of noise or other off-site effects. Noise attenuation fencing will be required adjacent to arterial and collector roads.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Ø

Application for Development Permit at 995 England Avenue

<p>8. Buildings shall be sited to retain existing tree stands and terrain as much as possible. Protective barriers, such as snow fencing, shall be installed around all existing plantings which will be retained at the drip line for the duration of construction. No material or temporary soil deposits may be stored within these areas.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>old parking lot</p>
<p>9. Buildings shall be sited to ensure the privacy of residences and adjoining properties, retain view amenities, and minimize the impact of noise or other off-site effects, noise attenuation fencing or buffering will be required adjacent to arterial and collector roads.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Ø</p>
<p>10. Grading requirements of a development shall be resolved within the property boundary. Cut and fills shall be minimized and blended into the existing terrain. Stepped retaining walls shall be used where possible. Stepped foundation walls and floor levels for buildings shall be used on sloped sites. Slopes shall be determined to promote opportunity for re-planting.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Flat level ground</p>
<p>11. Buildings shall locate refuse containers, utility services, etc. to minimize visibility and they shall be screened by landscaping and fencing to a minimum height of 2 metres. In general, chain link fencing shall be used only when screened by landscaping. Similarly, utilities, meters, exhaust elements, satellite dishes, etc., shall be screened by landscaping, fencing or roof elements.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>See landscape plan</p>
<p>12. To separate internal roads, parking, service or storage areas from adjacent properties, a landscaped buffer area of at least 30 metres in width.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Ø</p>
<p>13. Development shall include installation of street trees and sidewalks along all adjacent streets. Boulevards of adjacent streets shall be landscaped, irrigated and maintained by adjacent developments.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>See landscape plan</p>
<p>14. Undeveloped areas of the site shall be left in its natural state if there is substantial existing native vegetation. Otherwise, the owner will undertake vegetation control within 6 months of building occupancy satisfactory to the City.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>old paved parking lot</p>
<p>15. Any development adjacent to or near stream or wetland areas shall adhere to the requirements of the Streamside Stewardship, 1993 guidelines and the "Land Development Guidelines for the Protection of Aquatic Habitat 1992" prepared by the Department of Fisheries and Oceans and the Ministry of Water, Land and Air Protection along all streams and their tributaries.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Ø</p>
<p>16. The City may require an environmental analysis of site conditions in areas subject to natural hazards such as slope slippage, drainage, or high vegetation value, prior to development.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Ø</p>
<p>17. It is City policy to limit the peak run off from areas of new development to that which the same catchment areas would have generated under the pre-development land use. A storm water management plan will be required as part of any development and shall be prepared by a Professional Engineer to comply with the City's stormwater management policies and plans and the City's Water Balance Model.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>old parking lot landscape thru out will reduce run off greatly</p>
<p>18. Setbacks areas abutting stream areas shall be fenced prior to development occurring to prevent encroachment of equipment or material into the stream system.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Ø</p>

Application for Development Permit at 995 England Avenue

19. A biophysical assessment of the site prepared by a professional biologist may be required outlining any environmental values to be protected during and after developments and the methods to achieve this to the satisfaction of the City and federal and provincial agencies.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<i>Ø</i>
20. Prior to the subdivision or development of land containing a stream, the natural watercourse and surrounding area shall be considered for dedication to the Crown, the Municipality or other public agencies committed to the protection and preservation of natural watercourses			<i>Ø</i>
21. The City will require the following minimum depth of topsoil or amended organic soils on all landscaped areas of a property: <ul style="list-style-type: none"> • shrubs – 450 mm • groundcover & grass – 300 mm • trees – 300 mm around and below the root ball 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<i>See land plans scope</i>
22. All landscape areas shall be serviced by an underground irrigation system.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<i>see landscape quote</i>
D. LIGHTING	Yes	No	Explanation of Non-Conformity
1. Lighting should be designated for security and safety. However, there should not be glare on neighbouring properties, adjacent roads or the sky.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. All new, replacement and upgraded street lighting in existing and proposed developments will be Full-Cut Off/Flat Lens (FCO/FL) luminaries to light roads, parking, loading and pedestrian areas. Exterior building lighting will also be required to have FCO lighting fixtures.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<i>FCO/FL lighting will be detailed in B P Submission</i>
E. PARKING	Yes	No	Explanation of Non-Conformity
1. Large surface parking areas should be broken down into smaller parking lots evenly dispersed throughout the development and integrated with planted landscaped areas. Visitor parking spaces shall be clearly identified within each development. Tree Planting is required in parking areas.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<i>Ø</i>
2. Parking areas shall be screened from adjacent properties and from direct views of parking vehicles from the street. The screening should consist of landscaping and fencing.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<i>Ø</i>
3. Outdoor parking and loading areas should be located to the sides and rear of buildings. Parking areas shall include landscaped areas, defined by concrete curbs, to provide visual breaks between clusters of approximately ten stalls.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<i>Ø</i>
4. Direct and functional pedestrian pathways to connect building entrances to parking areas and sidewalks of the abutting streets shall be provided. Installation of features such as distinct paving, special landscaping with trees and benches, and overhead weather protection on exterior building walls where appropriate is required.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<i>see landscape plan</i>

Attachment No. 3: Downtown Development Permit Area Compliance Checklist



CITY OF COURTENAY
Planning Services
 830 Cliffe Avenue
 Courtenay, BC, V9N 2J7
 Tel: 250-334-4441 Fax: 250-334-4241
 Email: planning@courtenay.ca

COMPLIANCE CHECKLIST
DOWNTOWN DEVELOPMENT PERMIT AREA

The following checklist provides a quick reference for compliance with the guidelines contained within Section 8.1 Commercial Development Permit Area of the City of Courtenay Official Community Plan No. 2387, 2005. Applicants are required to complete this checklist and indicate in the comment box how their proposal complies with each development permit guideline. Where an element of the design does not comply with a guideline, a justification stating the divergence and the reason shall be made. A separate sheet may be used to provide comments. **Incomplete forms will result in application delays.**

Project Address: 955 England Ave		Date: 14 Dec 2020
Applicant: Canadian Community Housing Htl		Signature:
A. FORM AND CHARACTER	Yes	No
1. The design of buildings shall reflect the heritage of the City of Courtenay and the use of materials such as stone, brick, ornamental work and wood with varied details and columns is required.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. The scale, form, height, setback, materials and character of new development should complement neighboring developments.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. The perimeter of buildings shall relate to a pedestrian scale. This may be expressed by detailing of the façade, window size, awnings and roof canopies. Visual interest will be created by providing variations in height and massing. Awnings, lighting fixtures and other structures shall be architecturally integrated with the design of the buildings. Large expanses of any one material are not acceptable without architectural detailing to create visual interest.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. To support the pedestrian environment, continuous weather protection should be provided over pedestrian areas at all exterior building walls.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Buildings shall maintain and enhance existing views. Buildings located on corner lots, lots adjacent to a residential property, and lots next to public open spaces should be stepped down toward the flanking street, adjacent building, or public open space.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Stepped or varied building massing, articulated building walls and roof lines and sloped roofs shall be incorporated to develop building form and character where residential space is proposed over commercial, the fourth floor shall be stepped back to enhance light penetration to the street, views and appearance of building.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. The architectural design and building materials shall be of a high standard that indicates quality, stability and permanence.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Any wall of a building which is visible from the street shall be finished to the same standard as the front of the building to provide an attractive appearance.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Commercial ground level business premises should be provided continuously along pedestrian oriented shopping areas within the downtown core.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Hardie plank, Hardie shingle, ornamental wood trim in contrasting colours

broken into three buildings - two stories high landscaped & set out fittings in with neighbour hood

varied material colours, Railings, and entrances 3 buildings

all entrances are covered

Rear units have west sun in the after noon England side east morning sun 2 stories balconies

Architect Designed

Architect Designed

Application for Development Permit at 995 England Avenue

10. Buildings should be designed so that their form does not restrict sun penetrations to public and pedestrian areas. A building height impact assessment to identify impacts and suggest possible mitigation measures may be required.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	24 units in three building across the site.
11. Where a development is to be constructed in several phases, the proposed phasing plan indicating the sequence and timing of construction shall be included as part of the development permit application.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	1 Phase
B. SIGNAGE	Yes	No	Explanation of Non-Conformity
1. All signs shall conform to the City of Courtenay Sign Bylaw No. 2760, 2013 and all amendments thereto.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
C. SITING, LANDSCAPING AND SCREENING	Yes	No	Explanation of Non-Conformity
1. A Landscape Architect or registered professional shall prepare a plan which will incorporate plant species, quantities and installation suitable for the project.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. A detailed landscaping and screening plan, drawn to scale and showing the type, size and location of proposed landscaping shall be submitted with the development permit application.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
3. A continuous perimeter landscaping buffer area of at least 4.5 metres shall be provided along the inside of all property lines adjacent to Cumberland Road, 17 th Street, Fitzgerald Avenue, Anderton Avenue and Cliffe Avenue, south of 8 th Street and adjacent to a residential or institutional zoned property and 3.0 metres on all other roads.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
4. Parking and outdoor storage shall not be permitted in the required landscape setback.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	no parking required
5. Garbage and recycling containers shall be screened with landscaping and fencing and gated to a minimum height of 2 metres. Similarly, utilities, service kiosks, meters, elevator housing, exhaust elements, satellite dishes, etc. shall be screened with landscaping and fencing.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
6. Chain link fencing shall be used only when screened by landscaping. Decorative fences are encouraged matching the materials used for the principle building.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
7. Developments shall include installation of street trees and sidewalks along all adjacent streets as well as foundation landscaping around any building face where applicable. Boulevards of adjacent streets shall be landscaped, irrigated and maintained by adjacent developments. Distinct paved surfaces, benches and ornamental street lights are encouraged throughout the site. Outdoor patios or amenity areas for employees are encouraged.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
8. Undeveloped areas of the site shall be left in its natural state if there is substantial existing native vegetation. Otherwise, the owner will undertake vegetation control within 6 months of building occupancy satisfactory to the City.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. The City will require the following minimum depth of topsoil or amended organic soils on all landscaped areas of a property. <ul style="list-style-type: none"> • shrubs – 450 mm • groundcover & grass – 300 mm • trees – 300 mm around and below the root ball 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Application for Development Permit at 995 England Avenue

10. Street furniture such as benches, lamps and refuse containers shall be incorporated in the landscape design. These shall be required to be consistent, similar, or identical in character to the architectural character of the development and identified by type and source in the application.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Open spaces acting as sites of public assembly shall incorporate special landscape features such as fountains, landscaping or monuments as focal elements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. All landscaped areas shall be serviced by an underground irrigation system.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
D. LIGHTING	Yes	No	Explanation of Non-Conformity
1. Lighting should be designated for security and safety. However, there should not be glare on neighbouring properties, adjacent roads or the sky.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. All new, replacement and upgraded street lighting in existing and proposed developments will be Full-Cut Off/Flat Lens (FCO/FL) luminaries to light roads, parking, loading and pedestrian areas. Exterior building lighting will also be required to have FCO lighting fixtures.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
E. PARKING	Yes	No	Explanation of Non-Conformity
1. Parking areas shall be screened from adjacent properties and from direct views of parked vehicles from the street. The screening should consist of landscaping and fencing. Parking areas shall include landscaped areas, defined by concrete curbs, to provide visual breaks between clusters of approximately ten stalls.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<i>Ø</i>
2. To separate parking, service or storage areas, and internal roadways from adjacent properties, a landscaped buffer area of at least 2.0 metres in width and 2.0 metres in height shall be provided along the inside of all affected property lines.	<input type="checkbox"/>	<input type="checkbox"/>	<i>Ø</i>
3. Vehicular and truck movement patterns shall be illustrated to ensure adequate circulation.	<input type="checkbox"/>	<input type="checkbox"/>	<i>Ø</i>
4. Underground parking is encouraged. The exterior façade of parking structures should be architecturally integrated and provide continuity of commercial uses at street level.	<input type="checkbox"/>	<input type="checkbox"/>	<i>Ø</i>
5. Pedestrian sidewalks connecting building entrances to and through parking areas and sidewalks of the adjacent streets shall be provided.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
6. Bicycle parking facilities shall be provided at grade near the primary building entrances.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Attachment No. 4: Applicant's Letter**Canadian Community Housing
Mission, Values, Goal**

The mission of Canadian Community Housing (CCH) is to assure the continued availability of options in rental housing for single-person households potentially of modest means (including those receiving social assistance), in any stage of their lives, and for others who would choose to live life with a smaller footprint.

The trend toward single-person households, tiny houses and small footprint living is growing, and not only in major urban centres where real estate prices necessitate this downsizing. The groundswell of recognition that climate change caused by human activity must be curbed, and that any solution that can be workable on a global scale must begin with self, is driving the conscious choice to commit to minimalist home environs. The corollary to this commitment is a greater level of engagement at the community level, in shared public spaces, with a correspondent increase in participation in the service economy. This atmosphere of living small, buying locally, and engaging meaningfully in Community will create an enviable upward spiral of sustainable economic development, growth, and jobs for future generations.

The values of CCH are consistent with this groundswell of recognition. Canadian values are those of peaceful coexistence, in harmony with their environment. Community values are supportive and caring and inclusive, continually striving to improve their collective "lot". Housing choice arguably represents the single largest component of an individual's energy footprint.

- Modes of transportation other than the single occupant vehicle (SOV) must be promoted and fostered, by developing in neighbourhoods with high walkability indices and along public transit routes. Parking and vehicular access should be devoted primarily to shared ride (HandyDART, taxi, Car2Go etc.) and emergency services provision. Private vehicle parking is limited and priced to temper its demand, and secure bicycle storage is provided at no additional charge.
- An Environmental Construction Operations (ECO) Plan (a living document) is important to document continual improvement in the diversion of waste from landfills, and reductions in the life cycle energy requirements of the materials (re-use, local sourcing and value adding, ethical purchasing, efficient appliances, recyclability etc.)
- Diversity and inclusion are the cornerstones of Civil Society. Communities flourish where engagement is pervasive and the dialogue spans disparities of abilities and income, and cultural differences. Small footprint living can foster closer community ties and improve the dialogue.

Our goal is to position our company as a catalyst at the leading edge of a "sea change" transformation towards sustainable urban densification. This transformation will provide desirable housing choices for single-person households across the spectra of age, ability, income, gender and culture. We expect the resulting mélange to promote understanding, strengthen community values, and lower barriers to inclusivity.

The project consists exclusively of residential units approximately 29 square metres in size. Bachelor suites in the elevator accessible building will have appeal to demographics seeking a single-person household with a small footprint in an accessible central location served well by public transit and active modes, such as youth, seniors and persons with disabilities.

The project is aligned with Strategic Priorities of the City of Courtenay for 2016-2018 which include support for densification as an area of control, and support for initiatives and incentives to encourage lower cost housing under the strategic theme of "support for diversity in housing and reasoned land use planning".

The project is aligned with the OCP Vision and Strategy, Growth Management, Residential Land Use Designation, Transportation and Climate Action Goals and Policies:

- The OCP Vision's goal of Balanced Growth is furthered by providing affordable housing close to recreation and daily destinations. The goal of Sustainable Development is furthered by selecting the correct location for density, adjacent to multiple transit routes and walkable to Downtown and the Cliffe Avenue commercial area. The goal of Planning for Retirees is furthered by providing affordable rental units in a central location.
- The project is aligned with the OCP Regional Growth Strategy Goal 1 of ensuring a diversity of housing options to meet evolving demographics and needs. The central location of the project is ideal for its variety of transportation choices. The affordable low end market rental units in the project are by their very nature inclusive.
- The OCP Residential Land Use goals of supporting development of housing options for seniors, and ensuring the provision of affordable housing are furthered, as are the policy objectives of offering variety of transportation choice and creating inclusive neighbourhoods.
- The OCP Transportation goal of reducing travel distances and congestion is furthered by the central location of the project, and the policy of supporting acceptance of alternative design standards is congruent with CD Zone changes proposed to the existing MU-2 Zone.
- The OCP Climate Action policy to encourage and support initiatives that reduce the number of passenger vehicle trips is furthered by the project, as well as the policy to reduce the ratio of parking for new developments within its jurisdiction.